



CITY COUNCIL AGENDA

CITY COUNCIL CHAMBERS . 11465 WEST CIVIC CENTER DRIVE . AVONDALE, AZ 85323

REGULAR MEETING
August 4, 2008
7:00 PM

**CALL TO ORDER BY MAYOR ROGERS
PLEDGE OF ALLEGIANCE
MOMENT OF REFLECTION**

1 ROLL CALL AND STATEMENT OF PARTICIPATION BY THE CITY CLERK

2 RECOGNITION ITEMS (MAYOR PRESENTATIONS)

a. Mayor Lopez Rogers will recognize the Gila River Indian Community for their support

3 UNSCHEDULED PUBLIC APPEARANCES

(Limit three minutes per person. Please state your name.)

4 CONSENT AGENDA

Items on the consent agenda are of a routine nature or have been previously studied by the City Council at a work session. They are intended to be acted upon in one motion. Council members may pull items from consent if they would like them considered separately.

a. **APPROVAL OF MINUTES**

- a. Worksession of July 21, 2008
- b. Regular Meeting of July 21, 2008

b. **CLAIMS**

- a. June 2008

c. **FINAL PLAT FOR RANCHO SANTA FE CONDOMINIUMS (FP-08-5)**

City Council will consider a request from Tim O'Neill on behalf of Copper State Growth Properties, LLC for final plat approval for Rancho Santa Fe Condominiums; approximately 0.98 acres of land located south of the southwest corner of McDowell Road and Rancho Santa Fe Blvd. The Council will take appropriate action.

d. **AWARD A CONSTRUCTION CONTRACT TO STANDARD CONSTRUCTION COMPANY, INC. TO CONSTRUCT A TRAFFIC SIGNAL AT THE INTERSECTION OF INDIAN SCHOOL ROAD AND WESTWIND PARKWAY**

Staff is requesting that the City Council award a construction contract to Standard Construction Company, Inc. for the installation of a traffic signal at the intersection of Indian School Road and Westwind Parkway in the amount of \$290,429.76. The Council will take appropriate action.

e. **CONSTRUCTION CONTRACT – ELLISON MILLS CONTRACTING, LLC-VAN BUREN STREET 16-INCH WELL TRANSMISSION LINE PROJECT**

Staff is requesting that the City Council award a construction contract to Ellison Mills Contracting, LLC for the construction of waterline improvements on Van Buren Street between

El Mirage Road and 119th Avenue, in the amount of \$519,596.46. The Council will take appropriate action.

5 PUBLIC HEARING AND ORDINANCE - TA-08-14 CHILD CARE CENTER IN OTAB AND COMMERCIAL SETBACKS

City Council will hold a public hearing and consider an ordinance amending Section 3 of the Zoning Ordinance related to child care centers in the Old Town Avondale Business District and related to commercial setbacks. The Council will take appropriate action.

6 PARK-10 MASTER SITE PLAN (DR-07-37)

The Council will consider a request from Scott Daniel of Leo Daily Architects on behalf of Parkland Development for a master site plan approval for Park-10 Center and Final Site Plan approval for the Hyatt Summerfield Suites and Hyatt Place hotels located on a 16.5 acre parcel at the southwest corner of 103rd Avenue and McDowell Road. The Council will take appropriate action.

7 MASTER SITE PLAN APPROVAL FOR AVONDALE GATEWAY OFFICES – PARCEL ONE

City Council will consider a request from Mike Edwards on behalf of Cavan Real Estate Investments for a master site plan approval for Avondale Gateway Offices - Parcel One, an office development on a 9.7 net acre parcel located at the northeast corner of Roosevelt Street and Hilton Way. The Council will take appropriate action.

8 EXECUTIVE SESSION

- a. The Council may hold an executive session pursuant to ARIZ. REV. STAT. § 38-431.03 (A)(4) for discussion or consultation with the City's attorney in order to consider its position and instruct the City's attorney regarding the council's position regarding pending an economic development agreement.

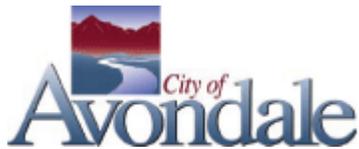
9 ADJOURNMENT

Respectfully submitted,



Carmen Martinez
City Clerk

Any individual with a qualified disability may request a reasonable accommodation by contacting the City Clerk at 623-333-1200 at least 48 hours prior to the council meeting.



CITY COUNCIL REPORT

SUBJECT:

Recognition of the Gila River Indian Community

MEETING DATE:

August 4, 2008

TO: Mayor and Council

FROM: Sammi Curless

THROUGH: Charlie McClendon, City Manager

PURPOSE:

Mayor Lopez Rogers would like to acknowledge and recognize the support that Avondale has received over the past few years from the Gila River Indian Community (GRIC) as part of the Community's gaming revenues grant program stipulated as part of the Arizona-Tribal State Compact.

BACKGROUND:

Since 2005, Avondale has received \$827,000 in grant funds from the Gila River Indian Community. These funds have been for the following projects:

- Video arraignment-A \$117,000 grant allowed for the installation of video arraignment equipment which links the City jail to the City Court. This effort has saved officer time, Court hearing time, and provides a safer environment for the public, court, and prisoners.
- Mobile Eye Unit-A \$300,000 grant allowed the City to partner with the Arizona Foundation for the Eye for the purchase of a mobile eye unit which will be used in to provide eye screening to individuals with diabetes or who may not have access to eye care and screening.
- Teen Pregnancy Program-A \$345,000 will allow for a collaboration between the City's Healthy Avondale and Youth Development Programs, Phoenix Children's Hospital, and Teen Outreach Pregnancy Services to provide services such as primary pregnancy prevention and youth development, prenatal health education and case management to pregnant teens, education and support for teen fathers, parenting and child development education through home visitation, and support groups for parenting and pregnant teens.
- Police SWAT Vehicle-A \$65,000 grant will allow the Police Department to acquire a SWAT truck to assist in hostile situations and reach resolutions with succinctness.

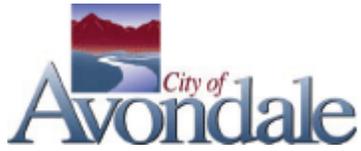
RECOMENDATION:

Staff recommends the Mayor and City Council recognize the partnership Avondale has with the Gila River Indian Community for the betterment of our community.

ATTACHMENTS:

[Click to download](#)

No Attachments Available



CITY COUNCIL REPORT

SUBJECT:
APPROVAL OF MINUTES

MEETING DATE:
August 4, 2008

TO: Mayor and Council
FROM: Carmen Martinez, City Clerk
THROUGH: Charlie McClendon, City Manager

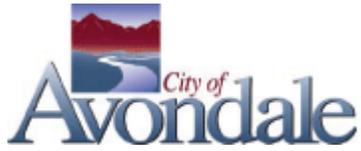
PURPOSE:

- a. Worksession of July 21, 2008
- b. Regular Meeting of July 21, 2008

ATTACHMENTS:

[Click to download](#)

No Attachments Available



CITY COUNCIL REPORT

SUBJECT:
CLAIMS

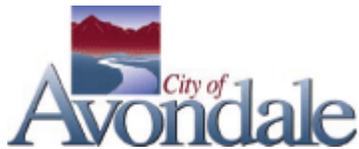
MEETING DATE:
August 4, 2008

TO: Mayor and Council
FROM: Carmen Martinez
THROUGH: Charlie McClendon, City Manager

ATTACHMENTS:

[Click to download](#)

No Attachments Available



DEVELOPMENT SERVICES

SUBJECT:

Final Plat for Rancho Santa Fe Condominiums (FP-08-5)

MEETING DATE:

August 4, 2008

TO: Mayor and Council

FROM: Brian Berndt, Development Services Director (623) 333-4011

THROUGH: Charlie McClendon, City Manager

REQUEST: Final plat approval for Rancho Santa Fe Condominiums.

PARCEL SIZE: Approximately 0.98 acres

LOCATION: Approximately 300' South of the SWC of McDowell Road & Rancho Santa Fe Boulevard.

APPLICANT: Tim O'Neill, O'Neill Engineering

OWNER: Copper State Growth Properties, LLC

SUMMARY OF REQUEST:

A request to plat 42,271 square feet of property containing an existing 7,679 square foot building, parking, landscaping, driveways and drive aisles. The applicant is proposing to subdivide the building into three units. The plat will also grant a reciprocal access and parking easement to be shared with the adjacent Rancho Santa Fe Medical Center to the west.

The subject site is zoned Planned Area Development (PAD) and is a part of the Dysart 10 PAD (case Z-96-316 - zoning approval December 30, 1996). A site plan was approved by City Council on August 6, 2001 (case AR-02-487). The site is abutted to the north by La Petite Academy, to the west by Rancho Santa Fe Medical Center, to the south by Avondale Medical and Professional Plaza and the east by Rancho Santa Fe Boulevard and Rio Santa Fe Apartments.

PLANNING COMMISSION ACTION:

The Planning Commission does not review final plats.

ANALYSIS:

- The proposed plat will subdivide the existing building into three units and provide a reciprocal joint access and parking easement on the western portion of the site.
- No additional right-of-way is required or being dedicated with this plat.
- The lot lines and site layout conform to the approved site plan (case AR02-487).
- Staff has included one stipulation of approval.

FINDINGS:

The proposed final plat meets the following findings:

- It conforms to the General Plan.
- It conforms to the Zoning Ordinance.
- It conforms to the City's Subdivision Regulations.

- It conforms to the Dysart 10 PAD (case Z-96-316).
- It conforms to the approved site plan (case AR-02-487).

RECOMMENDATION:

Staff recommends that the City Council **APPROVE** the proposed final plat subject to the following stipulation:

1. The recorded plat shall conform to the Final Plat submitted to the City of Avondale Development Services Department date stamped July 23, 2008.

PROPOSED MOTION:

I move that the City Council accept the findings and **APPROVE** application FP-08-5, a request for final plat approval for Rancho Santa Fe Condominiums, subject to one stipulation recommended by staff.

ATTACHMENTS:

Click to download

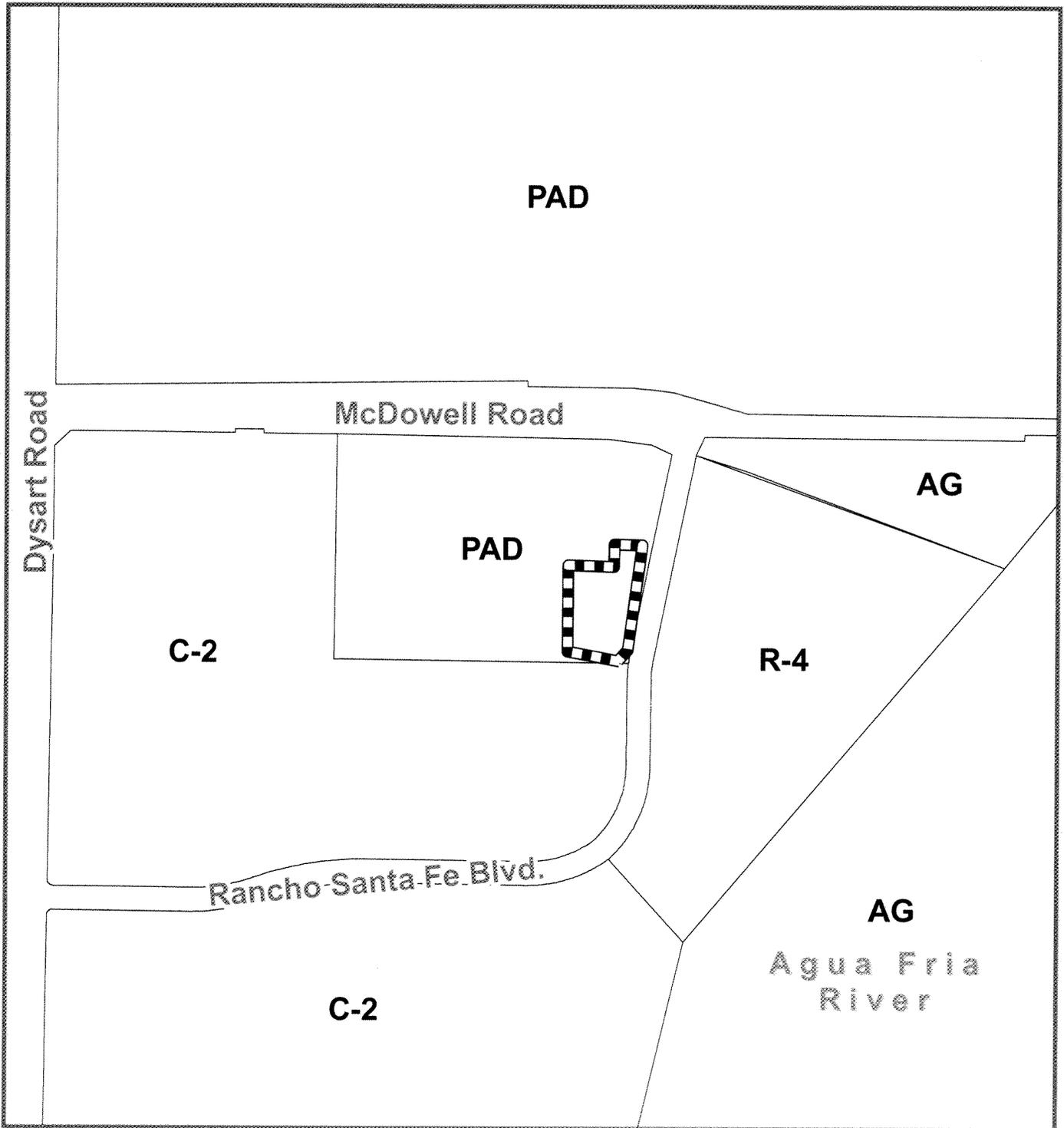
[Exhibits A, B & C Rancho Santa Fe Condominium](#)

FULL SIZE COPIES (Council Only):

Final Plat for Rancho Santa Fe Condominium

PROJECT MANAGER:

Eric Morgan, Planner II (623) 333-4017

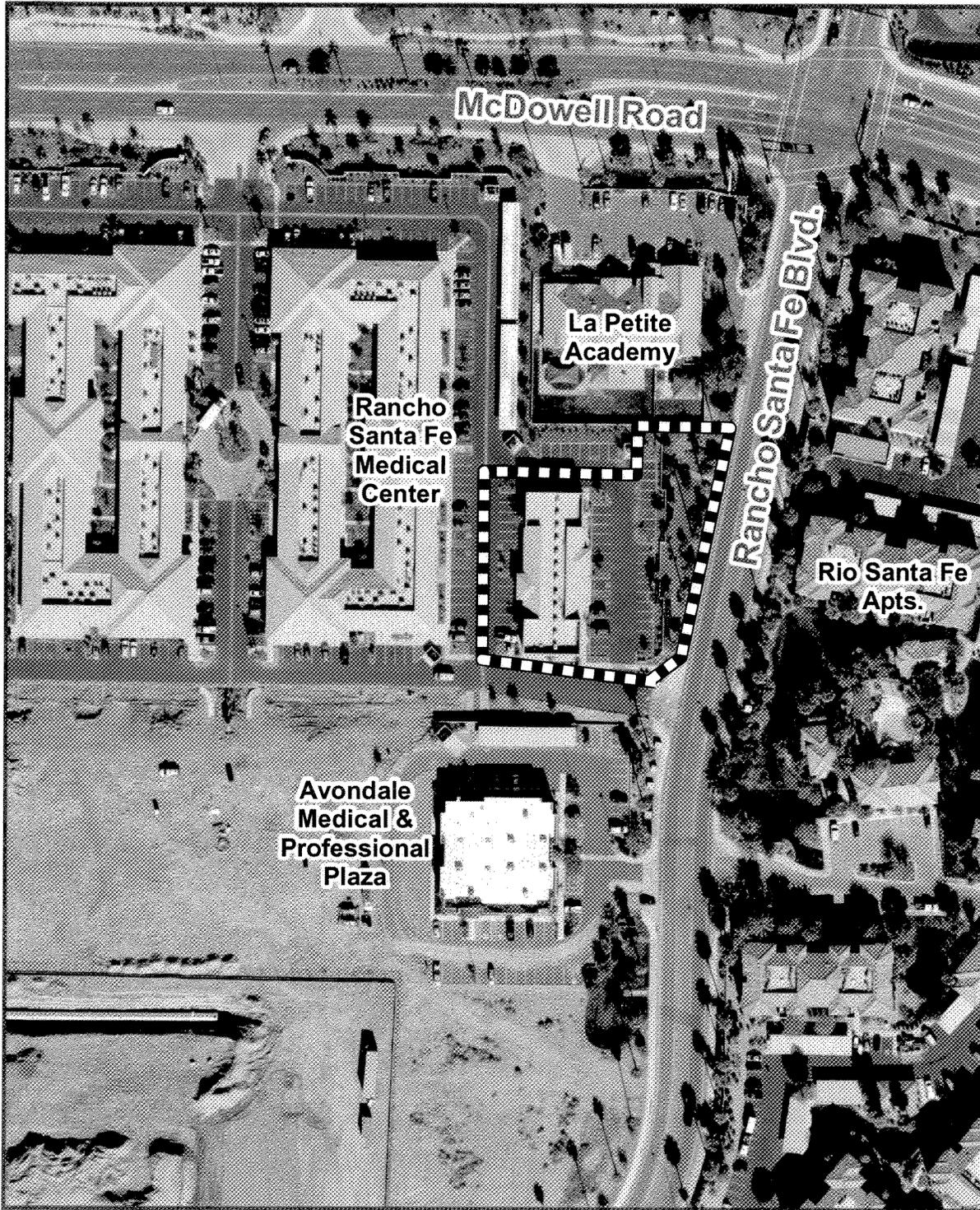


**Zoning Map
Rancho Santa Fe Condominium
FP-08-5**

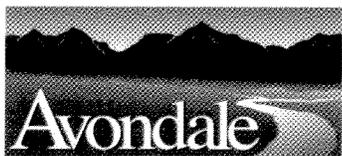


Subject Property





Air Photo 2008
Rancho Santa Fe Condominium
FP-08-5



Subject Property



SUMMARY OF RELATED FACTS

APPLICATION FP-08-5

<i>THE PROPERTY</i>	
PARCEL SIZE	42,217 square feet
LOCATION	S. of the SWC of Mc Dowell Rd & Rancho Santa Fe Blvd
PHYSICAL CHARACTERISTICS	Improved Property
EXISTING LAND USE	Medical Offices
EXISTING ZONING	Planned Area Development (PAD)
ZONING HISTORY	Annexed in 1964 and rezoned to PAD in 1996.
DEVELOPMENT AGREEMENT	None

<i>SURROUNDING ZONING AND LAND USE</i>	
NORTH	PAD (Planned Area Development) – Le Petite Academy
EAST	R-4 (Multi-Family Residential) – Rio Santa Fe Apartments
SOUTH	C-2 (Community Commercial) – Desert Vista Professional Center
WEST	PAD (Planned Area Development) – Rancho Santa Fe Medical Center
<i>GENERAL PLAN</i>	
The subject property is designated as Freeway Commercial on the General Plan Land Use Map.	

<i>PUBLIC SCHOOLS</i>	
SCHOOL DISTRICT(S)	Avondale Elementary School District Agua Fria Union High School District
ELEMENTARY SCHOOLS	Lattie Coor Elementary School (K-8)
HIGH SCHOOL	Agua Fria High School

STREETS

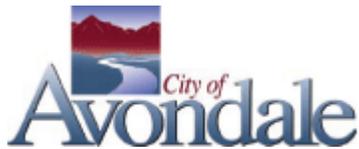
Rancho Santa Fe Boulevard

Classification	Collector
Existing half street ROW	40 feet
Standard half street ROW	40 feet
Existing half street improvements	One traffic lane with half center turn lane, bike lane, curb and gutter, attached sidewalk, and landscaping.
Standard half street improvements	One traffic lane with half center turn lane, bike lane, curb and gutter, attached sidewalk, landscaping and street lights.

UTILITIES

There is an existing 16" water line in Rancho Santa Fe Boulevard. This project taps into the main line via a 6" line.

There is an existing 24" sewer line in Rancho Santa Fe Boulevard. This project taps into the main line via an 8" line.



CITY COUNCIL REPORT

SUBJECT:

Award a Construction Contract to Standard Construction Company, Inc. to Construct a Traffic Signal at the Intersection of Indian School Road and Westwind Parkway

MEETING DATE:

August 4, 2008

TO: Mayor and Council

FROM: Sue McDermott, P.E., City Engineer, 623-333-4211

THROUGH: Charlie McClendon, City Manager

PURPOSE:

Staff is requesting that the City Council award a construction contract to Standard Construction Company, Inc. for the installation of a traffic signal at the intersection of Indian School Road and Westwind Parkway in the amount of \$290,429.76, and authorize the Mayor, or City Manager and City Clerk to execute the necessary documents.

BACKGROUND:

On December 27, 2007, a Professional Services Agreement (PSA) with Lee Engineering was approved in the amount of \$49,794.91 to design and prepare construction documents for a proposed traffic signal at the intersection of Indian School Road and Westwind Parkway (see vicinity map). While the intersection itself is within Maricopa County, many Avondale residents use the intersection for local access.

Council approved Resolution 2691-1007 at the October 15, 2007 Council Meeting, authorizing an Intergovernmental Agreement (IGA) with Maricopa County. The IGA defined the City and County's responsibilities including city project management, joint review of the design, county ownership, operation and maintenance of the traffic signal upon completion of the project, and County reimbursement to the City for 50% of the total project costs. Due to long lead times, staff pre-ordered all of the traffic signal equipment, poles, and mast arms.

DISCUSSION:**SCOPE OF WORK:**

The scope of work for this project will include, but is not limited to:

- Paving, curb, gutter, and sidewalk ramps
- Signing and marking
- Installing a traffic signal system at the intersection of Indian School Road & Westwind Parkway
- Relocation of streetlights
- Removing and salvaging existing signs and maintenance of existing landscape and irrigation during construction

The traffic signal will be constructed to Maricopa County Department of Transportation (MCDOT) standards and after completion, MCDOT will take over ownership, maintenance and operation of the signal.

BID PROCESS:

Requests-for-Bid notices were published in the West Valley View on July 1 and July 4, 2008, and the Arizona Business Gazette on July 3, 2008. The Engineering Department held a non-mandatory pre-bid meeting on July 15, 2008. Four (4) bids were received and opened on July 24, 2008. Each bid package was reviewed and all bidders met the bidding requirements. The firms submitting bids and the amount of their bids are as follows:

BIDDER	BID AMOUNT	M/DBE
Standard Construction	\$290,429.76	No
Combs Construction	\$308,952.96	No
ITS Engineers and Constructors	\$321,553.49	No
Arizona Traffic Signal	\$355,147.85	No

See the attached Bid Tabulation Sheet for a detailed, bid item breakdown of each submitted bid.

Standard Construction Company, with a bid of \$290,429.76, was determined to have submitted the lowest, responsible and qualified bid. Staff contacted references and believes Standard Construction Company to be competent and qualified for this project. Standard Construction Company has successfully completed similar work for other local government agencies. Staff verified with the Registrar of Contractors that no claims are on file against this contractor.

SCHEDULE:

A tentative construction schedule is as follows:

PROJECT MILESTONES	TARGET DATES
Issue Notice of Award	8/05/08
Pre-Construction Conference	8/19/08
Notice-To-Proceed	8/19/08
Begin Construction	9/02/08
Completion	11/01/08

The complete contract is on file with the City Clerk.

BUDGETARY IMPACT:

Funding for this project in the amount of \$290,430 is available in Street Fund Line Item 304-1251-00-8420, Traffic Signal - Indian School and Westwind.

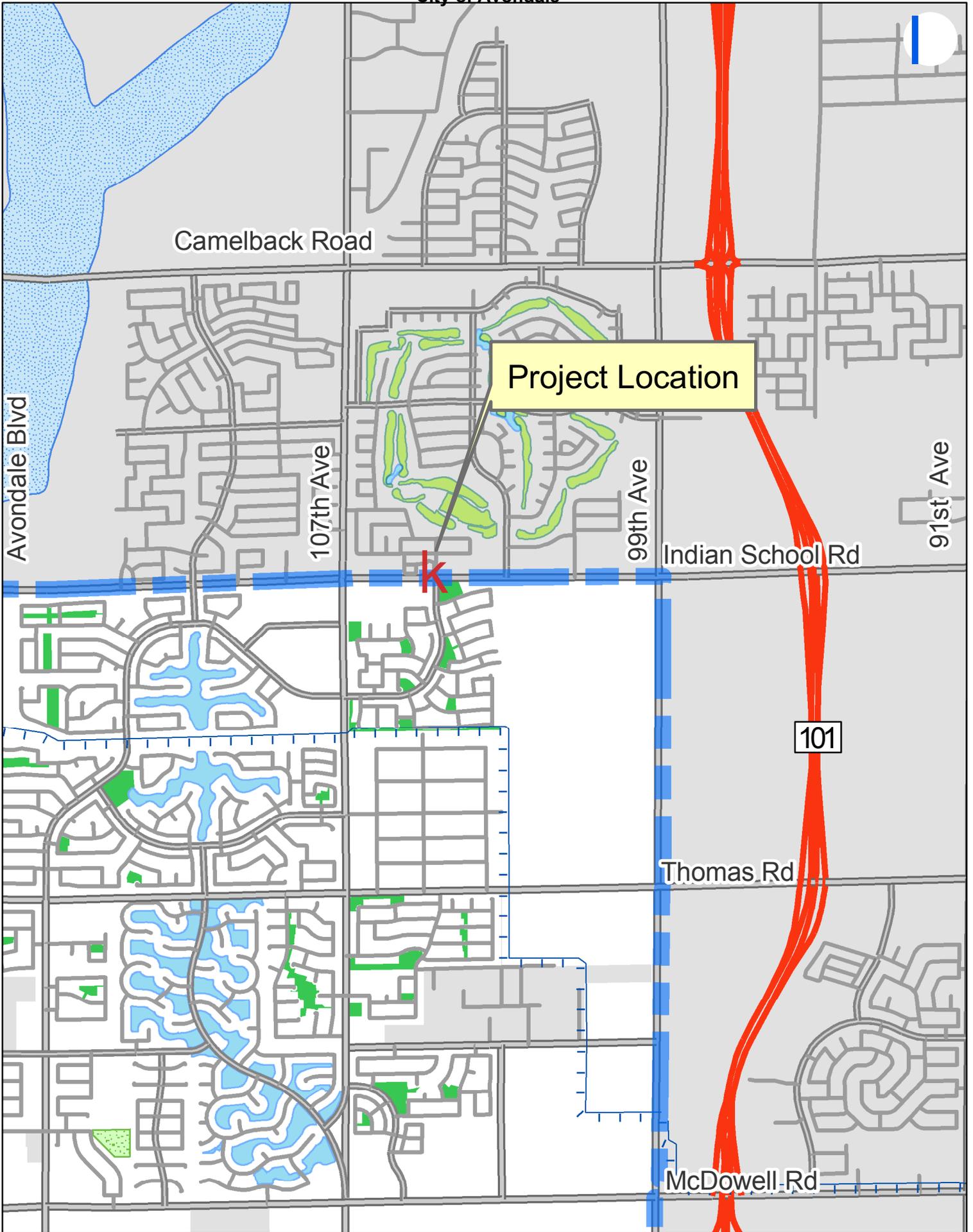
RECOMENDATION:

Staff recommends that the City Council award a construction contract to Standard Construction Company, Inc. for the construction of a traffic signal at the intersection of Indian School Road and Westwind Parkway in the amount of \$290,429.76 and authorize the Mayor, or City Manager and City Clerk to execute the necessary documents.

ATTACHMENTS:

Click to download

- [📄 Vicinity Map](#)
- [📄 Bid Tabulation Sheet](#)



Vicinity Map

Indian School Road & Westwind Parkway Traffic Signal

BID TABULATION
ST1251 (EN 08-029) Indian School and Westwind Parkway Traffic Signal
BID DATE: July 24, 2008

				Standard Construction		ITS Engineers		Combs Construction		Arizona Traffic Signal	
				Unit	Total	Unit	Total	Unit	Total	Unit	Total
				Qty	Unit	Price	Price	Price	Price	Price	Price
107.01501	Community Relations Support (Allowance)	1	ALLOWANCE	\$ 4,000.00	\$ 4,000.00	\$ 4,000.00	\$ 4,000.00	\$ 4,000.00	\$ 4,000.00	\$ 4,000.00	\$ 4,000.00
107.04000	Miscellaneous Reimbursables (Allowance)	1	ALLOWANCE	\$ 45,000.00	\$ 45,000.00	\$ 45,000.00	\$ 45,000.00	\$ 45,000.00	\$ 45,000.00	\$ 45,000.00	\$ 45,000.00
108.01000	Construction Staking, Surveying and Layout	1	L. SUM	\$ 3,200.00	\$ 3,200.00	\$ 2,500.00	\$ 2,500.00	\$ 15,000.00	\$ 15,000.00	\$ 11,000.00	\$ 11,000.00
108.01010	As-Built Documents	1	L. SUM	\$ 2,200.00	\$ 2,200.00	\$ 2,000.00	\$ 2,000.00	\$ 500.00	\$ 500.00	\$ 1,750.00	\$ 1,750.00
109.09000	Mobilization / Demobilization	1	L. SUM	\$ 2,500.00	\$ 2,500.00	\$ 5,000.00	\$ 5,000.00	\$ 29,000.00	\$ 29,000.00	\$ 11,829.00	\$ 11,829.00
211.01000	Fill Construction	10	C.Y.	\$ 110.00	\$ 1,100.00	\$ 303.45	\$ 3,034.50	\$ 200.00	\$ 2,000.00	\$ 77.00	\$ 770.00
301.01000	Subgrade Preparation	73	S.Y.	\$ 115.00	\$ 8,395.00	\$ 35.00	\$ 2,555.00	\$ 90.00	\$ 6,570.00	\$ 69.00	\$ 5,037.00
310.03255	Aggregate Base Course, 10"	40	TON	\$ 100.00	\$ 4,000.00	\$ 57.00	\$ 2,280.00	\$ 160.00	\$ 6,400.00	\$ 150.00	\$ 6,000.00
321.01200	2" Asphalt Concrete Pavement (Superpave 12.5 mm Mix, High Traffic)	8	TON	\$ 200.00	\$ 1,600.00	\$ 560.00	\$ 4,480.00	\$ 225.00	\$ 1,800.00	\$ 648.00	\$ 5,184.00
321.01300	3" Asphalt Concrete Pavement (Superpave 19 mm Mix, High Traffic)	13	TON	\$ 200.00	\$ 2,600.00	\$ 560.00	\$ 7,280.00	\$ 155.00	\$ 2,015.00	\$ 648.00	\$ 8,424.00
329.01000	Bituminous Tack Coat SS-1h, Diluted	1	TON	\$ 250.00	\$ 250.00	\$ 3,500.00	\$ 3,500.00	\$ 800.00	\$ 800.00	\$ 771.00	\$ 771.00
340.01110	Vertical Curb & Gutter, MAG Det. 220-1, Type A, H=6"	217	LF	\$ 25.00	\$ 5,425.00	\$ 37.50	\$ 8,137.50	\$ 20.00	\$ 4,340.00	\$ 33.50	\$ 7,269.50
340.01210	Concrete Sidewalk, MAG Det 230	228	S.F.	\$ 6.00	\$ 1,368.00	\$ 10.00	\$ 2,280.00	\$ 8.00	\$ 1,824.00	\$ 15.00	\$ 3,420.00
340.01311	Sidewalk Ramp, MCDOT Det 2031-A (With Truncated Domes) & COA Det A1073 (Det 2)	4	EACH	\$ 1,800.00	\$ 7,200.00	\$ 4,300.00	\$ 17,200.00	\$ 1,600.00	\$ 6,400.00	\$ 2,918.00	\$ 11,672.00
340.01600	Concrete Apron, MAG Det 240	559	S.F.	\$ 12.00	\$ 6,708.00	\$ 14.00	\$ 7,826.00	\$ 8.00	\$ 4,472.00	\$ 18.00	\$ 10,062.00
345.01402	Adjust Water Valve & Box, City of Phoenix Det P1391	2	EACH	\$ 350.00	\$ 700.00	\$ 650.00	\$ 1,300.00	\$ 500.00	\$ 1,000.00	\$ 618.00	\$ 1,236.00
350.01800	Remove Existing Concrete Curb and Gutter	115	LF	\$ 15.00	\$ 1,725.00	\$ 12.00	\$ 1,380.00	\$ 19.00	\$ 2,185.00	\$ 30.00	\$ 3,450.00
350.01900	Remove Existing Sidewalk	541	S.F.	\$ 5.00	\$ 2,705.00	\$ 4.25	\$ 2,299.25	\$ 4.00	\$ 2,164.00	\$ 9.50	\$ 5,139.50
350.02250	Remove Existing Concrete Apron	565	S.F.	\$ 7.00	\$ 3,955.00	\$ 5.00	\$ 2,825.00	\$ 4.00	\$ 2,260.00	\$ 13.50	\$ 7,627.50
350.04000	Remove and Salvage Traffic Signs	6	EACH	\$ 125.00	\$ 750.00	\$ 126.33	\$ 757.98	\$ 40.00	\$ 240.00	\$ 155.00	\$ 930.00
401.01000	Traffic Control	1	L. SUM	\$ 16,000.00	\$ 16,000.00	\$ 20,000.00	\$ 20,000.00	\$ 20,350.00	\$ 20,350.00	\$ 31,061.00	\$ 31,061.00
460.02000	Remove Thermoplastic Stripe	1,550	LF	\$ 2.20	\$ 3,410.00	\$ 2.31	\$ 3,580.50	\$ 1.10	\$ 1,705.00	\$ 2.00	\$ 3,100.00
460.02100	Remove Thermoplastic (Bike Lane & Arrow Symbol)	1	EACH	\$ 95.00	\$ 95.00	\$ 154.00	\$ 154.00	\$ 80.00	\$ 80.00	\$ 158.00	\$ 158.00
460.02110	Remove Thermoplastic (Left Turn Arrow)	1	EACH	\$ 95.00	\$ 95.00	\$ 154.00	\$ 154.00	\$ 80.00	\$ 80.00	\$ 158.00	\$ 158.00
462.01100	4" White Thermoplastic Traffic Stripe	3,735	LF	\$ 1.20	\$ 4,482.00	\$ 0.95	\$ 3,548.25	\$ 1.00	\$ 3,735.00	\$ 1.50	\$ 5,602.50
462.01200	4" Yellow Thermoplastic Traffic Stripe	2,200	LF	\$ 1.20	\$ 2,640.00	\$ 0.75	\$ 1,650.00	\$ 1.00	\$ 2,200.00	\$ 1.50	\$ 3,300.00
462.01500	Thermoplastic Pavement Symbol (Bike & Arrow, COA Det A1015)	1	EACH	\$ 195.00	\$ 195.00	\$ 325.00	\$ 325.00	\$ 160.00	\$ 160.00	\$ 273.00	\$ 273.00
462.01511	Thermoplastic Left Turn Arrow	2	EACH	\$ 195.00	\$ 390.00	\$ 160.00	\$ 320.00	\$ 160.00	\$ 320.00	\$ 273.00	\$ 546.00

				Standard Construction		ITS Engineers		Combs Construction		Arizona Traffic Signal	
				Unit	Total	Unit	Total	Unit	Total	Unit	Total
				Qty	Unit	Price	Price	Price	Price	Price	Price
462.01611	Preformed Left Turn Arrow	2	EACH	\$ 220.00	\$ 440.00	\$ 225.00	\$ 450.00	\$ 200.00	\$ 400.00	\$ 312.00	\$ 624.00
464.03000	U-Channel Sign Post	48	LF	\$ 15.00	\$ 720.00	\$ 22.00	\$ 1,056.00	\$ 13.00	\$ 624.00	\$ 20.00	\$ 960.00
465.01002	Flat Sheet Aluminum Sign Panel, High Intensity Sheeting	36	SF	\$ 15.00	\$ 540.00	\$ 30.00	\$ 1,080.00	\$ 13.00	\$ 468.00	\$ 20.00	\$ 720.00
471.60043	No. 3 ½ Pull Box	4	EACH	\$ 430.00	\$ 1,720.00	\$ 900.00	\$ 3,600.00	\$ 350.00	\$ 1,400.00	\$ 225.00	\$ 900.00
471.60047	No. 7 Pull Box	3	EACH	\$ 575.00	\$ 1,725.00	\$ 1,569.70	\$ 4,709.10	\$ 460.00	\$ 1,380.00	\$ 420.00	\$ 1,260.00
471.60049	No. 9 Pull Box	1	EACH	\$ 3,700.00	\$ 3,700.00	\$ 5,000.00	\$ 5,000.00	\$ 3,000.00	\$ 3,000.00	\$ 3,232.00	\$ 3,232.00
471.60057	No. 7 Pull Box w/ Extension	1	EACH	\$ 600.00	\$ 600.00	\$ 1,569.70	\$ 1,569.70	\$ 500.00	\$ 500.00	\$ 533.00	\$ 533.00
471.61115	Sch. 80 PVC Electrical Conduit 2 " w/1/4" Nylon Pull Rope and #8 Bare Copper Wire (Trenching)	200	LF	\$ 12.00	\$ 2,400.00	\$ 16.00	\$ 3,200.00	\$ 10.00	\$ 2,000.00	\$ 12.00	\$ 2,400.00
471.61215	Sch. 80 PVC Electrical Conduit 2 1/2" w/1/4" Nylon Pull Rope and #8 Bare Copper Wire (Trenching)	15	LF	\$ 12.00	\$ 180.00	\$ 17.00	\$ 255.00	\$ 11.00	\$ 165.00	\$ 18.00	\$ 270.00
471.61315	Sch. 80 PVC Electrical Conduit, 3" w/1/4" Nylon Pull Rope and #8 Copper Wire (Trenching)	865	LF	\$ 13.00	\$ 11,245.00	\$ 20.00	\$ 17,300.00	\$ 12.00	\$ 10,380.00	\$ 13.50	\$ 11,677.50
471.61316	Sch. 80 PVC Electrical Conduit, 3" w/1/4" Nylon Pull Rope and #8 Copper Wire (Horizontal Boring)	30	LF	\$ 42.00	\$ 1,260.00	\$ 48.00	\$ 1,440.00	\$ 35.00	\$ 1,050.00	\$ 74.00	\$ 2,220.00
471.61415	Sch. 80 PVC Electrical Conduit, 4" w/1/4" Nylon Pull Rope and #8 Copper Wire (Trenching)	360	LF	\$ 19.00	\$ 6,840.00	\$ 30.00	\$ 10,800.00	\$ 16.00	\$ 5,760.00	\$ 12.00	\$ 4,320.00
471.61416	Sch. 80 PVC Electrical Conduit, 4" w/1/4" Nylon Pull Rope and #8 Copper Wire (Horizontal Boring)	375	LF	\$ 45.00	\$ 16,875.00	\$ 50.00	\$ 18,750.00	\$ 38.00	\$ 14,250.00	\$ 66.00	\$ 24,750.00
472.61100	Pole Foundation, Type A	4	EACH	\$ 600.00	\$ 2,400.00	\$ 1,400.00	\$ 5,600.00	\$ 500.00	\$ 2,000.00	\$ 780.00	\$ 3,120.00
472.61300	Pole Foundation, Type J or Q	4	EACH	\$ 2,400.00	\$ 9,600.00	\$ 2,000.00	\$ 8,000.00	\$ 2,000.00	\$ 8,000.00	\$ 2,964.00	\$ 11,856.00
472.62120	Service Pedestal/UPS Combination Cabinet Foundation	1	EACH	\$ 500.00	\$ 500.00	\$ 800.00	\$ 800.00	\$ 500.00	\$ 500.00	\$ 965.00	\$ 965.00
472.63000	Cabinet Foundation, Type P	1	EACH	\$ 800.00	\$ 800.00	\$ 1,300.00	\$ 1,300.00	\$ 700.00	\$ 700.00	\$ 1,165.00	\$ 1,165.00
473.61000	(6' x 6') Detector Loop	4	EACH	\$ 670.00	\$ 2,680.00	\$ 900.00	\$ 3,600.00	\$ 600.00	\$ 2,400.00	\$ 940.00	\$ 3,760.00
473.71010	Video Detection System (4-Camera System) (Install Only)	1	EACH	\$ 2,100.00	\$ 2,100.00	\$ 3,000.00	\$ 3,000.00	\$ 1,800.00	\$ 1,800.00	\$ 3,449.00	\$ 3,449.00
474.60115	Type A Signal Pole (14') (Install Only)	4	EACH	\$ 195.00	\$ 780.00	\$ 610.50	\$ 2,442.00	\$ 160.00	\$ 640.00	\$ 294.00	\$ 1,176.00
474.60571	Type Q Signal Pole w/ 35' Mast Arm (Install Only)	4	EACH	\$ 2,500.00	\$ 10,000.00	\$ 940.00	\$ 3,760.00	\$ 2,100.00	\$ 8,400.00	\$ 1,085.00	\$ 4,340.00
474.63001	Pedestrian Push Button w/ Sign (Install Only)	8	EACH	\$ 65.00	\$ 520.00	\$ 100.00	\$ 800.00	\$ 55.00	\$ 440.00	\$ 105.00	\$ 840.00
475.61120	Electrical Service Pedestal/UPS Combination Cabinet (Install Only)	1	EACH	\$ 375.00	\$ 375.00	\$ 1,200.00	\$ 1,200.00	\$ 300.00	\$ 300.00	\$ 1,092.00	\$ 1,092.00
475.62001	Signal Control Cabinet, Type P (MCDOT Det 4730) and Controller Assembly (Install Only)	1	EACH	\$ 1,500.00	\$ 1,500.00	\$ 1,500.00	\$ 1,500.00	\$ 1,300.00	\$ 1,300.00	\$ 1,804.00	\$ 1,804.00
475.83010	Emergency Vehicle Preemption System (Install Only)	1	EACH	\$ 1,900.00	\$ 1,900.00	\$ 1,050.00	\$ 1,050.00	\$ 1,600.00	\$ 1,600.00	\$ 1,371.00	\$ 1,371.00
476.61210	12" Signal Indication, Type F Signal Face, Side Mount (Install Only)	3	EACH	\$ 125.00	\$ 375.00	\$ 255.00	\$ 765.00	\$ 110.00	\$ 330.00	\$ 231.00	\$ 693.00
476.61214	12" Signal Indication, Type F Signal Face, Plumbizer Mount (Install Only)	6	EACH	\$ 125.00	\$ 750.00	\$ 211.75	\$ 1,270.50	\$ 110.00	\$ 660.00	\$ 185.00	\$ 1,110.00
476.61218	12" Signal Indication, Type F Signal Face, Pole Top Mount (Install Only)	2	EACH	\$ 125.00	\$ 250.00	\$ 195.00	\$ 390.00	\$ 110.00	\$ 220.00	\$ 220.00	\$ 440.00
476.61219	12" Signal Indication, 2 Type F Signal Faces, Double Pole Top Mount (Install Only)	1	EACH	\$ 180.00	\$ 180.00	\$ 248.00	\$ 248.00	\$ 160.00	\$ 160.00	\$ 358.00	\$ 358.00
476.61233	12" Signal Indication, Type Q Signal Face, Plumbizer Mount (Install Only)	2	EACH	\$ 125.00	\$ 250.00	\$ 255.00	\$ 510.00	\$ 110.00	\$ 220.00	\$ 275.00	\$ 550.00

				Standard Construction		ITS Engineers		Combs Construction		Arizona Traffic Signal	
				Unit	Total	Unit	Total	Unit	Total	Unit	Total
				Qty	Unit	Price	Price	Price	Price	Price	Price
476.61235	12" Signal Indication, Type Q Signal Face, Pole Top Mount (Install Only)	1	EACH	\$ 125.00	\$ 125.00	\$ 248.00	\$ 248.00	\$ 110.00	\$ 110.00	\$ 304.00	\$ 304.00
476.62011	Pedestrian Signal Indication, Side Mount (Install Only)	6	EACH	\$ 125.00	\$ 750.00	\$ 180.00	\$ 1,080.00	\$ 110.00	\$ 660.00	\$ 253.00	\$ 1,518.00
476.62012	Pedestrian Signal Indications, Double Side Mount (Install Only)	1	EACH	\$ 180.00	\$ 180.00	\$ 180.00	\$ 180.00	\$ 160.00	\$ 160.00	\$ 438.00	\$ 438.00
477.61210	Luminaire, (20') Mast Arm (Install Only)	4	EACH	\$ 125.00	\$ 500.00	\$ 300.00	\$ 1,200.00	\$ 110.00	\$ 440.00	\$ 277.00	\$ 1,108.00
477.82501	250 Watt HPS Luminaire (Horizontal Mount) (Install Only)	4	EACH	\$ 67.00	\$ 268.00	\$ 131.40	\$ 525.60	\$ 55.00	\$ 220.00	\$ 132.00	\$ 528.00
477.90060	Internally Illuminated Street Name Sign (City of Avondale Det A1077)	4	EACH	\$ 8,400.00	\$ 33,600.00	\$ 6,782.00	\$ 27,128.00	\$ 8,000.00	\$ 32,000.00	\$ 7,906.00	\$ 31,624.00
478.01000	Electrical Conductors (New Signal Installation)	1	L. SUM	\$ 21,000.00	\$ 21,000.00	\$ 9,500.00	\$ 9,500.00	\$ 19,000.00	\$ 19,000.00	\$ 9,028.00	\$ 9,028.00
482.00096	Fiber Optic Splice Enclosure (Furnish & Install)	1	L. SUM	\$ 2,400.00	\$ 2,400.00	1551.6	\$ 1,551.60	\$ 2,000.00	\$ 2,000.00	\$ 4,405.00	\$ 4,405.00
	Subtotal				\$ 274,716.00		\$ 302,225.48		\$ 292,237.00		\$ 335,678.50
	TAX				15,713.76		19,328.01		16,715.96		19,469.35
	TOTAL CALCULATED BY STAFF				\$ 290,429.76		\$ 321,553.49		\$ 308,952.96		\$ 355,147.85
	TOTAL SUBMITTED BY BIDDER				\$290,429.76		\$321,553.49		\$308,952.96		\$355,147.85
	Bid Bond Attached?				yes		yes		yes		yes
	Contractor License Attached?				yes		yes		yes		yes
	Is contract properly signed?				yes		yes		yes		yes
	Business License Attached?				yes		yes		yes		yes
	Exceptions to specifications?				no		no		no		no

Exhibit C Bid Bond

Notice of Invitation for Bid (Page 2)

Exhibit G References

Exhibit F Business License

Exhibit B Contractor Exceptions to Specifications

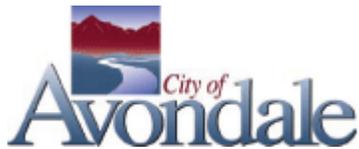
yes

yes

yes

yes

yes, none



CITY COUNCIL REPORT

SUBJECT:

Construction Contract – Ellison Mills Contracting, LLC-Van Buren Street 16-inch Well Transmission Line Project

MEETING DATE:

August 4, 2008

TO: Mayor and Council

FROM: Sue McDermott, P.E., 623-333-4211

THROUGH: Charlie McClendon, City Manager

PURPOSE:

Staff is requesting that the City Council award a construction contract to Ellison Mills Contracting, LLC for the construction of waterline improvements on Van Buren Street between El Mirage Road and 119th Avenue, in the amount of \$519,596.46 and authorize the Mayor, or City Manager and City Clerk to execute the necessary documents.

BACKGROUND:

The approved 2006-2007 Capital Improvement Program (CIP) included a project to design a water transmission main on Van Buren Street from El Mirage Road to Links Drive (see attached vicinity map). This project is to provide a dedicated transmission line from Well 22 to the Coldwater Springs Booster Station. This line is critical to the City's ability to carry the water generated by Well 22 to the Booster Station at Coldwater Springs. On November 5, 2007, a Professional Services Agreement with Lockwood, Andrews, and Newnam, Inc was approved by the City Council to finalize the design and construction contract documents for the project.

Well 22 is being installed by the Water Resources Department and the water from this well will be pumped to the Coldwater Booster Station. However, currently there is not a continuous waterline from Well 22 to the Coldwater Booster Station. This project will install a new 16-inch waterline connecting two (2) existing portions of waterline and providing a continuous waterline to the Coldwater Booster Station. A 12-inch stub-out will be installed on El Mirage Road providing for a future 12-inch well transmission line. This line will allow Well 30 to pump water to the Coldwater Booster Station.

DISCUSSION:**SCOPE OF WORK:**

The scope of work for this project includes:

- Installation of approximately 3,800 lf of 16-inch waterline
- Installation of approximately 131 lf of 12-inch waterline

BID PROCESS:

Requests-for-Bid notices were published in the West Valley View on June 17 and 20, 2008 and the Arizona Business Gazette on June 19, 2008. The Engineering Department held a pre-bid meeting on July 1, 2008. Twenty-two (22) bids were received and opened on July 17, 2008. Each bid package was reviewed and all bidders met the bidding requirements. The firms submitting bids and the

amount of their bids are as follows:

BIDDER	BID AMOUNT	M/DBE
Ellison Mills Contracting, LLC	\$519,596.46	No
Kelco	\$526,776.20	No
Petra Contracting	\$544,537.72	No
Brizco Construction	\$569,600.00	No
Citywide Contracting	\$583,536.00	No
SJL	\$584,299.15	No
J.J. Sprague	\$599,899.65	No
Sahuaro Contracting	\$610,016.32	No
Arapahoe Scitech	\$627,179.00	Yes
BluCor Contracting	\$640,169.00	No
T & T Construction	\$663,458.64	No
Standard Construction	\$667,804.75	No
Pierson Construction	\$675,404.00	No
DCS Contracting	\$676,272.00	No
Wheeler Construction	\$686,132.97	No
Spire Engineering	\$687,500.00	No
Kleven Construction	\$728,701.00	No
Shiya-Strephans	\$764,694.86	No
Talis Construction	\$807,766.07	No
Johansen Construction	\$832,839.28	No
Andale Construction	\$853,006.00	Yes
B&F Contracting	\$915,641.24	No

See the attached Bid Tabulation Sheet for a detailed, bid item breakdown of each submitted bid.

Ellison Mills Contracting, LLC, with a bid of \$519,596.46 was determined to have submitted the lowest, responsible and qualified bid. Staff contacted references and believes Ellison Mills Contracting, LLC to be competent and qualified for this project. Ellison Mills Contracting, LLC has successfully completed similar work for other local government agencies. Staff contacted the Registrar of Contractors and found no claims on file against this contractor.

SCHEDULE:

A tentative construction schedule is as follows:

PROJECT MILESTONES	TARGET DATES
Issue Notice of Award	8/08/08
Pre-Construction Conference	8/13/08
Notice To Proceed	8/19/08
Begin Construction	9/02/08
Completion	12/15/08

The complete contract is on file with the City Clerk.

BUDGETARY IMPACT:

Funding for this project is available in the Water Fund Line Item No. 514-1213-00-8520 (Well 22 - Van Buren Transmission Line) in the amount of \$519,597.

RECOMENDATION:

Staff is requesting that the City Council award a construction contract to Ellison Mills Contracting, LLC for the construction of waterline improvements on Van Buren Street between El Mirage Road

and 119th Avenue, in the amount of \$519,596.46 and authorize the Mayor, or City Manager and City Clerk to execute the necessary documents.

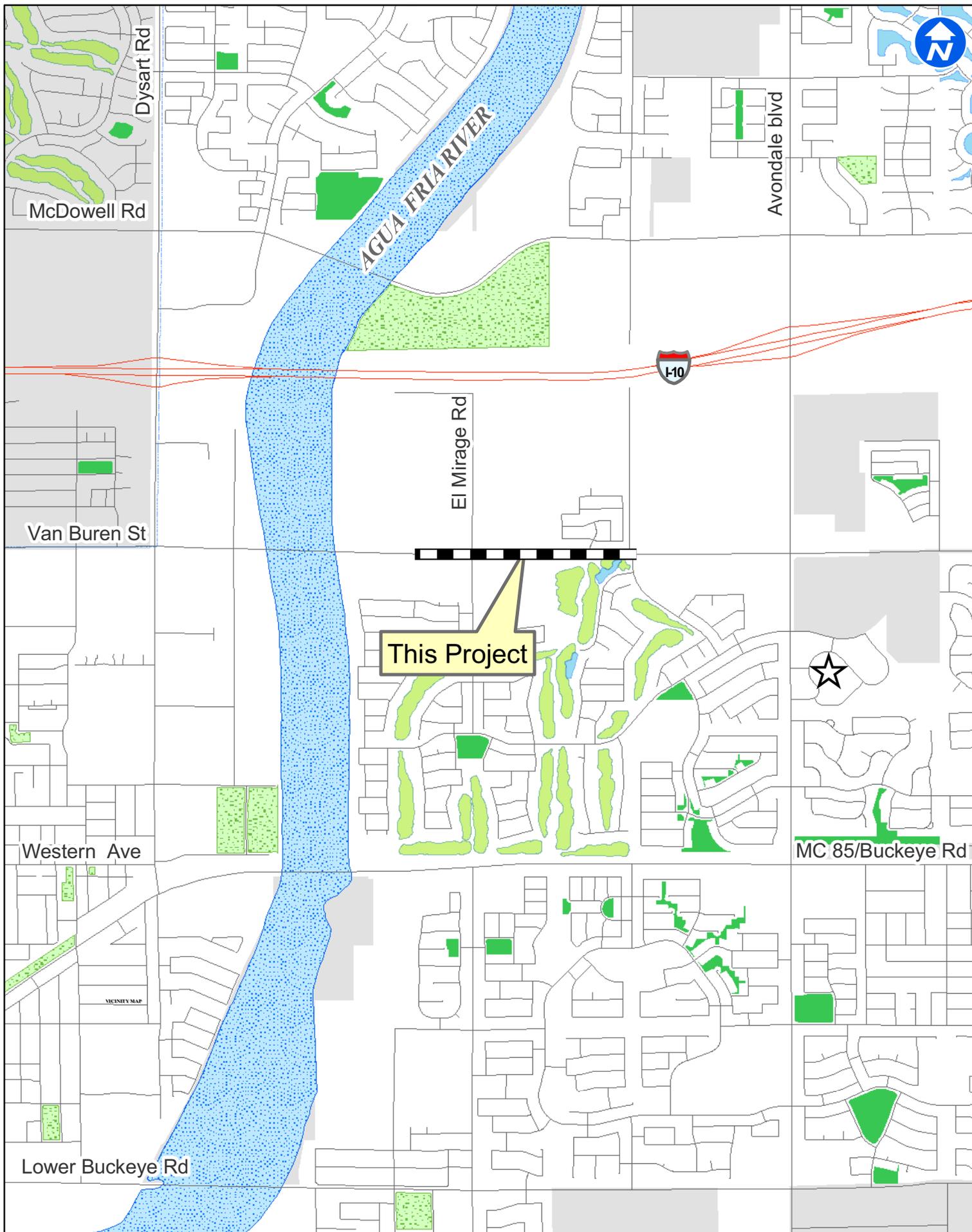
ATTACHMENTS:

Click to download

 [Vicinity Map](#)

 [Bid Tabulation Sheet](#)

City of Avondale



Vicinity Map

WA1213 - Van Buren Transmission Line

BID TABULATION

WA1213 Van Buren Well 16-in Transmission Line

BID DATE: July 17, 2008

Item No.	Description of Materials and/or services	Qty	Unit	Ellison-Mills Contracting		J.J. Sprague		Johansen Construction		Andale Construction		Shiya-Strephans		Wheeler Construction	
				Unit Price	Total Price	Unit Price	Total Price	Unit Price	Total Price	Unit Price	Total Price	Unit Price	Total Price	Unit Price	Total Price
107.01500	Community Relations (Allowance)	1	LS	\$ 10,000.00	\$ 10,000.00	\$ 10,000.00	\$ 10,000.00	\$ 10,000.00	\$ 10,000.00	\$ 10,000.00	\$ 10,000.00	\$ 10,000.00	\$ 10,000.00	\$ 10,000.00	\$ 10,000.00
107.03000	NPDES/SWPPP	1	LS	\$ 3,295.02	\$ 3,295.02	\$ 5,200.00	\$ 5,200.00	\$ 4,590.00	\$ 4,590.00	\$ 20,000.00	\$ 20,000.00	\$ 15,000.00	\$ 15,000.00	\$ 8,000.00	\$ 8,000.00
107.04000	Miscellaneous Reimbursable (Allowance)	1	LS	\$ 50,000.00	\$ 50,000.00	\$ 50,000.00	\$ 50,000.00	\$ 50,000.00	\$ 50,000.00	\$ 50,000.00	\$ 50,000.00	\$ 50,000.00	\$ 50,000.00	\$ 50,000.00	\$ 50,000.00
108.01000	Construction Staking, Surveying and Layout	1	LS	\$ 2,196.67	\$ 2,196.67	\$ 2,350.00	\$ 2,350.00	\$ 3,570.00	\$ 3,570.00	\$ 7,000.00	\$ 7,000.00	\$ 7,500.00	\$ 7,500.00	\$ 4,500.00	\$ 4,500.00
108.01010	As-built Documents	1	LS	\$ 2,196.67	\$ 2,196.67	\$ 1,100.00	\$ 1,100.00	\$ 3,570.00	\$ 3,570.00	\$ 2,000.00	\$ 2,000.00	\$ 1,500.00	\$ 1,500.00	\$ 1,500.00	\$ 1,500.00
109.09000	Mobilization/Demobilization	1	LS	\$ 16,738.66	\$ 16,738.66	\$ 30,000.00	\$ 30,000.00	\$ 40,800.00	\$ 40,800.00	\$ 8,000.00	\$ 8,000.00	\$ 55,000.00	\$ 55,000.00	\$ 20,000.00	\$ 20,000.00
212.01000	Obliteration of Existing Striping and Symbols	3682	LF	\$ 1.54	\$ 5,670.28	\$ 1.60	\$ 5,891.20	\$ 0.51	\$ 1,877.82	\$ 1.75	\$ 6,443.50	\$ 2.20	\$ 8,100.40	\$ 1.75	\$ 6,443.50
301.01000	Subgrade Preparation	2034	SY	\$ 14.36	\$ 29,208.24	\$ 12.00	\$ 24,408.00	\$ 4.39	\$ 8,929.26	\$ 10.00	\$ 20,340.00	\$ 5.00	\$ 10,170.00	\$ 4.50	\$ 9,153.00
310.03275	Aggregate Base Course(12")	1100	Ton	\$ 24.34	\$ 26,774.00	\$ 11.50	\$ 12,650.00	\$ 12.50	\$ 13,750.00	\$ 20.00	\$ 22,000.00	\$ 20.00	\$ 22,000.00	\$ 11.50	\$ 12,650.00
317.04000	Mill 2.5" AC	2495	SY	\$ 5.22	\$ 13,023.90	\$ 5.25	\$ 13,098.75	\$ 1.79	\$ 4,466.05	\$ 35.00	\$ 87,325.00	\$ 5.00	\$ 12,475.00	\$ 6.70	\$ 16,716.50
321.01200	2" AC Surface Course (12.5 mm)	222	Ton	\$ 109.11	\$ 24,222.42	\$ 124.00	\$ 27,528.00	\$ 77.52	\$ 17,209.44	\$ 120.00	\$ 26,640.00	\$ 135.00	\$ 29,970.00	\$ 129.00	\$ 28,638.00
321.01250	2.5" AC Surface Course (12.5 mm)	340	Ton	\$ 104.26	\$ 35,448.40	\$ 124.00	\$ 42,160.00	\$ 77.52	\$ 26,356.80	\$ 120.00	\$ 40,800.00	\$ 110.00	\$ 37,400.00	\$ 142.00	\$ 48,280.00
321.01300	3" AC Base Course (19 mm)	333	Ton	\$ 104.45	\$ 34,781.85	\$ 100.00	\$ 33,300.00	\$ 74.46	\$ 24,795.18	\$ 120.00	\$ 39,960.00	\$ 120.00	\$ 39,960.00	\$ 149.00	\$ 49,617.00
350.01301	Sawcut & Removal of Existing Asphalt Concrete Pavement	2034	SY	\$ 2.70	\$ 5,491.80	\$ 5.25	\$ 10,678.50	\$ 3.83	\$ 7,790.22	\$ 31.50	\$ 64,071.00	\$ 10.00	\$ 20,340.00	\$ 3.50	\$ 7,119.00
401.01000	Traffic Control	1	LS	\$ 16,606.86	\$ 16,606.86	\$ 20,000.00	\$ 20,000.00	\$ 40,800.00	\$ 40,800.00	\$ 31,000.00	\$ 31,000.00	\$ 22,500.00	\$ 22,500.00	\$ 33,000.00	\$ 33,000.00
462.01100	100 mm (4", 18" and 24") Solid White Thermoplastic Traffic Stripe	2546	LF	\$ 1.21	\$ 3,080.66	\$ 0.80	\$ 2,036.80	\$ 1.07	\$ 2,724.22	\$ 2.25	\$ 5,728.50	\$ 1.50	\$ 3,819.00	\$ 0.90	\$ 2,291.40
462.01200	100 mm (4") Double Yellow Thermoplastic Traffic Striping	1928	LF	\$ 1.21	\$ 2,332.88	\$ 0.80	\$ 1,542.40	\$ 1.99	\$ 3,836.72	\$ 2.25	\$ 4,338.00	\$ 1.50	\$ 2,892.00	\$ 0.90	\$ 1,735.20
610.02012	12" DIP Waterline, Class 350, w/fittings, complete in place	0	LF	\$	\$	\$	\$	\$	\$	\$	\$	\$	\$	\$	\$
610.02016	16" DIP Waterline, Class 250, w/fittings, complete in place	3585	LF	\$ 52.64	\$ 188,714.40	\$ 72.00	\$ 258,120.00	\$ 139.17	\$ 498,924.45	\$ 92.00	\$ 329,820.00	\$ 93.50	\$ 335,197.50	\$ 87.40	\$ 313,329.00
615.10012	12" DIP Waterline, Class 350, w/fittings, restrained joints, complete in place	131	LF	\$ 61.33	\$ 8,034.23	\$ 116.00	\$ 15,196.00	\$ 131.21	\$ 17,188.51	\$ 99.00	\$ 12,969.00	\$ 131.00	\$ 17,161.00	\$ 98.00	\$ 12,838.00
615.10016	16" DIP Waterline, Class 250, w/fittings, restrained joints, complete in place	96	LF	\$ 118.19	\$ 11,346.24	\$ 90.00	\$ 8,640.00	\$ 175.43	\$ 16,841.28	\$ 155.50	\$ 14,928.00	\$ 191.00	\$ 18,336.00	\$ 118.00	\$ 11,328.00
630.01112	12" Resilient Wedge Gate Valve, Box and Cover (Potable)	1	EA	\$ 2,320.42	\$ 2,320.42	\$ 3,000.00	\$ 3,000.00	\$ 2,737.90	\$ 2,737.90	\$ 2,500.00	\$ 2,500.00	\$ 4,000.00	\$ 4,000.00	\$ 2,100.00	\$ 2,100.00
	SUBTOTAL WITHOUT TAX				\$ 491,483.60		\$ 576,899.65		\$ 800,757.85		\$ 805,863.00		\$ 723,320.90		\$ 649,238.60
	TAX				28,112.86		32,998.66		45,803.35		46,095.36		41,373.96		37,136.45
	TOTAL CALCULATED BY STAFF				\$519,596.46		\$609,898.31		\$846,561.20		\$851,958.36		\$764,694.86		\$686,375.05
	TOTAL SUBMITTED BY BIDDER				\$519,596.46		\$599,899.65		\$832,839.28		\$853,006.00		\$764,694.86		\$686,132.97
	Bid Bond Attached?				Yes		Yes		Yes		Yes		Yes		Yes
	Contractor License Attached?				Yes		Yes		Yes		Yes		Yes		Yes
	Is contract properly signed?				Yes		Yes		Yes		Yes		Yes		Yes
	Business License Attached?				Yes		Yes		Yes		Yes		Yes		Yes
	Addendum #1 attached				Yes		Yes		Yes		Yes		Yes		Yes
	Exceptions to specifications?				No		No		No		No		No		No

BID TABULATION

WA1213 Van Buren Well 16-in Transmission Line

BID DATE: July 17, 2008

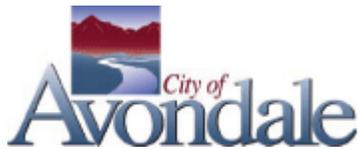
Item No.	Description of Materials and/or services	Qty	Unit	Spire Engineering		Petra Contracting		Standard Construction		Brizco Construction		Pierson Construction		T & T Construction	
				Unit Price	Total Price	Unit Price	Total Price	Unit Price	Total Price	Unit Price	Total Price	Unit Price	Total Price	Unit Price	Total Price
107.01500	Community Relations (Allowance)	1	LS	\$ 10,000.00	\$ 10,000.00	\$ 10,000.00	\$ 10,000.00	\$ 10,000.00	\$ 10,000.00	\$ 10,000.00	\$ 10,000.00	\$ 10,000.00	\$ 10,000.00	\$ 10,000.00	\$ 10,000.00
107.03000	NPDES/SWPPP	1	LS	\$ 1,800.00	\$ 1,800.00	\$ 3,498.00	\$ 3,498.00	\$ 5,200.00	\$ 5,200.00	\$ 5,000.00	\$ 5,000.00	\$ 7,000.00	\$ 7,000.00	\$ 2,225.00	\$ 2,225.00
107.04000	Miscellaneous Reimbursable (Allowance)	1	LS	\$ 50,000.00	\$ 50,000.00	\$ 50,000.00	\$ 50,000.00	\$ 50,000.00	\$ 50,000.00	\$ 50,000.00	\$ 50,000.00	\$ 50,000.00	\$ 50,000.00	\$ 50,000.00	\$ 50,000.00
108.01000	Construction Staking, Surveying and Layout	1	LS	\$ 2,400.00	\$ 2,400.00	\$ 2,332.00	\$ 2,332.00	\$ 2,300.00	\$ 2,300.00	\$ 2,500.00	\$ 2,500.00	\$ 2,300.00	\$ 2,300.00	\$ 4,150.00	\$ 4,150.00
108.01010	As-built Documents	1	LS	\$ 1,100.00	\$ 1,100.00	\$ 1,049.00	\$ 1,049.00	\$ 900.00	\$ 900.00	\$ 1,000.00	\$ 1,000.00	\$ 1,100.00	\$ 1,100.00	\$ 1,100.00	\$ 1,100.00
109.09000	Mobilization/Demobilization	1	LS	\$ 43,050.04	\$ 43,050.04	\$ 4,229.00	\$ 4,229.00	\$ 2,500.00	\$ 2,500.00	\$ 5,000.00	\$ 5,000.00	\$ 38,000.00	\$ 38,000.00	\$ 10,000.00	\$ 10,000.00
212.01000	Obliteration of Existing Striping and Symbols	3682	LF	\$ 1.20	\$ 4,418.40	\$ 1.28	\$ 4,712.96	\$ 1.20	\$ 4,418.40	\$ 1.00	\$ 3,682.00	\$ 1.50	\$ 5,523.00	\$ 1.56	\$ 5,743.92
301.01000	Subgrade Preparation	2034	SY	\$ 1.00	\$ 2,034.00	\$ 3.66	\$ 7,444.44	\$ 4.50	\$ 9,153.00	\$ 2.00	\$ 4,068.00	\$ 2.00	\$ 4,068.00	\$ 1.00	\$ 2,034.00
310.03275	Aggregate Base Course(12")	1100	Ton	\$ 11.00	\$ 12,100.00	\$ 13.00	\$ 14,300.00	\$ 25.00	\$ 27,500.00	\$ 10.00	\$ 11,000.00	\$ 14.00	\$ 15,400.00	\$ 10.75	\$ 11,825.00
317.04000	Mill 2.5" AC	2495	SY	\$ 6.00	\$ 14,970.00	\$ 2.00	\$ 4,990.00	\$ 4.75	\$ 11,851.25	\$ 4.00	\$ 9,980.00	\$ 2.40	\$ 5,988.00	\$ 5.20	\$ 12,974.00
321.01200	2" AC Surface Course (12.5 mm)	222	Ton	\$ 135.00	\$ 29,970.00	\$ 141.19	\$ 31,344.18	\$ 120.00	\$ 26,640.00	\$ 140.00	\$ 31,080.00	\$ 155.00	\$ 34,410.00	\$ 170.50	\$ 37,851.00
321.01250	2.5" AC Surface Course (12.5 mm)	340	Ton	\$ 161.00	\$ 54,740.00	\$ 144.59	\$ 49,160.60	\$ 120.00	\$ 40,800.00	\$ 145.00	\$ 49,300.00	\$ 127.00	\$ 43,180.00	\$ 170.50	\$ 57,970.00
321.01300	3" AC Base Course (19 mm)	333	Ton	\$ 145.00	\$ 48,285.00	\$ 139.92	\$ 46,593.36	\$ 120.00	\$ 39,960.00	\$ 140.00	\$ 46,620.00	\$ 138.00	\$ 45,954.00	\$ 170.50	\$ 56,776.50
350.01301	Sawcut & Removal of Existing Asphalt Concrete Pavement	2034	SY	\$ 3.00	\$ 6,102.00	\$ 4.00	\$ 8,136.00	\$ 11.00	\$ 22,374.00	\$ 3.00	\$ 6,102.00	\$ 11.00	\$ 22,374.00	\$ 8.00	\$ 16,272.00
401.01000	Traffic Control	1	LS	\$ 15,000.00	\$ 15,000.00	\$ 10,377.00	\$ 10,377.00	\$ 22,000.00	\$ 22,000.00	\$ 10,000.00	\$ 10,000.00	\$ 14,000.00	\$ 14,000.00	\$ 9,900.00	\$ 9,900.00
462.01100	100 mm (4", 18" and 24") Solid White Thermoplastic Traffic Stripe	2546	LF	\$ 1.00	\$ 2,546.00	\$ 1.00	\$ 2,546.00	\$ 1.10	\$ 2,800.60	\$ 1.00	\$ 2,546.00	\$ 1.00	\$ 2,546.00	\$ 0.78	\$ 1,985.88
462.01200	100 mm (4") Double Yellow Thermoplastic Traffic Striping	1928	LF	\$ 1.00	\$ 1,928.00	\$ 1.10	\$ 2,120.80	\$ 1.10	\$ 2,120.80	\$ 1.00	\$ 1,928.00	\$ 1.00	\$ 1,928.00	\$ 0.78	\$ 1,503.84
610.02012	12" DIP Waterline, Class 350, w/fittings, complete in place	0	LF	\$	\$	\$	\$	\$	\$	\$	\$	\$	\$	\$	\$
610.02016	16" DIP Waterline, Class 250, w/fittings, complete in place	3585	LF	\$ 89.45	\$ 320,678.25	\$ 65.76	\$ 235,749.60	\$ 88.00	\$ 315,480.00	\$ 76.00	\$ 272,460.00	\$ 82.00	\$ 293,970.00	\$ 94.50	\$ 338,782.50
615.10012	12" DIP Waterline, Class 350, w/fittings, restrained joints, complete in place	131	LF	\$ 100.00	\$ 13,100.00	\$ 68.00	\$ 8,908.00	\$ 125.00	\$ 16,375.00	\$ 94.00	\$ 12,314.00	\$ 161.60	\$ 21,169.60	\$ 139.00	\$ 18,209.00
615.10016	16" DIP Waterline, Class 250, w/fittings, restrained joints, complete in place	96	LF	\$ 180.00	\$ 17,280.00	\$ 115.90	\$ 11,126.40	\$ 175.00	\$ 16,800.00	\$ 120.00	\$ 11,520.00	\$ 185.00	\$ 17,760.00	\$ 123.50	\$ 11,856.00
630.01112	12" Resilient Wedge Gate Valve, Box and Cover (Potable)	1	EA	\$ 2,824.00	\$ 2,824.00	\$ 2,230.00	\$ 2,230.00	\$ 2,500.00	\$ 2,500.00	\$ 2,500.00	\$ 2,500.00	\$ 2,400.00	\$ 2,400.00	\$ 2,300.00	\$ 2,300.00
	SUBTOTAL WITHOUT TAX				\$ 654,325.69		\$ 510,847.34		\$ 631,673.05		\$ 548,600.00		\$ 639,070.60		\$ 663,458.64
	TAX				\$ 37,427.43		\$ 29,220.47		\$ 36,131.70		\$ 31,379.92		\$ 36,554.84		\$ 66,345.86
	TOTAL CALCULATED BY STAFF				\$691,753.12		\$540,067.81		\$667,804.75		\$579,979.92		\$675,625.44		\$729,804.50
	TOTAL SUBMITTED BY BIDDER				\$687,500.00		\$544,537.72		\$667,804.75		\$569,600.00		\$675,404.00		\$663,458.64
	Bid Bond Attached?				Yes		Yes		Yes		Yes		Yes		Yes
	Contractor License Attached?				Yes		Yes		Yes		Yes		Yes		Yes
	Is contract properly signed?				Yes		Yes		Yes		Yes		Yes		Yes
	Business License Attached?				Yes		Yes		Yes		Yes		Yes		Yes
	Addendum #1 attached				Yes		Yes		Yes		Yes		Yes		Yes
	Exceptions to specifications?				No		No		No		No		No		No

BID TABULATION
WA1213 Van Buren Well 16-in Transmission Line
BID DATE: July 17, 2008

Item No.	Description of Materials and/or services	Qty	Unit	Sahuaro Contracting		Citywide Contracting		Kleven Construction		DCS Contracting		Arapahoe		Kelco	
				Unit Price	Total Price	Unit Price	Total Price	Unit Price	Total Price	Unit Price	Total Price	Unit Price	Total Price	Unit Price	Total Price
107.01500	Community Relations (Allowance)	1	LS	\$ 10,000.00	\$ 10,000.00	\$ 10,000.00	\$ 10,000.00	\$ 10,000.00	\$ 10,000.00	\$ 10,000.00	\$ 10,000.00	\$ 10,000.00	\$ 10,000.00	\$ 10,000.00	\$ 10,000.00
107.03000	NPDES/SWPPP	1	LS	\$ 5,000.00	\$ 5,000.00	\$ 4,500.00	\$ 4,500.00	\$ 10,000.00	\$ 10,000.00	\$ 7,240.00	\$ 7,240.00	\$ 6,900.00	\$ 6,900.00	\$ 4,000.00	\$ 4,000.00
107.04000	Miscellaneous Reimbursable (Allowance)	1	LS	\$ 50,000.00	\$ 50,000.00	\$ 50,000.00	\$ 50,000.00	\$ 50,000.00	\$ 50,000.00	\$ 50,000.00	\$ 50,000.00	\$ 50,000.00	\$ 50,000.00	\$ 50,000.00	\$ 50,000.00
108.01000	Construction Staking, Surveying and Layout	1	LS	\$ 8,000.00	\$ 8,000.00	\$ 2,100.00	\$ 2,100.00	\$ 4,000.00	\$ 4,000.00	\$ 2,410.00	\$ 2,410.00	\$ 5,100.00	\$ 5,100.00	\$ 3,000.00	\$ 3,000.00
108.01010	As-built Documents	1	LS	\$ 2,000.00	\$ 2,000.00	\$ 950.00	\$ 950.00	\$ 2,000.00	\$ 2,000.00	\$ 1,095.00	\$ 1,095.00	\$ 5,100.00	\$ 5,100.00	\$ 600.00	\$ 600.00
109.09000	Mobilization/Demobilization	1	LS	\$ 10,000.00	\$ 10,000.00	\$ 6,000.00	\$ 6,000.00	\$ 10,000.00	\$ 10,000.00	\$ 4,460.00	\$ 4,460.00	\$ 7,400.00	\$ 7,400.00	\$ 10,500.00	\$ 10,500.00
212.01000	Obliteration of Existing Striping and Symbols	3682	LF	\$ 2.60	\$ 9,573.20	\$ 1.00	\$ 3,682.00	\$ 1.89	\$ 6,958.98	\$ 1.70	\$ 6,259.40	\$ 2.00	\$ 7,364.00	\$ 1.05	\$ 3,866.10
301.01000	Subgrade Preparation	2034	SY	\$ 5.00	\$ 10,170.00	\$ 4.00	\$ 8,136.00	\$ 14.92	\$ 30,347.28	\$ 7.00	\$ 14,238.00	\$ 3.50	\$ 7,119.00	\$ 1.05	\$ 2,135.70
310.03275	Aggregate Base Course(12")	1100	Ton	\$ 16.00	\$ 17,600.00	\$ 25.00	\$ 27,500.00	\$ 19.15	\$ 21,065.00	\$ 14.70	\$ 16,170.00	\$ 14.00	\$ 15,400.00	\$ 14.75	\$ 16,225.00
317.04000	Mill 2.5" AC	2495	SY	\$ 4.20	\$ 10,479.00	\$ 7.00	\$ 17,465.00	\$ 4.80	\$ 11,976.00	\$ 6.50	\$ 16,217.50	\$ 4.00	\$ 9,980.00	\$ 8.00	\$ 19,960.00
321.01200	2" AC Surface Course (12.5 mm)	222	Ton	\$ 133.00	\$ 29,526.00	\$ 95.00	\$ 21,090.00	\$ 165.00	\$ 36,630.00	\$ 130.00	\$ 28,860.00	\$ 160.00	\$ 35,520.00	\$ 119.00	\$ 26,418.00
321.01250	2.5" AC Surface Course (12.5 mm)	340	Ton	\$ 137.00	\$ 46,580.00	\$ 95.00	\$ 32,300.00	\$ 134.00	\$ 45,560.00	\$ 119.00	\$ 40,460.00	\$ 130.00	\$ 44,200.00	\$ 106.00	\$ 36,040.00
321.01300	3" AC Base Course (19 mm)	333	Ton	\$ 141.00	\$ 46,953.00	\$ 120.00	\$ 39,960.00	\$ 148.00	\$ 49,284.00	\$ 120.00	\$ 39,960.00	\$ 150.00	\$ 49,950.00	\$ 108.00	\$ 35,964.00
350.01301	Sawcut & Removal of Existing Asphalt Concrete Pavement	2034	SY	\$ 4.00	\$ 8,136.00	\$ 5.00	\$ 10,170.00	\$ 2.74	\$ 5,573.16	\$ 7.80	\$ 15,865.20	\$ 13.00	\$ 26,442.00	\$ 4.50	\$ 9,153.00
401.01000	Traffic Control	1	LS	\$ 15,000.00	\$ 15,000.00	\$ 9,300.00	\$ 9,300.00	\$ 12,900.00	\$ 12,900.00	\$ 13,700.00	\$ 13,700.00	\$ 17,000.00	\$ 17,000.00	\$ 8,000.00	\$ 8,000.00
462.01100	100 mm (4", 18" and 24") Solid White Thermoplastic Traffic Stripe	2546	LF	\$ 3.12	\$ 7,943.52	\$ 1.00	\$ 2,546.00	\$ 0.95	\$ 2,418.70	\$ 0.85	\$ 2,164.10	\$ 2.00	\$ 5,092.00	\$ 0.98	\$ 2,495.08
462.01200	100 mm (4") Double Yellow Thermoplastic Traffic Striping	1928	LF	\$ 2.45	\$ 4,723.60	\$ 1.50	\$ 2,892.00	\$ 0.94	\$ 1,812.32	\$ 0.85	\$ 1,638.80	\$ 2.50	\$ 4,820.00	\$ 1.00	\$ 1,928.00
610.02012	12" DIP Waterline, Class 350, w/fittings, complete in place	0	LF	\$	\$	\$	\$	\$	\$	\$	\$	\$	\$	\$	\$
610.02016	16" DIP Waterline, Class 250, w/fittings, complete in place	3585	LF	\$ 83.20	\$ 298,272.00	\$ 77.00	\$ 276,045.00	\$ 96.60	\$ 346,311.00	\$ 94.00	\$ 336,990.00	\$ 68.00	\$ 243,780.00	\$ 66.00	\$ 236,610.00
615.10012	12" DIP Waterline, Class 350, w/fittings, restrained joints, complete in place	131	LF	\$ 60.00	\$ 7,860.00	\$ 86.00	\$ 11,266.00	\$ 99.03	\$ 12,972.93	\$ 150.00	\$ 19,650.00	\$ 140.00	\$ 18,340.00	\$ 70.00	\$ 9,170.00
615.10016	16" DIP Waterline, Class 250, w/fittings, restrained joints, complete in place	96	LF	\$ 100.00	\$ 9,600.00	\$ 130.00	\$ 12,480.00	\$ 131.60	\$ 12,633.60	\$ 104.00	\$ 9,984.00	\$ 132.00	\$ 12,672.00	\$ 110.00	\$ 10,560.00
630.01112	12" Resilient Wedge Gate Valve, Box and Cover (Potable)	1	EA	\$ 2,600.00	\$ 2,600.00	\$ 3,000.00	\$ 3,000.00	\$ 2,390.00	\$ 2,390.00	\$ 2,320.00	\$ 2,320.00	\$ 4,000.00	\$ 4,000.00	\$ 2,200.00	\$ 2,200.00
SUBTOTAL WITHOUT TAX					\$ 610,016.32		\$ 551,382.00		\$ 684,832.97		\$ 639,682.00		\$ 586,179.00		\$ 498,824.88
TAX					\$ 34,892.93		\$ 31,539.05		\$ 39,172.45		\$ 36,589.81		\$ 33,529.44		\$ 28,532.78
TOTAL CALCULATED BY STAFF					\$ 644,909.25		\$ 582,921.05		\$ 724,005.42		\$ 676,271.81		\$ 619,708.44		\$ 527,357.66
TOTAL SUBMITTED BY BIDDER					\$ 610,016.32		\$ 583,536.00		\$ 728,701.00		\$ 676,272.00		\$ 627,179.00		\$ 526,776.20
Bid Bond Attached?					Yes		Yes		Yes		Yes		Yes		Yes
Contractor License Attached?					Yes		Yes		Yes		Yes		Yes		Yes
Is contract properly signed?					Yes		Yes		Yes		Yes		Yes		Yes
Business License Attached?					Yes		Yes		Yes		Yes		Yes		Yes
Addendum #1 attached					Yes		Yes		Yes		Yes		Yes		Yes
Exceptions to specifications?					No		No		No		No		No		No

BID TABULATION
WA1213 Van Buren Well 16-in Transmission Line
BID DATE: July 17, 2008

Item No.	Description of Materials and/or services	Qty	Unit	Talis Construction		BluCor Contracting		SJL		B&F Contracting		Engineer's Estimate	
				Unit Price	Total Price	Unit Price	Total Price	Unit Price	Total Price	Unit Price	Total Price	Unit Price	Total Price
107.01500	Community Relations (Allowance)	1	LS	\$ 10,000.00	\$ 10,000.00	\$ 10,000.00	\$ 10,000.00	\$ 10,000.00	\$ 10,000.00	\$ 10,000.00	\$ 10,000.00	\$10,000.00	\$ 10,000.00
107.03000	NPDES/SWPPP	1	LS	\$ 7,178.00	\$ 7,178.00	\$ 18,000.00	\$ 18,000.00	\$ 7,000.00	\$ 7,000.00	\$ 12,000.00	\$ 12,000.00	\$3,500.00	\$ 3,500.00
107.04000	Miscellaneous Reimbursable (Allowance)	1	LS	\$ 50,000.00	\$ 50,000.00	\$ 50,000.00	\$ 50,000.00	\$ 50,000.00	\$ 50,000.00	\$ 50,000.00	\$ 50,000.00	\$50,000.00	\$ 50,000.00
108.01000	Construction Staking, Surveying and Layout	1	LS	\$ 7,178.00	\$ 7,178.00	\$ 2,700.00	\$ 2,700.00	\$ 5,000.00	\$ 5,000.00	\$ 2,800.00	\$ 2,800.00	\$10,000.00	\$ 10,000.00
108.01010	As-built Documents	1	LS	\$ 1,656.00	\$ 1,656.00	\$ 1,150.00	\$ 1,150.00	\$ 1,500.00	\$ 1,500.00	\$ 1,100.00	\$ 1,100.00	\$3,000.00	\$ 3,000.00
109.09000	Mobilization/Demobilization	1	LS	\$ 8,135.00	\$ 8,135.00	\$ 20,000.00	\$ 20,000.00	\$ 41,500.00	\$ 41,500.00	\$ 5,500.00	\$ 5,500.00	\$42,837.75	\$ 42,837.75
212.01000	Obliteration of Existing Striping and Symbols	3682	LF	\$ 1.52	\$ 5,596.64	\$ 1.30	\$ 4,786.60	\$ 1.00	\$ 3,682.00	\$ 1.80	\$ 6,627.60	\$0.50	\$ 1,841.00
301.01000	Subgrade Preparation	2034	SY	\$ 2.43	\$ 4,942.62	\$ 2.90	\$ 5,898.60	\$ 4.00	\$ 8,136.00	\$ 2.50	\$ 5,085.00	\$4.00	\$ 8,136.00
310.03275	Aggregate Base Course(12")	1100	Ton	\$ 11.49	\$ 12,639.00	\$ 12.75	\$ 14,025.00	\$ 10.50	\$ 11,550.00	\$ 18.00	\$ 19,800.00	\$40.00	\$ 44,000.00
317.04000	Mill 2.5" AC	2495	SY	\$ 3.48	\$ 8,682.60	\$ 4.20	\$ 10,479.00	\$ 3.00	\$ 7,485.00	\$ 6.00	\$ 14,970.00	\$16.00	\$ 39,920.00
321.01200	2" AC Surface Course (12.5 mm)	222	Ton	\$ 140.62	\$ 31,217.64	\$ 175.00	\$ 38,850.00	\$ 125.00	\$ 27,750.00	\$ 165.00	\$ 36,630.00	\$110.00	\$ 24,420.00
321.01250	2.5" AC Surface Course (12.5 mm)	340	Ton	\$ 109.82	\$ 37,338.80	\$ 135.00	\$ 45,900.00	\$ 126.00	\$ 42,840.00	\$ 160.00	\$ 54,400.00	\$110.00	\$ 37,400.00
321.01300	3" AC Base Course (19 mm)	333	Ton	\$ 119.73	\$ 39,870.09	\$ 155.00	\$ 51,615.00	\$ 127.00	\$ 42,291.00	\$ 160.00	\$ 53,280.00	\$110.00	\$ 36,630.00
350.01301	Sawcut & Removal of Existing Asphalt Concrete Pavement	2034	SY	\$ 4.06	\$ 8,258.04	\$ 5.00	\$ 10,170.00	\$ 5.50	\$ 11,187.00	\$ 14.00	\$ 28,476.00	\$4.50	\$ 9,153.00
401.01000	Traffic Control	1	LS	\$ 30,621.00	\$ 30,621.00	\$ 18,000.00	\$ 18,000.00	\$ 5,250.00	\$ 5,250.00	\$ 27,000.00	\$ 27,000.00	\$15,000.00	\$ 15,000.00
462.01100	100 mm (4", 18" and 24") Solid White Thermoplastic Traffic Stripe	2546	LF	\$ 0.94	\$ 2,393.24	\$ 1.20	\$ 3,055.20	\$ 0.92	\$ 2,342.32	\$ 1.30	\$ 3,309.80	\$0.50	\$ 1,273.00
462.01200	100 mm (4") Double Yellow Thermoplastic Traffic Striping	1928	LF	\$ 1.00	\$ 1,928.00	\$ 1.20	\$ 2,313.60	\$ 0.94	\$ 1,812.32	\$ 1.30	\$ 2,506.40	\$0.60	\$ 1,156.80
610.02012	12" DIP Waterline, Class 350, w/fittings, complete in place	0	LF	\$	\$	\$	\$	\$	\$	\$	\$	\$0.00	\$
610.02016	16" DIP Waterline, Class 250, w/fittings, complete in place	3585	LF	\$ 128.45	\$ 460,493.25	\$ 77.00	\$ 276,045.00	\$ 70.00	\$ 250,950.00	\$ 132.10	\$ 473,578.50	\$82.00	\$ 293,970.00
615.10012	12" DIP Waterline, Class 350, w/fittings, restrained joints, complete in place	131	LF	\$ 107.28	\$ 14,053.68	\$ 91.00	\$ 11,921.00	\$ 60.00	\$ 7,860.00	\$ 255.00	\$ 33,405.00	\$77.00	\$ 10,087.00
615.10016	16" DIP Waterline, Class 250, w/fittings, restrained joints, complete in place	96	LF	\$ 222.47	\$ 21,357.12	\$ 135.00	\$ 12,960.00	\$ 125.00	\$ 12,000.00	\$ 242.00	\$ 23,232.00	\$111.00	\$ 10,656.00
630.01112	12" Resilient Wedge Gate Valve, Box and Cover (Potable)	1	EA	\$ 2,766.28	\$ 2,766.28	\$ 2,300.00	\$ 2,300.00	\$ 2,500.00	\$ 2,500.00	\$ 2,400.00	\$ 2,400.00	\$1,825.00	\$ 1,825.00
	SUBTOTAL WITHOUT TAX				\$ 766,305.00		\$ 610,169.00		\$ 552,635.64		\$ 866,100.30		\$ 654,805.55
	TAX				43,832.65		34,901.67		31,610.76		49,540.94		\$45,836.39
	TOTAL CALCULATED BY STAFF				\$810,137.65		\$645,070.67		\$584,246.40		\$915,641.24		\$700,641.93
	TOTAL SUBMITTED BY BIDDER				\$807,766.07		\$640,169.00		\$584,299.15		\$915,641.24		
	Bid Bond Attached?				Yes		Yes		Yes		Yes		
	Contractor License Attached?				Yes		Yes		Yes		Yes		
	Is contract properly signed?				Yes		Yes		Yes		Yes		
	Business License Attached?				Yes		Yes		Yes		Yes		
	Addendum #1 attached				Yes		Yes		Yes		Yes		
	Exceptions to specifications?				No		No		No		No		



DEVELOPMENT SERVICES

SUBJECT:
Public Hearing and Ordinance - TA-08-14 Child Care Center in OTAB and Commercial Setbacks

MEETING DATE:
August 4, 2008

TO: Mayor and Council
FROM: Brian Berndt, Development Services Director 623-333-4011
THROUGH: Charlie McClendon, City Manager

REQUEST: Amendment to Section 306.E of the Zoning Ordinance relating to commercial setbacks and Section 307.B of the Zoning Ordinance relating to child care centers

APPLICANT: City staff

BACKGROUND:

Staff is currently working on updates to the Avondale Zoning Ordinance. The Avondale Economic Development Department is currently writing a revitalization plan for Old Town Avondale. The proposed text amendments are designed to help implement the revitalization plan and to make Section 3 of the Zoning Ordinance more consistent with other updated sections.

SUMMARY OF REQUEST:

The request will amend the following portions of Section 3 as shown in the proposed text (Exhibit A):

- Section 306.E: Commercial Development Standards
- Section 307.B: Uses permitted subject to a Conditional Use Permit in the Old Town Avondale Zoning Overlay District (OTAB)

The request would clarify the required commercial district setbacks from residential to exclude manufactured home parks. The request would also allow child care centers with approval of a Conditional Use Permit.

PARTICIPATION:

A notice of the Planning Commission hearing was published in the West Valley View on July 1, 2008. No public comments have been received to date.

A notice of the City Council hearing was published in the West Valley View on July 15, 2008. No public comments have been received to date.

PLANNING COMMISSION ACTION:

The Planning Commission conducted a public hearing on July 17, 2008. The Planning Commission voted 6-0 to forward a recommendation of **APPROVAL** of application TA-08-14 (Exhibit B).

ANALYSIS:

Section 306.E: Commercial Development Standards

- The proposed amendment to Section 306.E: Commercial Development Standards would add the following language to the phrase, Setback from Residential District or Use: "Not applicable

the following language to the phrase, Setback from Residential District or Use: “Not applicable to manufactured home parks.”

- This amendment would require developments zoned R-O, C-O, C-1, C-2, and C-3 that are adjacent to a manufactured home park to comply with the side or rear setback, as applicable, when determining the setback from the manufactured home park.
- Traditionally, setbacks from single-family residential developments are designed to create a buffer from the commercial use and the rear of the adjacent house. Manufactured home parks, however, are typically designed differently. Pads for manufactured homes can be laid out within a park to create a perimeter buffer between the park property line and the pads themselves. This type of layout, similar to commercial or office park, creates the desired buffer and separation between the homes and the commercial development.
- Setbacks from other types of residential would remain as currently shown on the table in Section 306.E.

Section 307.B: Uses permitted subject to a conditional use permit

- The proposed amendment to Section 307.B: Uses permitted subject to a conditional use permit will add “child care center” to the list of uses allowed with a Conditional Use Permit within the OTAB Zoning District.
- City staff is currently conducting a study of the Old Town Avondale area in order to create a revitalization plan. Following the completion of the revitalization plan, staff is planning to examine the existing zoning for the area, including the text of the OTAB district, and determine where changes can be made to help implement the plan.
- One of the expected changes to the OTAB district is adding child care centers as an allowed use. The use will be allowed only with a Conditional Use Permit, in order to give the City an opportunity to review any impacts to the surrounding area and place conditions on the use to mitigate those impacts.
- The proposed text amendment to allow child care centers will help facilitate development in the Old Town area, and will help revitalize the area by providing opportunities for child care to the surrounding neighborhoods.
- Child care centers are currently allowed in Commercial Office (C-O), Neighborhood Commercial (C-1), Community Commercial (C-2), and Freeway Commercial (C-3) as a conditional use.

RECOMMENDATION:

The City Council should APPROVE the proposed text amendment.

PROPOSED MOTION:

I move that the City Council ADOPT the ordinance approving text amendment TA-08-14, a request to amend Section 306.E: Commercial Development Standards and Section 307.B: Uses permitted subject to a conditional use permit.

ATTACHMENTS:

Click to download

- 📄 [Exhibit A - Proposed Text Amendments](#)
- 📄 [Exhibit B - Draft minutes of the July 17, 2008 Planning Commission meeting](#)
- 📄 [Ordinance 1318-808](#)

PROJECT MANAGER:

Scott Wilken, Senior Planner 623-333-4016

Proposed Text Amendments

Section 306.E Commercial Development Standards

- E. The following table outlines the minimum development standards within each district. Yard, height, and area requirements in excess of these minimum standards may be required in accordance with the design standards outlined in the Zoning Ordinance, conditions required of conditional use permits or uses permitted with conditions, and/or the Design Manuals:

	R-O	C-O	C-1	C-2	C-3
Minimum Lot Width	45'	60'	None	None	None
Minimum Site Depth	100'	100'	None	None	None
Maximum Lot Coverage	35%	35%	None	None	None
Maximum Building Height	30'	30'	30'	30'	40'
Front Setback	20'	20'	20'	20'	20'
Street Setback	20'	20'	20'	20'	20'
Rear Setback	20'	20'	20'	20'	20'
Side Setback	20'	15'	15'	15'	20'
Parking Setback	10'	20'	30'	30'	30'
Interior Setback	15'	15'	None	None	None
Setback from a Residential District or Use*	1' per 1' bldg height	1' per 1' bldg height	1' per 1' bldg height	50'	100'
Parking Setback from Residential District or Use	25'	25'	25'	25'	25'
Maximum Accessory Structure Height	15'	15'	15'	15'	15'

*** Not applicable to manufactured home parks.**

307.B. Uses permitted subject to a conditional use permit. In the OTAB District, the following uses and activities and their accessory buildings and uses are permitted subject to the provisions of Section 107:

1. Alcoholic beverage sales for off premises consumption (liquor stores).
2. **Child Care Centers**
3. Cocktail lounges, bars, nightclubs, taverns, with or without entertainment and/or dancing.

4. Commercial parking lots and garages. Alleyway or side street ingress and egress is preferred for such lots and garages, as is their location to the rear of street side businesses, such that they are not visible from Western Avenue. Parking garages may be required by the development services director to accommodate commercial or civic uses on ground floors adjacent to the street.
5. Dwellings not part of a commercial development (fourteen and one-half (14.5) dwelling units/acre maximum). For lots fronting on Western Avenue, no front yard setbacks are required and the maximum setback permitted shall be ten (10) feet which may be used for landscaping, pedestrian circulation, entry court, and similar uses related to a downtown pedestrian environment. Development standards for such dwellings shall be determined on a case-by-case basis, taking into account the character of the surrounding area.
6. Dwellings which are an integral part of a commercial development (fourteen and one-half (14.5) du/ac maximum). Must be located above ground floor, or to the side or the rear, of the commercial development. Development standards for such dwellings shall be determined on a case-by-case basis, taking into account the character of the surrounding area.
7. Hotels, motels and bed and breakfast inns.
8. Movie theaters (enclosed buildings), especially art film theaters, but excluding adult theaters.
9. Performing arts theaters, but excluding adult live entertainment establishments.
10. Restaurants with a separate bar/lounge area, with or without entertainment and/or dancing.
11. Veterinary offices provided such offices are constructed to prevent objectionable noises and odors outside the walls of the office. The boarding of animals shall be permitted only for short time periods for the purpose of observation incidental to care.
12. Uses similar to and not more detrimental than those permitted herein, excluding tattoo parlors, body piercing studios, pawn shops, plasma centers, and non-chartered financial services.
13. Sidewalk cafes. Sidewalk cafes on public sidewalks can enhance the pedestrian ambiance of Old Town Avondale and are encouraged. The purpose of this section is to set forth the conditions and requirements under which a sidewalk cafe, as defined below, may be permitted to operate on a public sidewalk within the OTAB District.
 - a. Definition. A sidewalk cafe is any group of tables and chairs, and its authorized decorative and accessory devices, situated and maintained upon the public sidewalk or along the private porches and arcades for use in connection with the consumption of food and beverage sold to the public from or in an adjoining indoor restaurant or delicatessen.
 - b. Conditional use permit required. A conditional use permit is required for all sidewalk cafes. Fees for the conditional use permit may be waived by City Council Resolution as an incentive for sidewalk cafes.
 - c. Findings and conditions. In connection with approval of a conditional use permit, the development services director shall make findings that the proposed operation meets the limitations of this section. The development services director may impose such conditions in granting approval as deemed necessary to assure that the proposed operation will meet the operating requirements and conditions

set forth in this section and to assure that the general public health, safety and welfare will be protected.

d. Term and renewal. A conditional use permit for a sidewalk cafe may be approved by the development services commission for a maximum period of one year. Thereafter, the development services director, if an extension application is filed prior to any expiration date of the conditional use permit, may extend the permit for additional periods, not to exceed one year each, following his review and approval of the cafe's operations. In the event the development services director considers additional or revised conditions are necessary and should be imposed if the permit is to be extended or if the development services director is of the opinion that the permit should not be extended at all, he or she shall refer the application to the Planning Commission which shall hold a public hearing and thereafter decide the matter. The Planning Commission may make any extension of a conditional use permit subject to such additional and revised conditions and requirements as it deems appropriate or necessary and any extension granted by the Planning Commission shall not exceed a period of one year.

e. Revocation. A conditional use permit may be revoked by the development services director, following notice to the permitted and a public hearing, upon a finding that any of the following are true:

1. One or more conditions of the permit have been violated;
2. That one or more conditions of this section have been violated;
3. That the sidewalk cafe is being operated in a manner which constitutes a nuisance; or
4. That the operation of the sidewalk cafe unduly impedes or restricts the movement of pedestrians past the sidewalk cafe.

f. Appeals. The applicant or any interested party may appeal a decision of the development services director to the Planning Commission. All applications for appeal shall be accompanied by the required fee.

g. Limitations and requirements. A sidewalk cafe may be permitted only in the OTAB District if the sidewalk cafe is situated adjacent to an indoor restaurant or delicatessen as specified below, and the sidewalk cafe's operation is incidental to and a part of the operation of such adjacent indoor restaurant or delicatessen.

1. Existing indoor restaurants and delicatessens must conform to all sections of the City of Avondale Municipal Code in order to be eligible for approval of sidewalk services.
2. A sidewalk cafe may be located on the public sidewalk immediately adjacent to and abutting the indoor restaurant or delicatessen which operates the cafe, provided that the area in which the sidewalk cafe is located extends no farther along the sidewalk's length than the actual sidewalk frontage of the operating indoor restaurant or delicatessen and all other applicable provisions of this section are fulfilled.
3. An indoor restaurant or delicatessen may be permitted to operate only one sidewalk cafe and each sidewalk cafe shall be confined to a single location or the sidewalk.
4. A sidewalk cafe may be permitted only where the sidewalk or porch is wide enough to adequately accommodate both the usual pedestrian traffic

in the area and the operation of the proposed cafe. There shall be a minimum forty-eight (48) inches clear distance free of all obstructions, in order to allow adequate pedestrian movement.

5. All outdoors dining furniture, including tables, chairs, umbrellas, and planters, shall be movable. Umbrellas must be secured with a minimum base of not less than sixty (60) pounds. Outdoor heaters, amplified music, or speakers shall be reviewed at the time of application for a conditional use permit.

6. No signing shall be allowed at any outdoor cafe except for the name of the establishment on an awning or umbrella valance.

7. A sidewalk cafe may serve only food and beverages prepared or stocked for sale at the adjoining indoor restaurant or delicatessen; provided that the service of beer or wine, or both, solely for on-premises consumption by customers within the area of the sidewalk cafe has been authorized as part of a conditional use permit approval. Each of the following requirements must also be met:

i. The area in which the sidewalk cafe is authorized is identified in a manner, as approved by the development services director, which will clearly separate and delineate it from the areas of the sidewalk, which will remain open to pedestrian traffic.

ii. The sidewalk cafe operation is duly licensed in accordance with, the City of Avondale Municipal Code, or prior to the service of any beer or wine at the cafe, will be duly licensed, by state authorities to sell beer or wine, or both, for consumption within the area of the sidewalk cafe.

iii. The outdoor preparation of food and busing facilities are prohibited at sidewalk cafes. The presetting of tables with utensils, glasses, napkins, condiments, and the like is prohibited. All exterior surfaces within the cafe shall be easily cleanable and shall be kept clean at all times by the permitted.

iv. Trash and refuse storage for the sidewalk cafe shall not be permitted within the outdoor dining area or on adjacent sidewalk areas and the permitted shall remove all trash and litter as they accumulate. The permitted shall be responsible for maintaining the outdoor dining area, including the sidewalk surface and furniture and adjacent areas in a clean and safe condition.

8. Hours of operation shall be identical to those of the indoor restaurant or delicatessen. All furniture used in the operation of an outdoor cafe shall be removed from the sidewalk and stored indoors whenever the indoor restaurant or delicatessen is closed.

9. The city shall have the right to prohibit the operation of a sidewalk cafe at any time because of anticipated or actual problems or conflicts in the use of the sidewalk area. Such problems and conflicts may arise from, but are not limited to, scheduled festivals and similar events, parades, repairs to the street or sidewalk, or emergencies occurring in the area. To the extent possible, the permitted will be given prior written notice of any

time period during which the operation of the sidewalk cafe will be prohibited by the city.

10. The sidewalk cafe shall not require the provision of additional off-street parking.

14. Uses similar to and not more detrimental than those permitted herein, excluding tattoo parlors, body piercing studios, pawn shops, plasma centers, and non-chartered financial services.

draft

EXHIBIT B

Excerpt of the Draft Minutes of the regular Planning Commission meeting held July 17, 2008 at 7:00 p.m. in the Council Chambers.

COMMISSIONERS PRESENT

David Iwanski, Chairman
Michael Demlong, Vice Chair
Al Lageschulte, Commissioner
Edward Meringer, Commissioner
Angela Cotera, Commissioner
Linda Webster, Commissioner

CITY STAFF PRESENT

Brian Berndt, Development Services Director
Dean Svoboda, Long Range Planning Director
Ken Galica, Planner II, Development Services Department
Kelly LaRosa, Traffic Engineer, Engineering Department
Scott Wilken, Senior Planner, Development Services Department
Rogene Hill, Assistant City Manager
Chris Schmaltz, City Attorney

APPLICATION TA-08-14

APPLICANT City Staff

REQUEST Amend Section 306.E: Commercial Development Standards, by revising the commercial setbacks from manufactured home parks; and amend Section 307.B: Uses permitted subject to a Conditional Use Permit, to allow child care centers in the Old Town Avondale Overlay District as a conditional use. Staff Contact: Scott Wilken, AICP (623) 333-4016

Scott Wilken, Senior Planner, Development Services Department, stated this item is application TA-08-14, a text amendment to commercial setbacks and to allow childcare within the OTAB (Old Town Avondale Business) zoning district. He reminded the Commission that a text amendment to Section 3 of the Zoning Ordinance had been brought before the Planning Commission. The text amendment tonight would amend that section of the Zoning Ordinance further by amending the setbacks for Commercial projects adjacent to manufactured home parks, and it would allow child care uses in the OTAB district as a Conditional Use Permit. Recently Council adopted amendments to Section 3 and Section 4, the Employment section. Both amendments included additional setbacks from residential. Section 4 includes a provision that this increased setback did not apply to projects adjacent to manufactured home parks. This text amendment to Section 3 would standardize the setbacks.

Planning Commission Regular Meeting Minutes

July 17, 2008

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Mr. Wilken informed the Commission that childcare centers are currently allowed in most of the commercial zone districts as a conditional use, but they are not allowed in the OTAB district. City Staff is currently drafting an Old Town Revitalization Plan that should be ready this summer. Once this plan is finished, Staff will do a full study of the OTAB district to see if there are other ways the OTAB district can be amended to implement this plan. Mr. Wilken stated that allowing childcare in the OTAB district right now will help revitalize the area by providing opportunities for childcare to the surrounding neighborhoods.

Chairperson Iwanski invited questions from the Commissioners.

Vice Chair Demlong asked what is the current setback for a mobile home park and what will it be changed to. Mr. Wilken stated the way the residential office, commercial office, and neighborhood commercial districts are written, buildings have to have a one foot setback per one foot of building height away from the residential district or use. The C-2 district is 50 feet and C-3 is 75 feet. In a commercial district, that would apply to every type of residential. Staff is proposing what was done in the employment districts. If the property is adjacent to a manufactured home park, the developer will use whatever the setback is, such as the rear setback, which in the case of commercial is 20 feet. The side setback is 15 feet. He noted that it depends on how the site is laid out as it relates to the manufactured home park.

Vice Chair Demlong asked for further clarification. He stated his concern is that the thinking is that people who live in mobile home parks are sacrificial, and this may be a social injustice. Mr. Wilken explained that a standard single family development has lots that back right up to the edge of the development. In that case, someone's backyard would be up against the property line. Manufactured home parks are one big lot with the pads inside. The park itself can be designed so that the buffer is within the park between the pad and the property line. A function of the park is to have the pad not too close to the property line.

Vice Chair Demlong stated that in some of the mobile home parks he has visited, the mobile homes are closer to the block wall. He asked if a commercial building could be within 10 feet of the property line. He noted that the owners of the manufactured home parks want to get as many trailers on the lot as possible, so they are close to the property line. He wants to make sure that an unjust burden is not put on people who live in mobile home parks. Mr. Wilken replied that the commercial building would not be 10 feet from the manufactured home park. The side and rear setbacks are greater than that. In most cases, the rear setback applies to the commercial development, and that in most cases is 20 to 25 feet.

Vice Chair Demlong stated a commercial building could be within 20 to 25 feet of a fence and on the other side of the fence is someone's home. Mr. Wilken confirmed his statement. Vice Chair Demlong asked if that was different from a single family residential property, such as in Oak Parks at 115th Avenue and Thomas. Mr. Wilken stated if it was a C-1 district, it would probably be about the same. If it was C-O or R-O zoning, it would be about the same. Those

Planning Commission Regular Meeting Minutes

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zonings adjacent to a single family district use would require a one foot setback per one foot of building height.

Vice Chair Demlong asked if Mr. Wilken was assuring equity between what the City does for a single family resident versus a mobile home park resident. Mr. Wilken stated they believe there is equity and that is the intent.

Chairperson Iwanski hearing no further questions or comments opened the public hearing. There were no requests to speak. Chairperson Iwanski closed the public hearing and asked for a motion.

Commissioner Lageschulte moved that the Planning Commission recommend approval of text amendment TA-08-14, a request to amend Section 306.E: Commercial Development Standards and Section 307.B: uses permitted subject to a Conditional Use Permit. Vice Chair Demlong seconded the motion.

Chairperson Iwanski invited further discussion, and hearing none, called for a vote.

ROLL CALL VOTE

Chairperson Iwanski	Aye
Vice Chair Demlong	Aye
Commissioner Lageschulte	Aye
Chairperson Meringer	Aye
Commissioner Cotera	Aye
Commissioner Webster	Aye

The motion passed unanimously.

ORDINANCE NO. 1318-808

AN ORDINANCE OF THE COUNCIL OF THE CITY OF AVONDALE, ARIZONA, AMENDING THE CITY OF AVONDALE ZONING ORDINANCE, SECTION 3, COMMERCIAL DISTRICTS AS SHOWN IN FILENAME TA-08-14, RELATING COMMERCIAL SETBACKS AND CHILD CARE CENTERS.

WHEREAS, all due and proper notices of public hearings on this Ordinance held before the City of Avondale Planning and Zoning Commission (the “Commission”) and the Council of the City of Avondale (the “City Council”) were given in the time, form, substance and manner provided by Ariz. Rev. Stat. § 9-462.04; and

WHEREAS, pursuant to the required notices under ARIZ. REV. STAT. § 9-462.04, the Commission held a public hearing on this Ordinance on July 17, 2008; and

WHEREAS, the Commission recommended to the City Council that this Ordinance be approved; and

WHEREAS, the City Council held a public hearing on this Ordinance on August 4, 2008;

NOW, THEREFORE, BE IT ORDAINED BY THE COUNCIL OF THE CITY OF AVONDALE as follows:

SECTION 1. That the City of Avondale Zoning Ordinance, Section 306.E, Commercial Development Standards, is hereby amended as follows:

E. The following table outlines the minimum development standards within each district. Yard, height, and area requirements in excess of these minimum standards may be required in accordance with the design standards outlined in the Zoning Ordinance, conditions required of conditional use permits or uses permitted with conditions, and/or the Design Manuals:

	R-O	C-O	C-1	C-2	C-3
Minimum Lot Width	45’	60’	None	None	None
Minimum Site Depth	100’	100’	None	None	None
Maximum Lot Coverage	35%	35%	None	None	None

Maximum Building Height	30'	30'	30'	30'	40'
Front Setback	20'	20'	20'	20'	20'
Street Setback	20'	20'	20'	20'	20'
Rear Setback	20'	20'	20'	20'	20'
Side Setback	20'	15'	15'	15'	20'
Parking Setback	10'	20'	30'	30'	30'
Interior Setback	15'	15'	None	None	None
Setback from a Residential District or Use *	1' per 1' bldg height	1' per 1' bldg height	1' per 1' bldg height	50'	100'
Parking Setback from Residential District or Use	25'	25'	25'	25'	25'
Maximum Accessory Structure Height	15'	15'	15'	15'	15'

*** Not applicable to manufactured home parks.**

SECTION 2. That the City of Avondale Zoning Ordinance, Section 307.B, Uses permitted subject to a conditional use permit, is hereby amended as follows:

307.B. Uses permitted subject to a conditional use permit. In the OTAB District, the following uses and activities and their accessory buildings and uses are permitted subject to the provisions of Section 107:

1. Alcoholic beverage sales for off premises consumption (liquor stores).
2. CHILD CARE CENTERS
- ~~2.3.~~ 3. Cocktail lounges, bars, nightclubs, taverns, with or without entertainment and/or dancing.
- ~~3.4.~~ 4. Commercial parking lots and garages. Alleyway or side street ingress and egress is preferred for such lots and garages, as is their location to the rear of street side businesses, such that they are not visible from Western Avenue. Parking garages may be required by the development services director to accommodate commercial or civic uses on ground floors adjacent to the street.
- 4.5. Dwellings not part of a commercial development (fourteen and one-half (14.5) dwelling units/acre maximum). For lots fronting on Western Avenue, no front yard setbacks are required and the maximum setback permitted shall be ten (10) feet which may be used for landscaping, pedestrian circulation, entry court, and similar uses related to a downtown pedestrian environment. Development standards for such dwellings shall be determined on a case-by-case basis, taking into account the character of the surrounding area.

~~5~~.6. Dwellings which are an integral part of a commercial development (fourteen and one-half (14.5) du/ac maximum). Must be located above ground floor, or to the side or the rear, of the commercial development. Development standards for such dwellings shall be determined on a case-by-case basis, taking into account the character of the surrounding area.

~~6~~.7. Hotels, motels and bed and breakfast inns.

~~7~~.8. Movie theaters (enclosed buildings), especially art film theaters, but excluding adult theaters.

~~8~~.9. Performing arts theaters, but excluding adult live entertainment establishments.

~~9~~.10. Restaurants with a separate bar/lounge area, with or without entertainment and/or dancing.

~~10~~.11. Veterinary offices provided such offices are constructed to prevent objectionable noises and odors outside the walls of the office. The boarding of animals shall be permitted only for short time periods for the purpose of observation incidental to care.

~~11~~.12. Uses similar to and not more detrimental than those permitted herein, excluding tattoo parlors, body piercing studios, pawn shops, plasma centers, and non-chartered financial services.

~~12~~.13. Sidewalk cafes. Sidewalk cafes on public sidewalks can enhance the pedestrian ambiance of Old Town Avondale and are encouraged. The purpose of this section is to set forth the conditions and requirements under which a sidewalk cafe, as defined below, may be permitted to operate on a public sidewalk within the OTAB District.

a. Definition. A sidewalk cafe is any group of tables and chairs, and its authorized decorative and accessory devices, situated and maintained upon the public sidewalk or along the private porches and arcades for use in connection with the consumption of food and beverage sold to the public from or in an adjoining indoor restaurant or delicatessen.

b. Conditional use permit required. A conditional use permit is required for all sidewalk cafes. Fees for the conditional use permit may be waived by City Council Resolution as an incentive for sidewalk cafes.

c. Findings and conditions. In connection with approval of a conditional use permit, the development services director shall make findings that the proposed operation meets the limitations of this section. The development services director may impose such conditions in granting approval as deemed necessary to assure that the proposed operation will meet the operating requirements and conditions set forth in this section and to assure that the general public health, safety and welfare will be protected.

d. Term and renewal. A conditional use permit for a sidewalk cafe may be approved by the development services commission for a maximum period of one year. Thereafter, the development services director, if an extension application is filed prior to any expiration date of the conditional use permit, may extend the permit for additional periods, not to exceed one year each, following his review and approval of the cafe's operations. In the event the development services director considers additional or revised conditions are necessary and should be imposed if the permit is to be extended or if the development services director is of the opinion that the permit should not be extended at all, he or she shall refer the application to the Planning Commission which shall hold a public hearing and thereafter decide the matter. The Planning Commission may make any extension of a conditional use permit subject to such additional and revised conditions and requirements as it deems appropriate or necessary and any extension granted by the Planning Commission shall not exceed a period of one year.

e. Revocation. A conditional use permit may be revoked by the development services director, following notice to the permitted and a public hearing, upon a finding that any of the following are true:

1. One or more conditions of the permit have been violated;
2. That one or more conditions of this section have been violated;
3. That the sidewalk cafe is being operated in a manner which constitutes a nuisance; or
4. That the operation of the sidewalk cafe unduly impedes or restricts the movement of pedestrians past the sidewalk cafe.

f. Appeals. The applicant or any interested party may appeal a decision of the development services director to the Planning Commission. All applications for appeal shall be accompanied by the required fee.

g. Limitations and requirements. A sidewalk cafe may be permitted only in the OTAB District if the sidewalk cafe is situated adjacent to an indoor restaurant or delicatessen as specified below, and the sidewalk cafe's operation is incidental to and a part of the operation of such adjacent indoor restaurant or delicatessen.

1. Existing indoor restaurants and delicatessens must conform to all sections of the City of Avondale Municipal Code in order to be eligible for approval of sidewalk services.
2. A sidewalk cafe may be located on the public sidewalk immediately adjacent to and abutting the indoor restaurant or delicatessen which operates the cafe, provided that the area in which the sidewalk cafe

is located extends no farther along the sidewalk's length than the actual sidewalk frontage of the operating indoor restaurant or delicatessen and all other applicable provisions of this section are fulfilled.

3. An indoor restaurant or delicatessen may be permitted to operate only one sidewalk cafe and each sidewalk cafe shall be confined to a single location on the sidewalk.

4. A sidewalk cafe may be permitted only where the sidewalk or porch is wide enough to adequately accommodate both the usual pedestrian traffic in the area and the operation of the proposed cafe. There shall be a minimum forty-eight (48) inches clear distance free of all obstructions, in order to allow adequate pedestrian movement.

5. All outdoor dining furniture, including tables, chairs, umbrellas, and planters, shall be movable. Umbrellas must be secured with a minimum base of not less than sixty (60) pounds. Outdoor heaters, amplified music, or speakers shall be reviewed at the time of application for a conditional use permit.

6. No signing shall be allowed at any outdoor cafe except for the name of the establishment on an awning or umbrella valance.

7. A sidewalk cafe may serve only food and beverages prepared or stocked for sale at the adjoining indoor restaurant or delicatessen; provided that the service of beer or wine, or both, solely for on-premises consumption by customers within the area of the sidewalk cafe has been authorized as part of a conditional use permit approval. Each of the following requirements must also be met:

i. The area in which the sidewalk cafe is authorized is identified in a manner, as approved by the development services director, which will clearly separate and delineate it from the areas of the sidewalk, which will remain open to pedestrian traffic.

ii. The sidewalk cafe operation is duly licensed in accordance with, the City of Avondale Municipal Code, or prior to the service of any beer or wine at the cafe, will be duly licensed, by state authorities to sell beer or wine, or both, for consumption within the area of the sidewalk cafe.

iii. The outdoor preparation of food and busing facilities are prohibited at sidewalk cafes. The presetting of tables with utensils, glasses, napkins, condiments, and the like is prohibited. All exterior surfaces within the cafe shall be easily cleanable and shall be kept clean at all times by the permitted.

iv. Trash and refuse storage for the sidewalk cafe shall not be permitted within the outdoor dining area or on adjacent sidewalk areas and the permitted shall remove all trash and litter as they accumulate. The permitted shall be responsible for maintaining the outdoor dining area, including the sidewalk surface and furniture and adjacent areas in a clean and safe condition.

8. Hours of operation shall be identical to those of the indoor restaurant or delicatessen. All furniture used in the operation of an outdoor cafe shall be removed from the sidewalk and stored indoors whenever the indoor restaurant or delicatessen is closed.

9. The city shall have the right to prohibit the operation of a sidewalk cafe at any time because of anticipated or actual problems or conflicts in the use of the sidewalk area. Such problems and conflicts may arise from, but are not limited to, scheduled festivals and similar events, parades, repairs to the street or sidewalk, or emergencies occurring in the area. To the extent possible, the permitted will be given prior written notice of any time period during which the operation of the sidewalk cafe will be prohibited by the city.

10. The sidewalk cafe shall not require the provision of additional off-street parking.

~~11-14.~~ Uses similar to and not more detrimental than those permitted herein, excluding tattoo parlors, body piercing studios, pawn shops, plasma centers, and non-chartered financial services.

SECTION 3. That the Mayor, the City Manager, the City Clerk and the City Attorney are hereby authorized and directed to execute all documents and take all steps necessary to carry out the purpose of this Ordinance.

SECTION 4. If any provision of this Ordinance is for any reason held by any court of competent jurisdiction to be unenforceable, such provision or portion hereof shall be deemed separate, distinct, and independent of all other provision and such holding shall not affect the validity of the remaining portions of this Ordinance.

[SIGNATURES ON FOLLOWING PAGE]

PASSED AND ADOPTED by the Council of the City of Avondale, August 18, 2008.

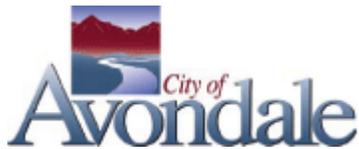
Marie Lopez Rogers, Mayor

ATTEST:

Carmen Martinez, City Clerk

APPROVED AS TO FORM:

Andrew J. McGuire, City Attorney



DEVELOPMENT SERVICES

SUBJECT:
Park-10 Master Site Plan (DR-07-37)

MEETING DATE:
August 4, 2008

TO: Mayor and Council
FROM: Brian Berndt, Development Services Director (623) 333-4011
THROUGH: Charlie McClendon, City Manager (623) 333-1015

REQUEST: Master Site Plan approval for Park-10 Center and Final Site Plan approval for the Hyatt Summerfield Suites and Hyatt Place hotels.

PARCEL SIZE: 16.5 Net Acres

LOCATION: Southwest corner of 103rd Avenue and McDowell Road (Exhibits A and B)

APPLICANT: Mr. Scott Daniel, Leo Daily Architects

OWNER: Parkland Development

BACKGROUND:

The property was annexed into the City of Avondale on March 17, 1986 and zoned R-1 (One Family Residence). Upon adoption of the City's new zoning map in 1990, the property was zoned AG (Agricultural). It was rezoned to PAD (Planned Area Development) under the name West-10 on February 21, 2006. The PAD was set to expire in February of this year when an application extending the validity of the development program until February of 2009 was approved by the City Council.

The subject property is part of the "Mixed Use Commercial" sub-area of the PAD. This sub-area encourages a mix of office, hotel, commercial, and second-floor residential uses.

A development agreement has not been approved for the subject property.

The subject property is bordered on three sides by Interstate 10, 103rd Avenue (alignment), and McDowell Road. The surrounding property uses are as follows:

- **EAST:** A 17 acre property which was zoned PAD in the 1980s and never developed. The PAD development plan has since expired, however new PAD and site plan applications are currently in review for a hotel and retail development on that property.
- **NORTH:** Aventura, a 408 unit multi-family development, and Gateway Office Park, an office condo development primarily occupied by medical uses.
- **WEST:** The 28 acre Office Park sub-area of the West-10 PAD, currently undeveloped. The Office Park sub-area allows for office type uses with limited support commercial allowed as part of the multi-story buildings.

SUMMARY OF REQUEST:

1. The applicant is requesting master site plan approval for 225,347 square feet of retail, restaurant, and hotel development on a 16.5 acre parcel located at the southwest corner of McDowell Road and 103rd Avenue. The property is located within the Mixed-Use Commercial sub-

area of the West-10 Planned Area Development (PAD). Master Site plan approval is requested to establish the circulation, access, parking, building placement and landscape concept for the entire area. This application is subject to the applicable requirements contained within the following documents: West-10 PAD, Avondale Zoning Ordinance, and Freeway Corridor Specific Plan.

2. Final site plan approval is being requested for the Hyatt Summerfield Suites and Hyatt Place hotels. Final site plans for the remainder of the buildings on site will be approved by staff in conformance with the approved master site plan, Zoning Ordinance and West-10 PAD.

3. The master site plan (Exhibit E) includes four freestanding restaurants, four retail buildings, and two hotels, as follows:

- **Hyatt Summerfield Suites** is a four-story, 90,939 square foot U-shaped building located on the south-central portion of the property. The building is 60'-6" tall at its' highest point (150' maximum permitted) and includes 123 guest suites, an outdoor pool area, approximately 900 square feet in conference facilities, and a 500 square foot restaurant. The applicant is requesting final site plan approval for this building.
- **Hyatt Place** is a six-story, 76,508 square foot building located at the southeast corner of the site. The building is 66'-9" in height measured to the top of the parapet; the highest point of a glass sail feature reaches approximately 80 feet. The Hyatt Place includes 132 guest rooms, an outdoor pool area, 1,100 square feet of conference facilities, and a 400 square foot restaurant. The applicant is requesting final site plan approval for this building.
- **Restaurants A3 and A4** are 6,700 square foot freestanding, full service restaurants which flank the primary entry drive and abut McDowell Road. Each building has a 615 square foot patio adjacent to its main entry. **Restaurant A5** is an 8,000 square foot freestanding, full service restaurant located at the northeast corner of the site. The site plan identifies a 1,200 square foot patio along its eastern elevation. **Restaurant A10** is an 8,000 square foot restaurant located at the southwest corner of the site, adjacent to the Hyatt Summerfield hotel. The building features a 1,065 square foot patio area along its' south elevation. Final design of these restaurant buildings has not been determined and final site plans in conformance with this master plan will be approved administratively at a later date and built during a subsequent phase.
- **Retail A7** and **Retail A8** are 3,500 square foot retail buildings which flank the primary entry drive. **Retail A6** is a 12,500 square foot retail shops building located directly across the primary north-south drive-aisle from **Retail A9**, a 9,000 square foot retail shops building. These buildings are situated amongst 28,475 square feet of a pedestrian plaza which will include seating, decorative paving, fountains, and landscaping.

4. Primary access to the development will be obtained via a private, signalized boulevard entrance aligned with the existing entrance to the Aventura Apartments on the north side of McDowell Road. This access will allow for full turning movements. Three additional access points will be provided by (1) a right-in, right-out driveway along McDowell Road at the northwest corner of the site, (2) a full-movement access at the center spine drive aisle from 103rd Avenue and (3) a right-in, left out driveway from 103rd Avenue at the far southeast corner of the site.

5. The site features both north/south and an east/west running spine roads which intersect in front of the Hyatt Summerfield Suites. The east/west spine road is designed to connect into the future Office Park sub-area adjacent to the west, eventually carrying traffic from the site out to 107th Avenue. Although these spine roads are private streets, they have been designed to function much like a public collector street to effectively move users of the site in and out. The spine roads are lined with Date Palm trees and feature traffic calming speed humps to ensure pedestrian safety.

6. The proposed site plan provides a total of 874 parking spaces which are dispersed throughout the site to accommodate the various different uses. The proposal exceeds minimum Zoning

Ordinance parking requirements by 59 spaces and meets all applicable ADA requirements. Parking lot lighting is provided by 25 foot tall pole mounted fixtures. The parking area is screened by a combination of a three foot screen wall and three foot earthen berms, as required by the Freeway Corridor Specific Plan.

7. The proposed architecture (Exhibit G) is contemporary, using frequent changes in wall plane designed to create shadowing and add horizontal interest in the facades. The materials and color schemes chosen by the architect (Exhibit H) are muted and feature sandstone, trendstone with exposed aggregate, six shades of earth toned stucco, and anodized aluminum accents. Three colors of glass (green, blue, and clear) are employed to provide further variety. Lastly, all four sides of the hotel buildings have been treated architecturally with the full range of materials used and also feature variation in the heights of the parapets to break up the roof form and highlight the verticality of the buildings.

8. The site does not include any loading docks or other large-scale service areas which could detract from the aesthetic along Interstate 10. All trash enclosures will be screened from the perspective of Interstate-10 by landscaping.

9. Future phases (i.e. restaurant and retail areas) will be required to utilize colors and materials from the materials palettes submitted and approved as part of this application. These future phases will be expected to incorporate common themes from the hotel development to ensure compatibility and continuity throughout the site.

10. The landscape plan (Exhibit F) features a mix of Acacias, Thornless Cascalotes, Sissoos, Desert Museums, Heritage Live Oaks, and Date Palm trees. Additionally, seven varieties of shrubs and sixteen types of accents/groundcover are provided. Approximately 72,000 square feet of landscaping is required by the PAD and Zoning Ordinance for this site; the applicant has provided approximately 227,000 square feet of landscape/open space area. The project meets or exceeds all landscaping requirements for plant quantity, landscape area, and plant size contained within the West-10 PAD and Zoning Ordinance.

11. Several pedestrian amenities and hardscape features are included in the proposal, as follows:

- The overall site features approximately 40,000 square feet of usable open space, defined as improved, landscaped, and shaded areas for use by pedestrians on the site. Approximately 75 percent of this usable open space is provided in the vicinity of the retail buildings, where the applicant is proposing elaborate plazas with large landscape planters, fountains, seating, pedestrian lighting, and other features designed to enhance the appearance and usability of the site.
- Scored, colored concrete is utilized at each driveway entrance and at internal intersections for aesthetic benefit.
- Pedestrian sidewalks interior to the project are provided to ensure safe navigation. Trees are provided in proximity to the sidewalks for the benefit of shading. Additionally, decorative paving is utilized for all pedestrian crossings within the parking lot.

12. Storm water retention required for this site is accommodated by a combination of landscaped surface basins and underground pipe. Surface basins are located interior to the site and feature a shallow design that will not detract from the aesthetics of the site.

13. A comprehensive sign plan (Exhibit I) has been submitted for the development. The sign program includes elevations and details of these proposed freestanding signs (1 Freeway Pylon, 2 Multi-Tenant Monuments, 1 Corner Monument, 2 Hotel Monuments); for continuity, all freestanding signage utilizes a common architectural theme influenced by the building architecture. All wall signage will be internally illuminated pan-channel or halo illuminated reverse pan channel letters and logos. Signage complies with all zoning requirements.

14. The development of the site will occur in phases (Exhibit M). The first phase will include construction of the Hyatt Summerfield Suites hotel, the surrounding parking area, all required off-site infrastructure improvements to 103rd Avenue and McDowell Road, construction of the two on-site primary drive aisles and related landscaping. It is anticipated that construction of the Hyatt Place Hotel and surrounding parking and landscaping will be the second phase of the project. Phasing of the retail and restaurants will be market driven.

PARTICIPATION:

A letter of notification and a copy of the site plan were mailed on December 28, 2007 to property owners within 500 feet of the property. No comments have been received to date.

PLANNING COMMISSION ACTION:

The Planning Commission conducted a public hearing on July 17, 2008, and voted 6-0 to recommend **APPROVAL** of this request subject to the following stipulations (Exhibit L):

1. Development shall be in general conformance with the Project Narrative and Photometric Plan date stamped May 23, 2008, and Site Plan, Landscape Plan, Elevations, Materials Boards, and Comprehensive Sign Plan date stamped June 24, 2008, except as modified by these stipulations.
2. The plan approval expires in one year from date of approval unless a building permit has been issued.
3. Prior to issuance of the first civil permit, the developer shall provide a contribution for traffic medians in McDowell Road. The amount of the contribution shall be based upon the developer's estimate and confirmed by the City Engineer.
4. A final plat for Park 10 must be approved by City Council and recorded prior to issuance of a Certificate of Completion or Certificate of Occupancy for any building on site. The plat will create the subject parcel and dedicate all required right-of-way.
5. To the extent allowed by law, all Type 1 and Irrigation Grandfathered Groundwater Rights appurtenant to the property shall be properly extinguished and the resulting Assured Water Supply credits pledged to the City of Avondale's account at the Arizona Department of Water Resources prior to recordation of the final plat.
6. All off-site improvements including landscaping within the right-of-way shall occur as part of the first phase.
7. Prior to the issuance of a certificate of occupancy for the first retail or restaurant building, the following improvements shall be completed: (A) The east-west spine road west of the phase 1 construction line, (B) The westernmost drive aisle between McDowell Road and the east-west spine road, and (C) All improvements associated with the abovementioned two drive aisles, including, but not limited to, landscaping, lighting, and pedestrian pathways
8. All development shall be completed in accordance with the City of Avondale General Engineering Requirements Manual.
9. Signing & Striping Plans will be required to be submitted with Civil Improvement plans. Plantings shall be coordinated with the signing and striping plans so as not to block visibility of traffic control devices.
10. 103rd Avenue south of the primary entrance shall be barricaded until the Hyatt Place is completed or the project to the west develops, whichever occurs first. The method of barricading shall be approved by the City Engineer.
11. The east/west spine road shall be barricaded immediately west of the primary entrance to the Hyatt Summerfield until the remaining portions of the spine road is complete. The method of barricading shall be approved by the City Engineer.
12. The portion of the east-west spine road not completed during the first phase and the westernmost drive aisle shall be constructed with the first retail or restaurant building within the master site plan area. A Certificate of Occupancy shall not be issued until those internal drive aisles and associated improvements (landscaping, etc.) have been completed.
13. The landscape median at the primary McDowell Road entrance shall be widened to a minimum

of ten feet. Trees shall be planted within the median to match the plantings on the east and west sides of that drive-aisle.

14. Final landscape documents reviewed with construction plans must indicate the location of berms along McDowell Road.
15. Hydro-seeding of turfed areas shall be prohibited.
16. The decorative paving pattern used throughout the site shall be approved administratively at the time of construction plan approval.
17. Canopies with a minimum projection of 4 feet shall be provided over all exterior doorways in the Hyatt Summerfield and Hyatt Place buildings. The basis for the design of said canopies shall be the porte-cochere feature for each particular hotel. These canopies shall be shown on the final construction documents.
18. Final site plans for retail and restaurant buildings shall determine the final design of the publicly accessible pedestrian plazas. At a minimum, the plazas must contain the following items: pedestrian seating, trash receptacles, pedestrian lighting, canopied trees, and drinking fountains.
19. Two water features will be required in the pedestrian plaza area adjacent to the retail buildings. The final design of these features shall be approved with final site plans for the retail portions of the site.
20. Accessible pedestrian connections from the transit stop into the site shall be provided on the final plans.
21. The traffic study must be revised and approved by the City Engineer prior to City Council approval.

Planning Commission stipulation #21 required the applicant to revise the traffic study to meet all city standards before the project could be approved by City Council. The applicant has followed through on this stipulation and a revised traffic study was approved by the City's traffic engineer on July 21, 2008. Therefore, Planning Commission stipulation #21 is no longer necessary and has been deleted from the recommendation. As a result of the traffic engineer's review of the final traffic study, four additional traffic related stipulations (Stipulations 20, 21, 22, and 23) are recommended.

To provide clarity regarding the phasing of improvements, the applicant submitted an illustrated phasing plan (Exhibit M) at the bequest of staff on July 24, 2008. Prior to submittal of this phasing plan, it was imperative to spell out by stipulation exactly what improvements were required and when. As this is no longer the case, stipulation #7 has been revised to reference the phasing plan and Stipulation #12 is no longer necessary and has been deleted altogether.

The revised stipulations can be found within the recommendation section of this report.

ANALYSIS:

General Plan and Freeway Corridor Specific Plan

- The General Plan Land Use Map designates this property as Freeway Commercial. Both the West-10 PAD and the proposed development are consistent with this General Plan designation.
- The subject property falls within the "McDowell Road Corridor" sub-area of the Freeway Corridor Specific Plan. According to the Specific Plan, the subject property is "well situated for regional retail and related commercial uses. The proposed master site plan presents uses in line with the desired character of the McDowell Road Corridor.
- The Freeway Corridor Specific Plan identifies a maximum height of ten stories for development on this property. The proposal conforms to the maximum height limit imposed by the Freeway Corridor Plan.
- All buildings have consistent architectural treatment on each side of the building and do not have exposed loading and service areas adjacent to Interstate 10, as required by the Freeway Corridor Specific Plan.

Access, Circulation, and Parking

- The site enjoys four points of access, two from McDowell Road and two from 103rd Avenue. The developer will be required to build the full length of 103rd Avenue's west half prior to issuance of a Certificate of Completion for the first building on site.
- The entrances off of 103rd Avenue will have the benefit of an existing traffic signal at the intersection of McDowell Road and 103rd Avenue.
- A new traffic signal will be required on McDowell Road at the primary entrance, directly adjacent from the entrance to Aventura Apartments. The applicant will be required to pay the full cost for that traffic signal.
- The proposed configuration of the site allows for sufficient on-site vehicle circulation within the proposed development. Ample turning radius is provided for delivery trucks, garbage trucks, and fire vehicles.
- The site includes shaded sidewalks which connect buildings and allow safe pedestrian access from vehicle parking areas to building entrances. Shading is provided by a range of full-canopied trees.
- To increase pedestrian safety, all instances where sidewalks cross vehicular driveways or aisles have been clearly defined by the use of stamped, colored concrete.
- Parking in excess of the minimum Zoning Ordinance requirements use is provided to serve the site.
- All parking areas are screened from view from all streets by a combination of three foot screen wall and three foot earthen berms in conformance with PAD and Freeway Corridor Specific Plan requirements for the McDowell Road Corridor.
- Parking areas are divided into smaller pockets to minimize the negative visual impact of a large sea of parking.
- Parking lot lighting meets all Zoning Ordinance and Design Manual requirements.

Landscaping and Retention

- The applicant is proposing landscaping throughout the site in excess of the minimum requirements. A total of 536 trees are provided on the site, 250 of which are 24-inch box (2 inch minimum caliper) or larger. In addition, 1,894 shrubs and over 4,500 accent plants will be used on the site. The proposed landscape plan exceeds Zoning Ordinance minimum landscaping requirements by 87 trees and 1,687 shrubs/accent plans. Additionally 46 percent of the trees provided are 24 inch-box or larger, exceeding the required 25 percent.
- Larger trees or distinctive planting patterns are used strategically at important locations to add emphasis, as follows: (a) Date Palms and Desert Museums alternate on each side of the primary entrance drive from McDowell Road, planted 15 feet on center, (b) Date Palms and Live Oaks alternate on each side of the east-west spine road, planted 30 feet on center, (c) Large, 72 inch box Sissoo trees are used at the corner of 103rd Avenue and McDowell to accentuate the entry monument signage, (d) Live Oak trees, the City's adopted street tree for the McDowell Road Corridor, are used on the McDowell Road frontage, (e) Desert Museums are utilized throughout the parking lots and adjacent to pedestrian sidewalks to provide shading, and (f) Chitalpas, which produce pink flowers, are used within pedestrian plazas for shading and add to the beauty of these spaces.
- Surface storm water retention is accommodated in shallow basins on the interior of the site. The basins are fully landscaped with a combination of trees, shrubs, turf, and other plants. Additional retention is provided underground.
- All landscaping improvements within the right-of-way will be required as part of the first phase of this project.
- Staff has included a stipulation that date palm trees be added to the landscape median located in the primary entrance drive from McDowell Road. It has also been stipulated that the width of that landscape median be widened to 10 feet to meet minimum PAD requirements.

Signage

- One 65' freeway pylon sign is proposed adjacent to Interstate 10. The freeway pylon sign features an aluminum finish designed to complement the contemporary buildings on site. The size and design of the freeway pylon sign are in conformance with the West 10 PAD.
- Two 10'-6" multi-tenant monument signs are proposed for the project, one at the primary, signalized entrance off of McDowell Road and the second at the primary entrance off of 103rd Avenue. The monument signs identify six tenants and are designed to complement the contemporary architecture on site.
- The applicant has included an alternate version of the multi-tenant monument sign (Signtype C-2a, Option #1) This option is 7.5 feet taller than is currently allowed by the PAD, however 18' tall multi-tenant monument signs have been allowed for nearby developments including Gateway Pavilions and Gateway Crossing. This option will only be allowed if the applicant pursues a minor PAD amendment increasing the maximum allowable height for multi-tenant monument signs.
- One 6'-6" corner monument sign is proposed at the southwest corner of 103rd Avenue and McDowell Road. The corner monument sign includes tenant information for the hotels only. The sign is surrounded by enhanced landscaping with the purpose of making a strong initial impression on visitors to the site.
- Additional freestanding signage is allowed on site for directional purposes and to identify entrances to the hotel sites, etc. None of these signs is greater than 6 feet in height.
- The applicant proposes to use halo-illuminated reverse pan channel or internally illuminated pan channel letters and logos for all wall signage.
- All signage is in conformance with the West-10 PAD.

Elevations

- The proposed buildings feature consistent architectural variety and interest on all four sides. The use of sandstone and exposed aggregate, metal accents, and varying wall planes and parapet heights all help to add visual interest to the buildings.
- A color and materials palette was submitted in conjunction with the site plan. The elevations propose a mix of earth tones designed to create interest while sustaining an understated, luxury feel. Additional color will be provided by the extensive foundation landscaping.

FINDINGS:

The proposed site plan meets the following findings:

- The site plan is in conformance with the General Plan and Freeway Corridor Specific Plan
- The site plan is in conformance with the West-10 PAD
- The site plan is in conformance with the Avondale Zoning Ordinance

RECOMMENDATION:

Staff recommends that the City Council **APPROVE** application DR-07-37, a request for master site plan approval, subject to the following recommended stipulations:

1. Development shall be in general conformance with the Project Narrative and Photometric Plan date stamped May 23, 2008, and Site Plan, Landscape Plan, Elevations, Materials Boards, and Comprehensive Sign Plan date stamped June 24, 2008, except as modified by these stipulations.
2. The plan approval expires in one year from date of approval unless a building permit has been issued.
3. Prior to issuance of the first civil permit, the developer shall provide a contribution for traffic medians in McDowell Road. The amount of the contribution shall be based upon the developer's estimate and confirmed by the City Engineer.
4. A final plat for Park 10 must be approved by City Council and recorded prior to issuance of a certificate of completion or certificate of occupancy for any building on site. The plat will create the subject parcel and dedicate all required right-of-way.

5. To the extent allowed by law, all Type 1 and Irrigation Grandfathered Groundwater Rights appurtenant to the property shall be properly extinguished and the resulting Assured Water Supply credits pledged to the City of Avondale's account at the Arizona Department of Water Resources prior to recordation of the final plat.
6. All off-site improvements including landscaping within the right-of-way shall occur as part of the first phase.
7. Development shall be in conformance with the phasing plan date stamped July 24, 2008.
8. All development shall be completed in accordance with the City of Avondale General Engineering Requirements Manual.
9. Signing & Striping Plans will be required to be submitted with Civil Improvement plans. Plantings shall be coordinated with the signing and striping plans so as not to block visibility of traffic control devices.
10. 103rd Avenue south of the primary entrance shall be barricaded until the Hyatt Place is completed or the project to the west develops, whichever occurs first. The method of barricading shall be approved by the City Engineer.
11. The east/west spine road shall be barricaded immediately west of the primary entrance to the Hyatt Summerfield until the remaining portions of the spine road is complete. The method of barricading shall be approved by the City Engineer.
12. The landscape median at the primary McDowell Road entrance shall be widened to a minimum of ten feet. Trees shall be planted within the median to match the plantings on the east and west sides of that drive-aisle.
13. Final landscape documents reviewed with construction plans must indicate the location of berms along McDowell Road.
14. Hydro-seeding of turfed areas shall be prohibited.
15. The decorative paving pattern used throughout the site shall be approved administratively at the time of construction plan approval.
16. Canopies with a minimum projection of 4 feet shall be provided over all exterior doorways in the Hyatt Summerfield and Hyatt Place buildings. The basis for the design of said canopies shall be the porte-cochere feature for each particular hotel. These canopies shall be shown on the final construction documents.
17. Final site plans for retail and restaurant buildings shall determine the final design of the publicly accessible pedestrian plazas. At a minimum, the plazas must contain the following items: pedestrian seating, trash receptacles, pedestrian lighting, canopied trees, and drinking fountains.
18. Two water features will be required in the pedestrian plaza area adjacent to the retail buildings. The final design of these features shall be approved with final site plans for the retail portions of the site.
19. Accessible pedestrian connections from the transit stop into the site shall be provided on the final plans.
20. Right-in/right-out driveways shall be required to have temporary pork-chop islands.
21. The traffic signal at the driveway that aligns with the Aventura Apts. is required to be constructed prior to the issuance of any certificate of occupancy.
22. Modifications to the northbound approach of the existing traffic signal at 103rd Avenue and McDowell Road will be required prior to the issuance of any certificate of occupancy.
23. A new traffic study will be required with the master site plan for remaining portions of the West 10 PAD. Additional improvements which may impact the subject property may be required per the results of the traffic study, including but not limited to transit pull-out bays & bus stops, extending the length of driveways and deceleration lanes, location of access and the spine road connection to 107th Avenue, and contribution toward the traffic signal at Harbor Shores Drive & McDowell Road.

PROPOSED MOTION:

I move that the City Council accept the findings and **APPROVE** application DR-07-37, a request for master and final site plan approval for the Park 10 development, subject to the recommended stipulations.

ATTACHMENTS:

Click to download

📄 [Exhibits A-M](#)

FULL SIZE COPIES (Council Only):

- (a) bound packet containing site plan, elevations, building perspectives, landscape/hardscape plan;
- (b) Comprehensive Sign Program

PROJECT MANAGER:

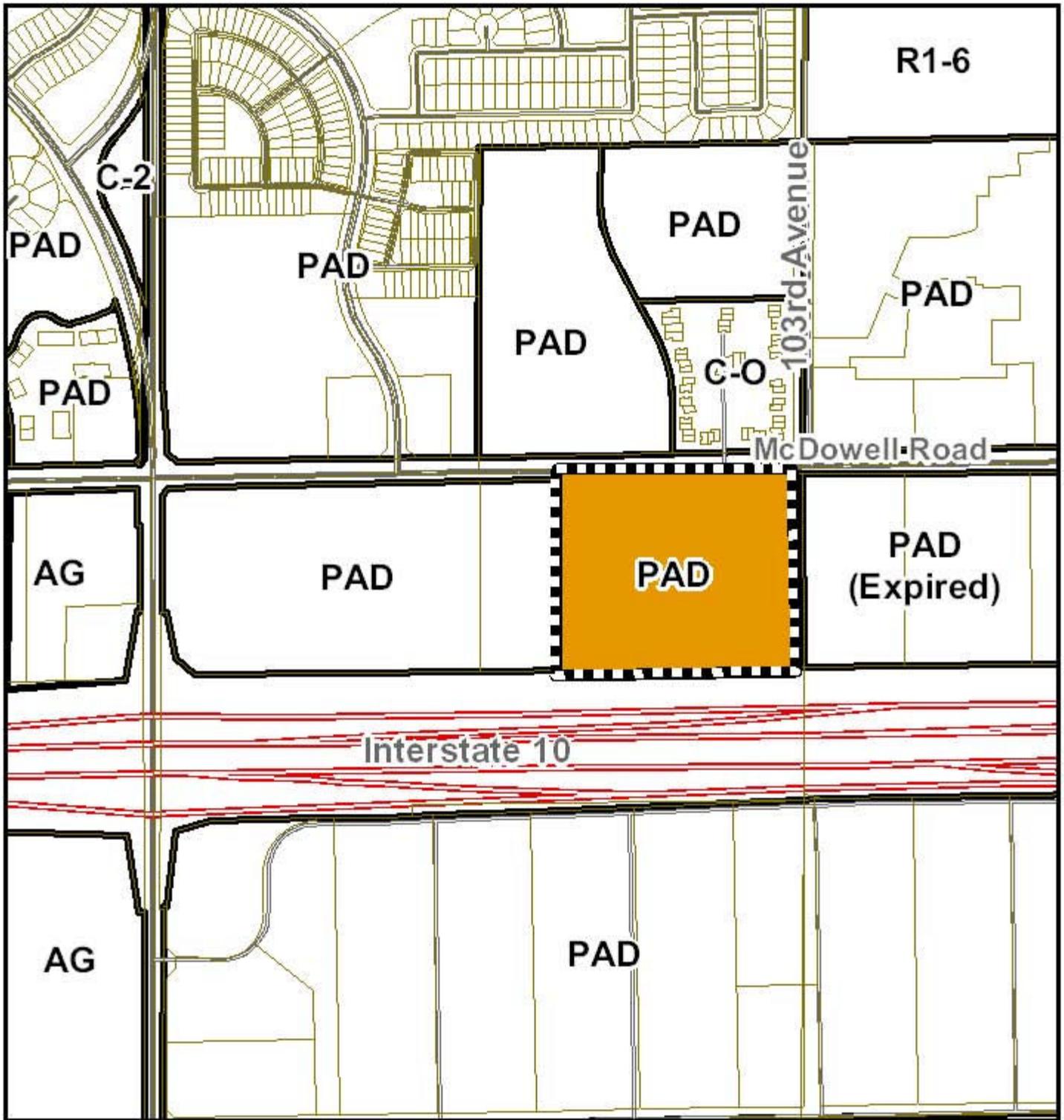
Ken Galica, Planner II (623) 333-4019

ATTACHMENTS

Exhibit A	Zoning Vicinity Map
Exhibit B	Aerial Photo 2008
Exhibit C	Summary of Related Facts
Exhibit D	Project Narrative, date stamped May 23, 2008
Exhibit E	Site Plan, date stamped June 24, 2008
Exhibit F	Landscape Plan, date stamped June 24, 2008
Exhibit G	Building Elevations and Perspectives, date stamped June 24, 2008
Exhibit H	Photographs of Colors/Materials Palettes
Exhibit I	Comprehensive Sign Program, date stamped June 24, 2008
Exhibit J	Approved West-10 PAD
Exhibit K	PAD Approval Letter, dated February 23, 2006
Exhibit L	Draft Planning Commission Minutes from July 17, 2008
Exhibit M	Phasing Plan, dated July 24, 2008

FULL SIZE EXHIBITS:

1. Bound packet containing site plan, elevations, building perspectives, and landscape/hardscape plan
2. Comprehensive Sign Program



Zoning Vicinity Map



Subject Property





Aerial Photograph 2008



Subject Property



SUMMARY OF RELATED FACTS

APPLICATION DR-07-37

<i>THE PROPERTY</i>	
PARCEL SIZE	16.5 Net Acres
LOCATION	SWC Corner of McDowell Road and 103 rd Avenue
PHYSICAL CHARACTERISTICS	The site is relatively flat and contains no structures. Preliminary landscaping has been installed around the perimeter.
EXISTING LAND USE	Vacant
EXISTING ZONING	West-10 PAD (Planned Area Development) – Mixed Use Commercial subarea
ZONING HISTORY	Annexed on March 17, 1986; Zoned PAD (West-10) on February 21, 2006
DEVELOPMENT AGREEMENT	None

<i>SURROUNDING ZONING AND LAND USE</i>	
NORTH	Northeast: C-O (Commercial Office) Gateway Office Park Northwest: PAD (Planned Area Development) – Aventura Apartments
EAST	Expired PAD; new application currently in review
SOUTH	Interstate 10 South of Interstate 10: Avondale Automall PAD – Auto Sales & Service
WEST	AG (Agricultural)
<i>GENERAL PLAN</i>	
Designated by General Plan land use map as Freeway Commercial; subject parcel also falls within the boundaries of the Freeway Corridor Specific Plan.	

<i>PUBLIC SCHOOLS</i>	
SCHOOL DISTRICT(S)	Littleton Elementary School District Tolleson Union High School District
ELEMENTARY SCHOOL	Littleton Elementary School
HIGH SCHOOL	Westview High School

STREETS

McDowell Road (South Half)

Classification	Arterial
Existing half street ROW	30'
Required half street ROW	65'
Existing half street improvements	3 through lanes, ½ turn lane, curb & gutter, street lights, bike lane, landscaping, and detached sidewalk.
Standard median improvements	3 through lanes, median, bike lane, curb & gutter, sidewalk, landscaping, and street lights.

103rd Avenue (West Half)

Classification	Minor Collector
Existing half street ROW	0'
Required half street ROW	40'
Existing half street improvements	South 380 feet is not improved; North 370 feet includes 1 through lane, ½ turn lane, bike lane, attached sidewalk, curb and gutter, and street lights.
Standard Collector improvements	1 through lanes, ½ median/turn lane, bike lane, sidewalk, curb & gutter, street lights, and landscaping

UTILITIES

There is a 12" waterline under McDowell Road with existing stub outs onto the subject property. Additionally, there is a 15" sewer line under McDowell Road with existing stub outs on the subject property.

May 23, 2008

PLANNING Mr. Ken Galica
ARCHITECTURE Planner II
ENGINEERING Development Services
INTERIORS City of Avondale
11465 W Civic Center Drive, Suite 110
Avondale, Arizona 85323-6804

MAR 23 2008 2nd
DR-07-37



EST. 1915

- ATLANTA
- AUSTIN
- DALLAS
- FORT WORTH
- HONG KONG
- HONOLULU
- HOUSTON
- LAS VEGAS
- LOS ANGELES
- MIAMI
- MINNEAPOLIS
- OMAHA
- PHOENIX
- SAN ANTONIO
- WACO
- WASHINGTON, DC

Project: Park 10 Master Site Plan, Application DR-07-37
DALY Project No. 075-10101-005

Subject: Master Site Plan Second Submittal

Dear Mr. Galica,

Thank you for accepting our second submittal for Master Site Plan review by the City of Avondale, Arizona. We have taken into account all of the comments generated by the City regarding our first submittal and revised our documents accordingly. Please find our revised plans, reports, color and materials boards, renderings and all other requested or required information contain in this package for the second submission.

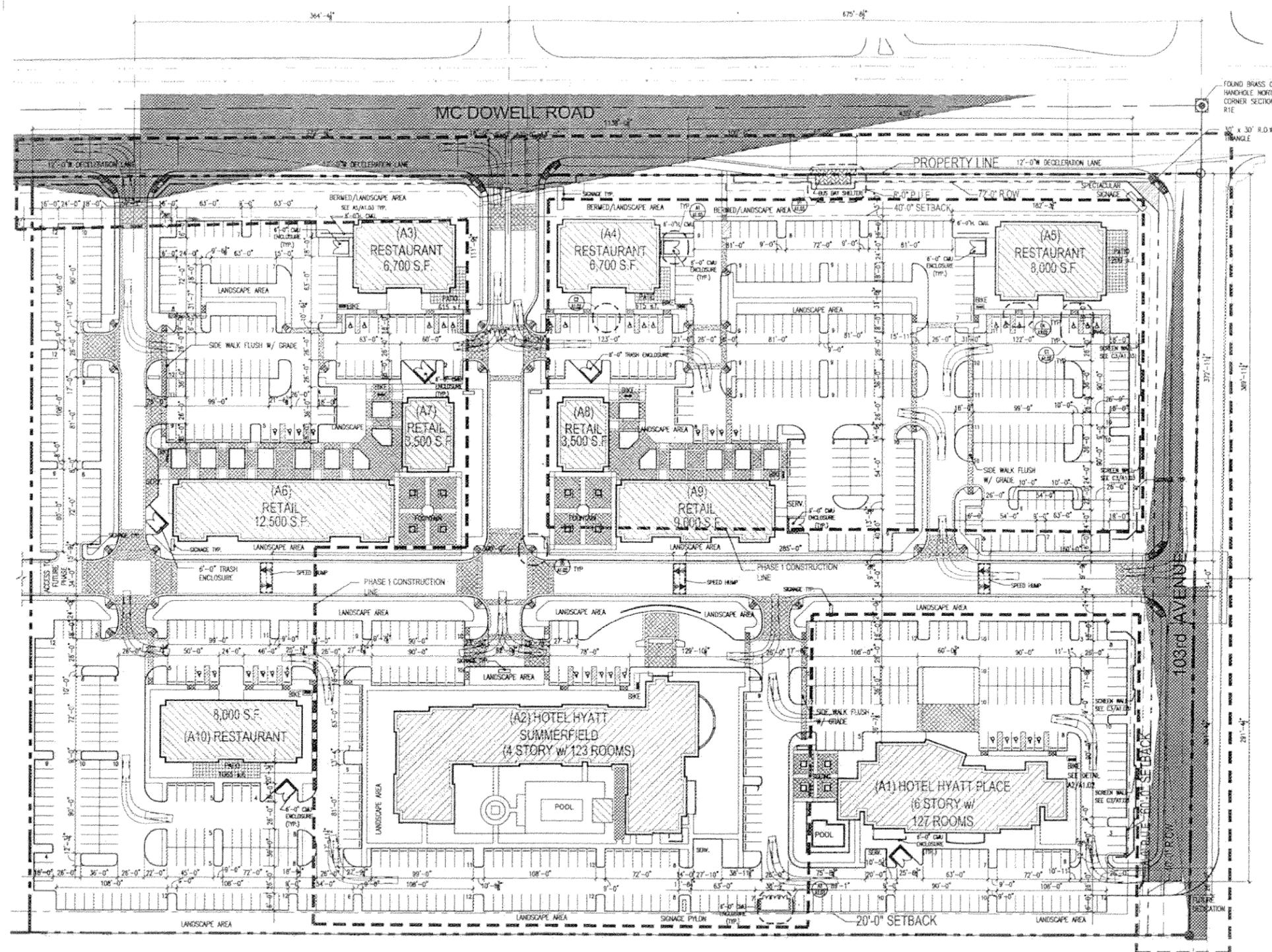
Parkland Development has a contractual commitment with Select Hotels Group, LLC to have contract documents for the Summerfield Suites Hotel submitted to the City for permit review by August 1, 2008. We have discussed schedule in prior meetings with you regarding this issue and for this particular reason Parkland Development has a need to be in front of City Council for the July 21, 2008 meeting. I would greatly appreciate recognizing this importance to Parkland Development in its pursuit to develop this site and meet its contractual obligation.

Parkland Development, Leo A Daly and all other members of the design team look forward to developing this project with the City of Avondale.

Sincerely,
LEO A DALY

Scott J Daniel, AIA, NCARB
Senior Architect and Quality Control Manager

cc: file, J. Lambert (Parkland Development)



PROJECT DATA:

PARCEL NUMBER: 102-54-003 A1 102-54-004A
 ZONING: FAD
 ZONING ADJACENT PROPERTIES:
 - NORTHERN PROPERTIES MULTI-FAMILY / COMMERCIAL
 - EASTERN AND WESTERN PROPERTIES FREEWAY COMMERCIAL
 - SOUTHERN PROPERTIES NONE EXIST DUE TO I-10 FREEWAY

LEGAL DESCRIPTIONS:

LOTS 3 AND 4, SECTION 5, TOWNSHIP 1 NORTH, RANGE 1 EAST OF THE GILA AND SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA.
 EXCEPT THAT PORTION WHICH LIES WESTERLY AND SOUTHERLY OF THE FOLLOWING DESCRIBED LINE:
 COMMENCING AT THE NORTHWEST CORNER OF SAID SECTION 5:
 THENCE SOUTH 00 DEGREES 15 MINUTES 35 SECONDS EAST ALONG THE WEST LINE THEREOF A DISTANCE OF 539.97 FEET TO THE POINT OF BEGINNING.
 THENCE NORTH 88 DEGREES 44 MINUTES 25 SECONDS EAST 55.00 FEET;
 THENCE SOUTH 10 DEGREES 31 MINUTES 07 SECONDS EAST 187.87 FEET;
 THENCE SOUTH 50 DEGREES 48 MINUTES 18 SECONDS EAST 99.22 FEET;
 THENCE NORTH 88 DEGREES 58 MINUTES 33 SECONDS EAST 2473.28 FEET, MORE OR LESS TO A POINT ON THE EAST LINE OF SAID LOT 3, THE POINT OF BEGINNING, AWARDED TO THE STATE OF ARIZONA BY FINAL ORDER OF CONFIRMATION RECORDED JULY 7, 1982 IN DOCKET 18103, PAGE 186. RECORDS OF MARICOPA COUNTY, ARIZONA.
 LOTS 3 AND 4, SECTION 5, TOWNSHIP 1 NORTH, RANGE 1 EAST OF THE GILA AND SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA.

GROSS SITE AREA: 19.9 AC (828,454 S.F.)

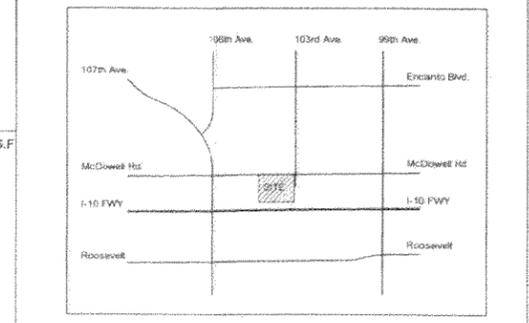
NET SITE AREA: 18.5 AC (719,945 S.F.)

TOTAL BUILDING AREA: 225,347 G.S.F.

GROUND FLOOR AREA: 96,752 G.S.F.

PARKING CALCULATIONS:

	Ratio	Req'd	Prov'd	
(A1) Place (76,508 s.f.)	127 Rooms / 1500	132	154	per PAD
(A2) Summerfield (90,939 s.f.)	123 Rooms / 1500	128	141	per PAD
RESTAURANT				
(A3) Restaurant 1 (6,700 S.F. Patio)	150 S.F. / 1200 S.F.	3	3	per Sect 804.75% FCH
(A4) Restaurant 2 (6,700 S.F. Patio)	150 S.F. / 1200 S.F.	3	3	per Sect 804.75% FCH
(A5) Restaurant 3 (8,000 S.F. Patio)	150 S.F. / 1200 S.F.	5	5	per Sect 804.75% FCH
(A10) Restaurant 4 (8,000 S.F. Patio)	150 S.F. / 1200 S.F.	5	5	per Sect 804.75% FCH
RETAIL				
(A6) Retail 1 (12,500 S.F.)	130 S.F. / 1300 S.F.	42	41	per Sect 804
(A7) Retail 2 (3,500 S.F.)	130 S.F. / 1300 S.F.	12	13	per Sect 804
(A8) Retail 3 (3,500 S.F.)	130 S.F. / 1300 S.F.	12	13	per Sect 804
(A9) Retail 4 (9,000 S.F.)	130 S.F. / 1300 S.F.	30	35	per Sect 804
TOTAL SPACES				
		Req'd	Prov'd	
		615	674	



VICINITY MAP n.t.s.

CONCEPTUAL MASTER PLAN Scale 1"=50'

MATERIALS LEGEND

- SCURED COLORED CONCRETE (COHILL 2 #30)
- EXPOSED AGGREGATE
- CONCRETE SIDEWALK

TOTAL OPEN SPACE (INCL ROADS, SIDEWALKS): 623,193 S.F.

TOTAL USABLE OPEN SPACE: 39,856 S.F.

OPEN SPACE CALCULATIONS:

	Ratio	Req'd	Prov'd
HOTEL			
(A1) Place (76,508 s.f.)	550 S.F.	550	2185.00 S.F.
(A2) Summerfield (90,939 s.f.)	550 S.F.	550	4225.00 S.F.
RESTAURANT			
(A3) Restaurant 1 (6,700 S.F.)	550 S.F.	550	1350.00 S.F.
(A4) Restaurant 2 (6,700 S.F.)	550 S.F.	550	1350.00 S.F.
(A5) Restaurant 3 (8,000 S.F.)	550 S.F.	550	1200.00 S.F.
(A10) Restaurant 4 (8,000 S.F.)	550 S.F.	550	1065.00 S.F.
RETAIL			
(A6) Retail 1 (12,500 S.F.)	550 S.F.	550	10412.00 S.F.
(A7) Retail 2 (3,500 S.F.)	550 S.F.	550	4900.00 S.F.
(A8) Retail 3 (3,500 S.F.)	550 S.F.	550	4878.00 S.F.
(A9) Retail 4 (9,000 S.F.)	550 S.F.	550	8285.00 S.F.

PARK 10
 SW Corner of 103rd Ave. & McDowell Rd
 Avondale, AZ

Parkland Development
 10320 W. McDowell Rd., Suite B2008
 Avondale, AZ 85392

LEO A DALY
 1344 E. Camelback Rd. Suite 200
 Phoenix, AZ 85016 USA
 Tel: 402-954-0818 Fax: 402-381-1456

EDGE Construction Group Inc
 15230 N. 75th Street, Suite 1031
 Scottsdale, AZ 85250 USA

Kland Huval Engineering
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 Scottsdale, AZ 85250 USA

Pinnacle Design, Inc
 1048 N. 44th St., Suite 200
 Phoenix AZ 85008 USA

TMAD Taylor & Gaines
 1550 E. Missouri Ave., Suite 100
 Phoenix AZ 85014 USA

KEY PLAN

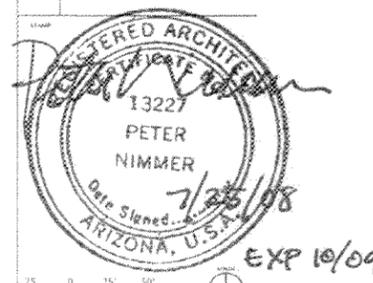


REVISIONS

NO.	DESCRIPTION	DATE
1	2nd SUBMISSION TO CITY	06/24/08

FILE LOG

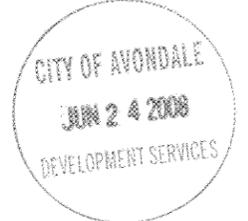
AC/DRY	BY
Manager	SE
Owner	10/20/07
Client	VIC
Check	ABC/ED



Project No. 075-10101-000
 05/19/08

CONCEPTUAL MASTER PLAN-
 GROUND LEVEL

A1.01



PLANT LEGEND

SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE	QTY
TREES				
	ACACIA SALICINA	WILLOW ACACIA	1.5" CAL	112
	CAESALPINA CASALACO 'SMOOTH'	THORLESS CASAHUATE	1.5" CAL	122
	DALBERGIA SISSOO	SISSOO TREE	72" BDX 2" CAL	4 23
	PARKINSONIA X DESERT MUSEUM	DESERT MUSEUM	2.50" CAL 2" CAL 1.5" CAL	33 120 55
	PIRHECELLOBIUM FLEXICALE	TEXAS EBONY	1.5" CAL	8
	QUERCUS VIRGINIANA	HERITAGE OAK	2.50" CAL 1.5" CAL	20 21
PALMS				
	PHOENIX DACTYLIFERA	DATE PALM	20" TALL	15
SHRUBS				
	CORDIA PARVIFOLIA	LITTLELEAF CORDIA	5 GAL	112
	JUSTITIA CALIFORNICA	CHUPAROSA	5 GAL	155
	RUPELLIA PENINSULARIS	BAJA RUELLIA	5 GAL	411
	RUSSELLIA EQUISSETIFORMIS	CORAL FOUNTAIN	5 GAL	13
	SENNA ARTEMISIOIDES PETIOLARIS	SILVER CASSIA	5 GAL	355
	TECOMA ALATA	ORANGE JUBILEE	5 GAL	5
	TECOMA STANS	YELLOW BELLS	5 GAL	246
ACCENTS				
	AGAVE WEBERI	WEBER'S AGAVE	5 GAL	118
	AGAVE DESMETTIANA VARIEGATA	VARIEGATED AGAVE DESMETTIANA	5 GAL	519
	ASCLEPIAS SUSULATA	DESERT MILKWEED	5 GAL	115
	ECHINOCACTUS GRUSONII	GOLDEN BARREL	5 GAL	119
	EUPHORBIA ANTISYPHILITICA	CANDELLILLA	5 GAL	111
	FOUQUIERIA SPLENDENS	COCOTILLO	5 GAL	2
	HESPERALOE FURIFERA	GIANT HESPERALOE	5 GAL	132
	HESPERALOE PARVIFLORA	RED YUCCA	5 GAL	12
	PELILANTHUS MACROCARPUS	SUPPER PLANT	5 GAL	18
	PORTULACARIA AFRA	ELEPHANT'S FOOD	5 GAL	15
	LOPHOCEREUS SCHOTTII	SANTA	3 ARMS	10
	MUHLENBERGIA CAPILLARIS	REGAL MIST	5 GAL	2678
	YUCCA CARINEROSANA	SPANISH DAGGER	15 GAL	5
GROUND COVER				
	LANTANA MONTEVIDEENSIS	PURPLE LANTANA	1 GAL	162
	LANTANA 'NEW GOLD'	NEW GOLD LANTANA	1 GAL	142
	SETCREASEA PALLIDA	PURPLE HEART PLANT	1 GAL	718
	SPHAGNETICOLA TRILOBATA	YELLOW DOT	1 GAL	267
	TUFT	SOD		22,713 SF
INERT GROUND COVER				
	DECOMPOSED GRANITE	APACHE BROWN	1/2" SCREENED	45,578 SF (180 TONS)

NOTES:

- CONTRACTOR TO VERIFY ALL QUANTITIES.
- CONTRACTOR TO PROVIDE DECOMPOSED GRANITE SAMPLES TO LANDSCAPE ARCHITECT FOR APPROVAL.
- MAINTAIN 1' TO 5' TREE AND SHRUB CLEARANCE FROM WALLS.
- MAINTAIN 1' TO 2' TREE AND SHRUB CLEARANCE FROM SIDEWALKS.
- ALL TREES LOCATED IN TURF AREAS SHALL HAVE A TREE GUARD.
- TREES ADJACENT TO PEDESTRIAN WALKWAYS SHOULD HAVE A MINIMUM CANOPY CLEARANCE OF 8'-0".
- ALL MATURE TREES AND PALM CANOPIES MUST BE A MINIMUM OF 5' FROM ANY BUILDING WALLS OR BUILDING WINDOWS.

PRELIMINARY LANDSCAPE NOTES

PLANTING

THE SITE WILL BE LANDSCAPED IN ACCORDANCE WITH THE CITY OF AVONDALE STANDARDS. ALL TREES AND SHRUBS ARE TO BE STAKED AND PLANTED IN ACCORDANCE WITH THE ARIZONA NURSERY ASSOCIATION PUBLISHED STANDARDS.

SIZES OF TREES AND SHRUBS WILL CORRESPOND WITH REQUIREMENTS SET BY THE CITY OF AVONDALE. ALL PLANTING AREAS WILL RECEIVE A 2" DEPTH OF 3/4" DECOMPOSED GRANITE AND SHALL BE TREATED WITH PRE-EMERGENT HERBICIDE.

IRRIGATION

THE IRRIGATION SYSTEM WILL CONSIST OF BIRD EMITTERS AND PRESSURE REGULATORS CONNECTED TO AUTOMATIC VALVES AND WILL BE TIED INTO AUTOMATIC CONTROLLERS AS REQUIRED. THE IRRIGATION SYSTEM SHALL PROVIDE 100% COVERAGE.

GRADING

ALL EARTHWORK WILL BE DONE SO THAT ALL MOISTURE DRAINS OFF AND AWAY FROM SIDEWALKS AND STRUCTURES. THE MAJORITY OF ON-SITE DRAINAGE WILL DRAIN INTO THE RETENTION BASINS LOCATED ON-SITE.

SITE AMENITY LEGEND

SYMBOL	DESCRIPTION	QTY
	DERO ROLLING BIKE RACK, 24"X36" SEE SHEET L-3	10
	KORIEGAY, DUNE TRASH RECEPTACLE, 05-TR SEE SHEET L-4	23
	URBAN ELEMENTS, ESCOFET, BS 1 SEE SHEET L-5	11

SITE PLAN PLANTING DATA

LANDSCAPE AREAS	REQUIRED	PROVIDED
A ON-SITE LANDSCAPE AREAS (COMMERCIAL) 10% OF NET SITE AREA	71,904 SF	224,900 SF
B RESIDENTIAL BUFFER LANDSCAPE AREA 10 FT. MINIMUM RESIDENTIAL BOUNDARIES	NA	NA
C PARKING LANDSCAPE AREA 10% MINIMUM	15%	15%
D PARKING ISLANDS 1 PER 10 CONSECUTIVE PARKING SPACES (MINIMUM 4 FT. WIDE) (MINIMUM 50 SF)	42,620 SF	108,450 SF
E FOUNDATION PLANTING 3% OF BUILDING FRONTAGE FOR BUILDINGS FRONTING ON PUBLIC STREETS	7,914 SF	11,417 SF
LANDSCAPE PLANTINGS		
RIGHT OF WAY LANDSCAPE PLANTINGS		
F TREES: 1 PER 20 FT. OF STREET FRONTAGE (1.00% F)	81 TREES	181 TREES
G SHRUBS: 2 PER 20 FT. OF STREET FRONTAGE	162 SHRUBS	1,851 SHRUBS
H SHRUBS AND GROUND COVER AREA: 20%	18,264 SF	22,217 SF
PARKING SPACE PLANTINGS		
I TREES: 1 PER 4 PARKING SPACES	101 TREES	222 TREES
RESIDENTIAL BUFFER PLANTINGS		
J TREES: 1 PER 20 FT. OF RESIDENTIAL BOUNDARIES	NA	NA
SPECIAL PLANTING REQUIREMENTS (FAD, JOING, ETC.)		
NA	NA	NA
TOTALS		
TOTAL LANDSCAPE AREAS (A-H)	71,904 SF	227,114 SF
TOTAL USABLE OPEN SPACE PERCENT (PARK ONLY)	NA	NA
TOTAL TREES (E-I+J)	182 TREES	363 TREES
TOTAL 2" BDX TREES (20% OF TOTAL TREES)	120 TREES	120 TREES
TOTAL SHRUBS (G)	162 SHRUBS	1,851 SHRUBS
TOTAL GROUND COVER AREA (H)	18,264 SF	22,217 SF

GENERAL NOTES

- TWENTY FOUR INCH BOX TREES SHALL HAVE A MINIMUM TRUNK HEIGHT OF EIGHT FEET WITH A MINIMUM 2 INCH CALIPER MEASURED 4 FEET ABOVE GROUND. FIFTEEN INCH BOX TREES SHALL HAVE A MINIMUM TRUNK HEIGHT OF 6 FEET WITH A MINIMUM 1.5" CALIPER MEASURED 4 FEET ABOVE GROUND.
- THE PROPERTY OWNER AND/OR LESSEE SHALL BE RESPONSIBLE TO INSTALL AND MAINTAIN ALL LANDSCAPING WITHIN THE RIGHT OF WAY.
- A 3 FOOT CLEAR SPACE IS REQUIRED AROUND ALL FIRE SUPPRESSION EQUIPMENT. NO PLANTS SHALL BE INSTALLED THAT WILL ENCROACH WHEN MATURE.
- THE CITY APPROVES THESE PLANS FOR CONCEPT ONLY AND ACCEPTS NO LIABILITY FOR ERRORS OR OMISSIONS.
- WILLOW ROAD STREETSCAPE SHALL HAVE A MINIMUM OF 1 TREE PER 20 FEET WITH A MINIMUM OF ONE OF THE TREES TO HAVE 2" CALIPER. THIS REQUIRED MAY BE 1" CALIPER.
- ALL LANDSCAPING MATERIAL INSTALLED AT DISCRETION OF THE CITY OF AVONDALE SHALL BE NEW.
- ALL PLANTINGS WITHIN THE RIGHT OF WAY SHALL HAVE CANOPIES NOT GREATER THAN SEVEN (7) FEET AND NO SHRUBS TALLER THAN TWO (2) FEET.

NOTE: ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF AVONDALE CONSTRUCTION SPECIFICATIONS, CHAPTER 10 OF THE AVONDALE ZONING ORDINANCE AND AS ADEQUATE TO THE CITY OF AVONDALE ENGINEERING DEPARTMENT.

Pinnacle Design, Inc

1048 N. 44th Street
Suite 200 Phoenix, AZ 85008
Off: (602)952-8585 Fax: 902-8608
Job # 08030

PARK 10
SW Corner of 103rd Ave. & McDowell Rd., Avondale, AZ

Parkland Development
10320 W. McDowell Rd., Suite B2000 Avondale, AZ 85392

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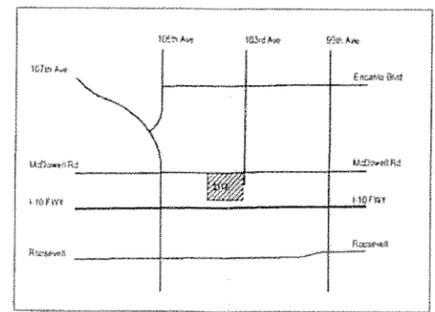
REVISIONS

NO.	DESCRIPTION	DATE

FILE LOG

ACTIVITY	BY
Manager	
Design	
Draw	
Plan	

Professional Engineer Seal for **Francis J. ...**
Signature: *Francis J. ...*
SCALE: 1" = 30'-0"

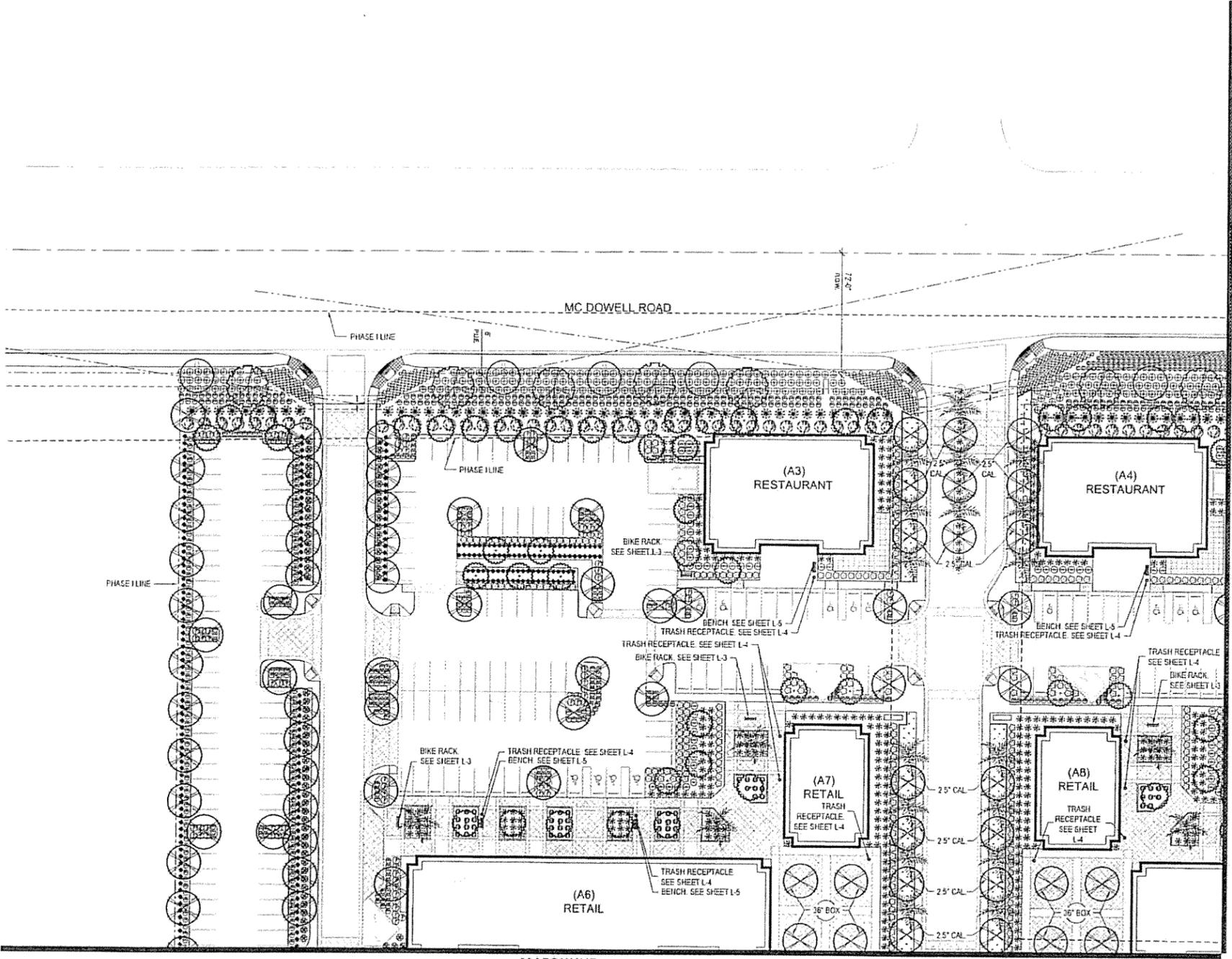


VICINITY MAP n.t.s.



Project No. 075-10101-000
7.28.08

CONCEPTUAL LANDSCAPE MASTER PLAN



MATCHLINE -
SEE SHEET L-3, A-A

MATCHLINE -
SEE SHEET L-4, B-B

PLANT LEGEND

SYMBOL	BOTANICAL NAME	COMMON NAME
--------	----------------	-------------

TREES

	ACACIA SALICINA	WILLOW ACACIA
	CAESALPINIA CACALACO 'SMOOTH'	THORNLESS CASCALOTE
	DALBERGIA SISSOO	SISSOO TREE
	PARKINSONIA X. 'DESERT MUSEUM'	DESERT MUSEUM
	PITHECELLOBIUM FLEXICAULE	TEXAS EBONY
	QUERCUS VIRGINIANA	HERITAGE OAK

PALMS

	PHOENIX DACTYLIFERA	DATE PALM
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SHRUBS

	CORDIA PARVIFOLIA	LITTLELEAF CORDIA
	JUSTICIA CALIFORNICA	CHUPAROSA
	RUELLIA PENINSULARIS	BAJA RUELLIA
	RUSSELLIA EQUISETIFORMIS	CORAL FOUNTAIN
	SENNA ARTEMISIOIDES PETIOLARIS	SILVER CASSIA
	TECOMA ALATA	ORANGE JUBILEE
	TECOMA STANS	YELLOW BELLS

ACCENTS

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	AGAVE DESMETTIANA VARIEGATA	VARIEGATED AGAVE DESMETTIANA
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	FOUQUIERIA SPLENDENS	OCOTILLO
	HESPERALOE FUNIFERA	GIANT HESPERALOE
	HESPERALOE PARVIFLORA	RED YUCCA
	FEDILANTHUS MACROCARPUS	SLIPPER PLANT
	PORTULACARIA AFRA	ELEPHANT'S FOOD
	LOPHOCEREUS SCHOTTII	SENTA
	MUHLENBERGIA CAPILLARIS	REGAL MIST
	YUCCA CARNEROSANA	SPANISH DAGGER

GROUND COVER

	LAETANA MONTEVIDENSIS	PURPLE LANTANA
	LAETANA 'NEW GOLD'	NEW GOLD LANTANA
	SETCREASEA PALLIDA	PURPLE HEART PLANT
	SPHAGNETICOLA TRILOBATA	YELLOW DOT

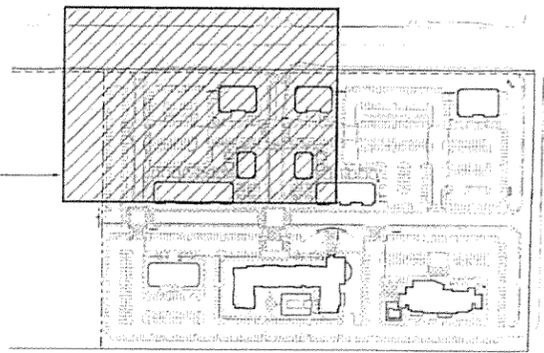
TURF

	TURF	SOD
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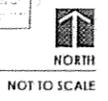
INERT GROUND COVER

	DECOMPOSED GRANITE	APACHE BROWN
--	--------------------	--------------

- NOTES:**
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KEY MAP



**PINNACLE
DESIGN, INC**

1048 N. 44th Street
Suite 200 • Phoenix, AZ 85008
Office: (602) 952-8585 • Fax: (602) 952-8580
Job #: 08039

PARK 10
SW Corner of 103rd Ave. &
McDowell Rd.
Avondale, AZ

Parkland Development
10320 W. McDowell Rd., Suite B2008
Avondale, AZ 85392

LEO A DAILY
PLANNING, ARCHITECTURE, ENGINEERING, INTERIORS
3344 E Camelback Rd. Suite 200
Phoenix, AZ 85018 USA
Tel 602-954-0818 Fax 602-381-1456

**Kland Huval
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Phoenix AZ 85008 USA

TMAD Taylor & Gaines
1550 E. Missouri Ave., Suite 100
Phoenix AZ 85014 USA

KEY PLAN

REVISIONS

NO.	DESCRIPTION	DATE

FILE LOG

ACTIVITY	BY
Manager:	
Design:	
Draw:	
Check:	
Issue:	

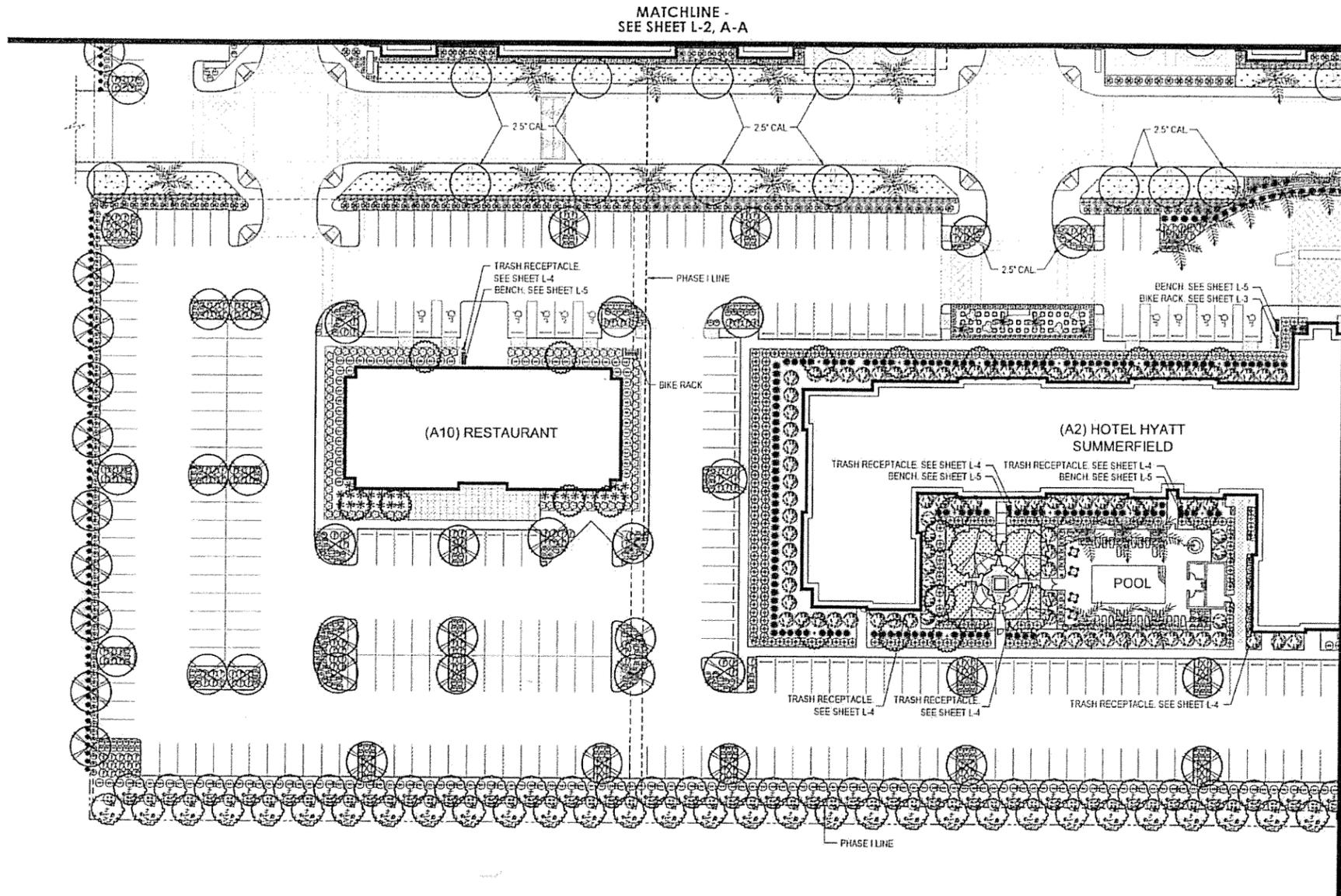


30' 0' 30' 60'
SCALE: 1"=30'-0"

Project No. 075-10101-000
7.28.08

CONCEPTUAL LANDSCAPE
MASTER PLAN





PLANT LEGEND

SYMBOL	BOTANICAL NAME	COMMON NAME
--------	----------------	-------------

TREES

- ACACIA SALICINA WILLOW ACACIA
- CAESALPINIA CACALACO THORNLESS CASCALOTE
- DALBERGIA SISSOO SISSOO TREE
- PARKINSONIA X 'DESERT MUSEUM' DESERT MUSEUM
- PITHECELLOBIUM FLEXICALE TEXAS EBONY
- QUERCUS VIRGINIANA HERITAGE OAK

PALMS

- PHOENIX DACTYLIFERA DATE PALM

SHRUBS

- CORDIA PARVIFOLIA LITTLELEAF CORDIA
- JUSTICIA CALIFORNICA CHUPAROSA
- RUELIA PENINSULARIS BAJA RUELLIA
- RUSSELLIA EQUISETIFORMIS CORAL FOUNTAIN
- SENNA ARTEMISIOIDES PETIOLARIS SILVER CASSIA
- TECOMA ALATA ORANGE JUBILEE
- TECOMA STANS YELLOW BELLS

ACCENTS

- AGAVE WEBERII WEBER'S AGAVE
- AGAVE DESMETTIANA VARIEGATA VARIEGATED AGAVE DESMETTIANA
- ASCLEPIAS SUBULATA DESERT MILKWEED
- ECHINOCACTUS GRUSONII GOLDEN BARREL
- EUPHORBIA ANTISYPHILITICA CANDEULLA
- FOUQUIERIA SPLENDENS OCOTILLO
- HESPERALOE FUNIFERA GIANT HESPERALOE
- HESPERALOE PARVIFLORA RED YUCCA
- PEDILANTHUS MACROCARPUS SLIPPER PLANT
- PORTULACARIA AFRA ELEPHANT'S FOOD
- LOPHOCEREUS SCHOTTII SANTA
- MUEHLBERGIA CAPILLARIS REGAL MIST
- YUCCA CARINEROSANA SPANISH DAGGER

GROUND COVER

- LANTANA MONTEVIDENSIS PURPLE LANTANA
- LANTANA 'NEW GOLD' NEW GOLD LANTANA
- SETCREASEA PALLIDA PURPLE HEART PLANT
- SPHAGNETICOLA TRILOBATA YELLOW DOT

TURF

INERT GROUND COVER

- TURF SOD
- DECOMPOSED GRANITE APACHE BROWN

NOTES:

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Avondale, AZ

Parkland Development
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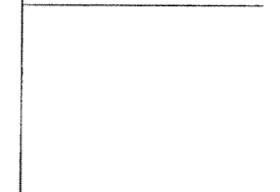
LEO A DALY
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Phoenix AZ 85014 USA

KEY PLAN



REVISIONS

NO.	DESCRIPTION	DATE

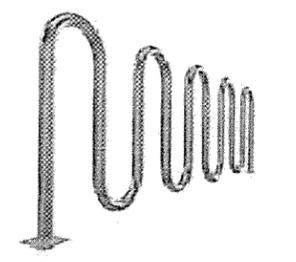
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ACTIVITY	BY

1"=30'-0"

Project No. 075-10101-000
7.28.08

CONCEPTUAL LANDSCAPE MASTER PLAN

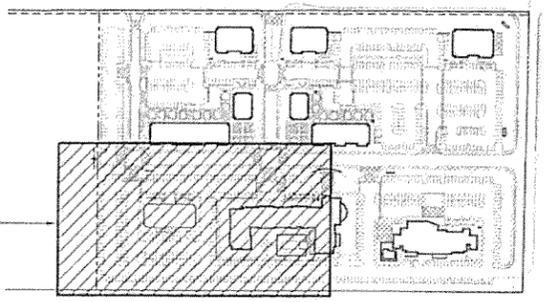


BIKE RACK
DERO ROLLING RACK - 2H-38"

CITY OF AVONDALE
JUN 24 2008
DEPARTMENT SERVICES

PINNACLE DESIGN, INC

1048 N. 44th Street
Suite 200 Phoenix, AZ 85008
Ofc: (602)952-8505 A Fax: 902-6888
Job # 08030

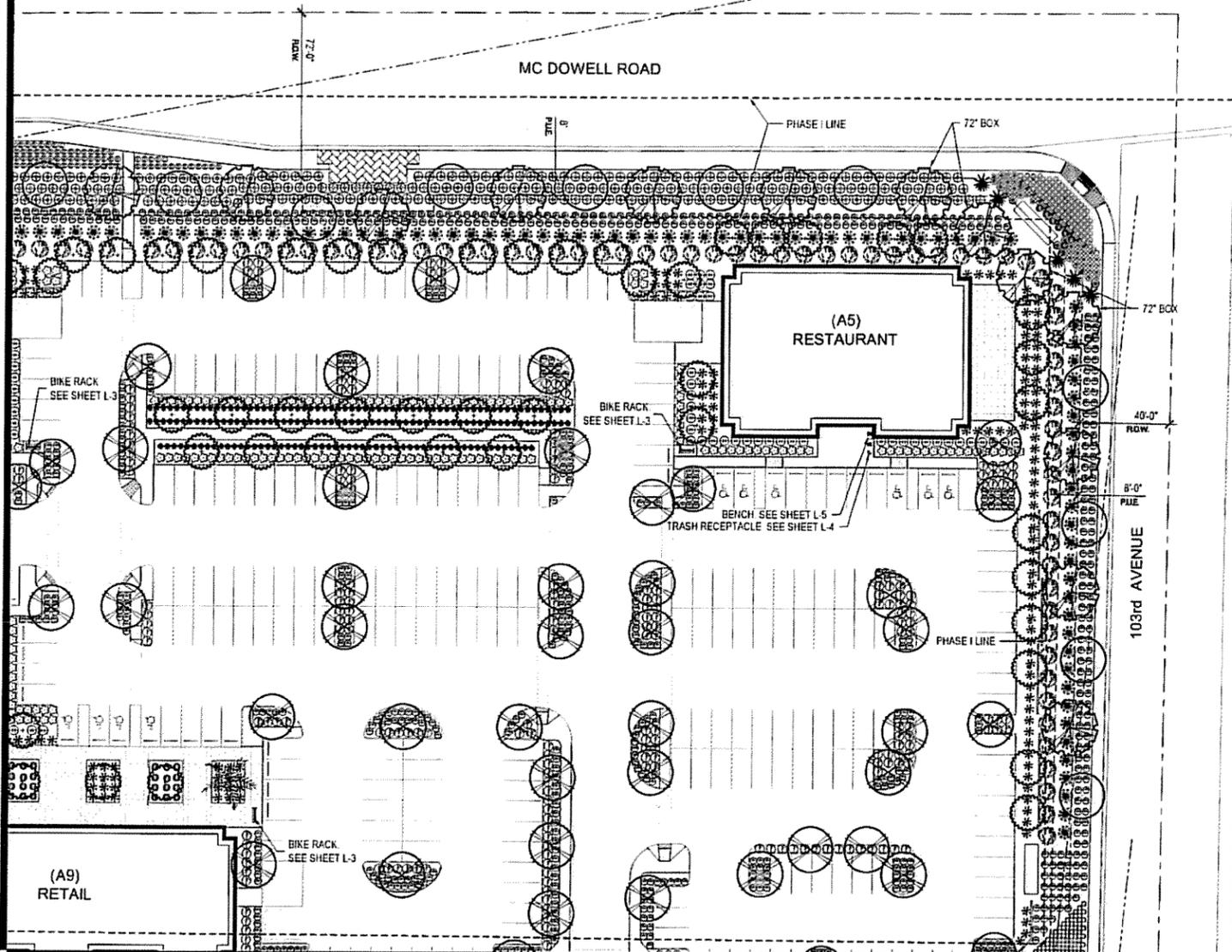


KEY MAP



NOT TO SCALE

MATCHLINE -
SEE SHEET L-2, B-B



MATCHLINE -
SEE SHEET L-5, D-D

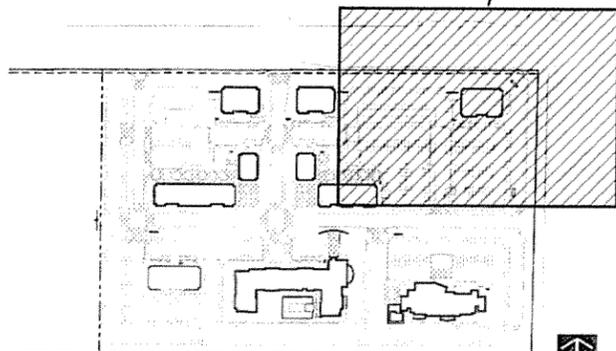


TRASH RECEPTACLE
KORNEGAY - DUNE - DS-TR

CITY OF AVONDALE
JUN 24 2008
ENGINEERING SERVICES

**PINNACLE
DESIGN, INC**

1048 N. 44th Street
Suite 200 Phoenix, AZ 85008
Off: (602)952-8585 Fax: (602) 952-8888
Job # 08039



KEY MAP



NORTH
NOT TO SCALE

PLANT LEGEND

SYMBOL	BOTANICAL NAME	COMMON NAME
TREES		
	ACACIA SALICINA	WILLOW ACACIA
	CAESALPINIA CACALACO 'SMOOTHE'	THORNLESS CASCALOTE
	DALBERGIA SISSOO	SISSOO TREE
	PARKINSONIA X 'DESERT MUSEUM'	DESERT MUSEUM
	PITHECELLOBIUM FLEXICAULE	TEXAS EBONY
	QUERCUS VIRGINIANA	HERITAGE OAK
PALMS		
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SHRUBS		
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	SENNA ARTEMISIOIDES PETIOLARIS	SILVER CASSIA
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ACCENTS		
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	ECHINOCACTUS GRUSONII	GOLDEN BARREL
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	LOPHOCEREUS SCHOTTII	SENTA
	MUHLENBERGIA CAPILLARIS	REGAL MIST
	YUCCA CARNEROSANA	SPANISH DAGGER
GROUND COVER		
	LANTANA MONTEVIDENSIS	PURPLE LANTANA
	LANTANA 'NEW GOLD'	NEW GOLD LANTANA
	SETCREASEA PALLIDA	PURPLE HEART PLANT
	SPHAGNETICOLA TRILOBATA	YELLOW DOT
	TURF	SOD
INERT GROUND COVER		
	DECOMPOSED GRANITE	APACHE BROWN

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REVISIONS

NO.	DESCRIPTION	DATE

FILE LOG

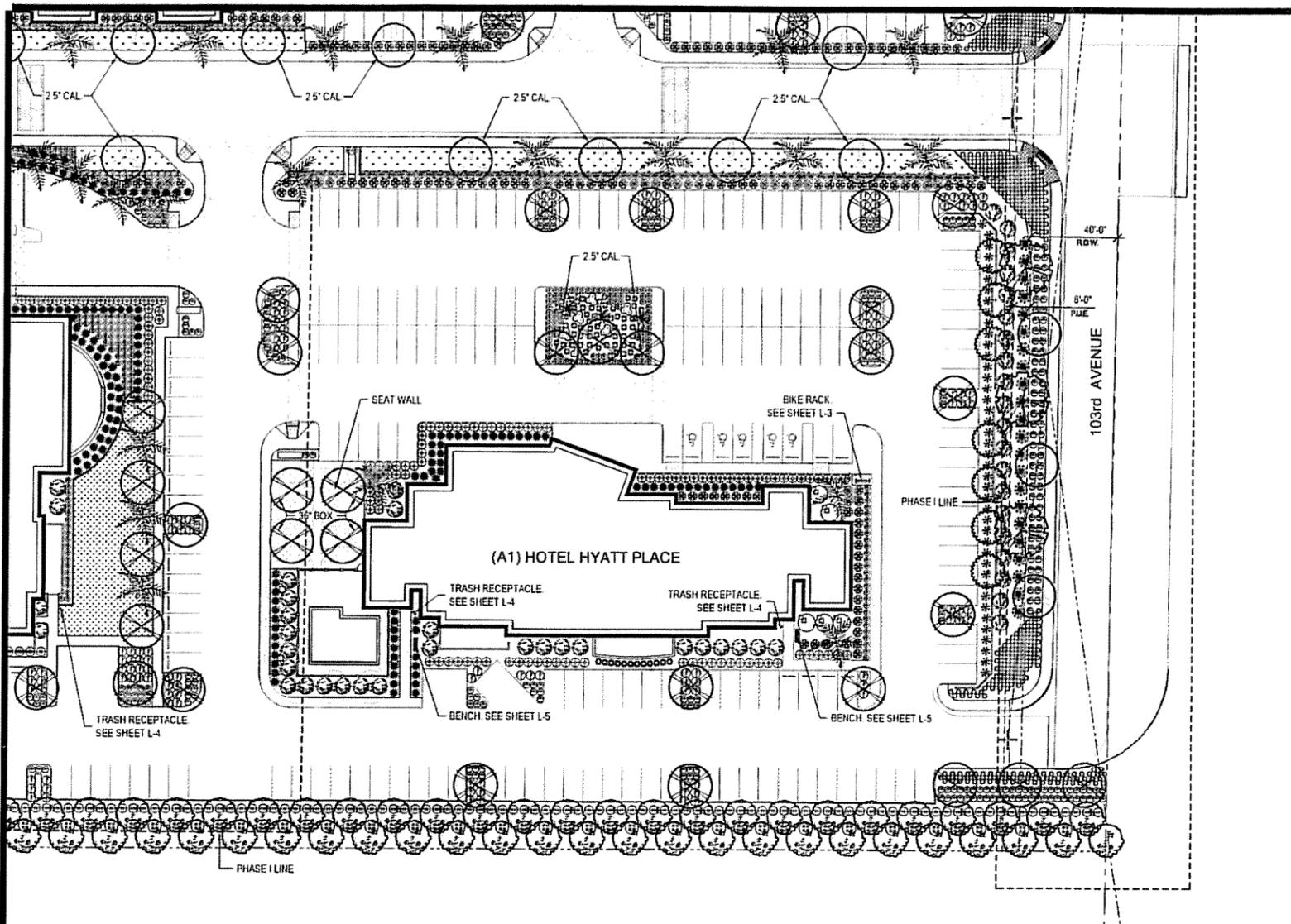
ACTIVITY	BY

William J. Huval

Project No. 075-10101-000
7.28.08

CONCEPTUAL LANDSCAPE MASTER PLAN

MATCHLINE -
SEE SHEET L-4, D-D



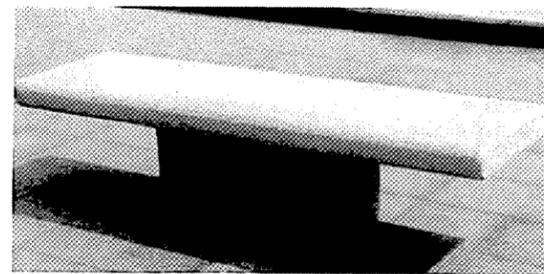
MATCHLINE -
SEE SHEET L-3, C-C

PLANT LEGEND

SYMBOL	BOTANICAL NAME	COMMON NAME
TREES		
	ACACIA SALICINA	WILLOW ACACIA
	CAESALPINIA CACALACO 'SMOOTHIE'	THORNLESS CASCALOTE
	DALBERGIA SISSOO	SISSOO TREE
	PARKINSONIA X. 'DESERT MUSEUM'	DESERT MUSEUM
	PITHECELLOBIUM FLEXICAULE	TEXAS EBONY
	QUERCUS VIRGINIANA	HERITAGE OAK
PALMS		
	PHOENIX DACTYLIFERA	DATE PALM
SHRUBS		
	CORDIA PARVIFOLIA	LITTLELEAF CORDIA
	JUSTICIA CALIFORNICA	CHUPAROSA
	RUELLIA PENINSULARIS	BAJA RUELLIA
	RUSSELLIA EQUISETIFORMIS	CORAL FOUNTAIN
	SENNA ARTEMISIOIDES PETIOLARIS	SILVER CASSIA
	TECOMA ALATA	ORANGE JUBILEE
	TECOMA STANS	YELLOW BELLS
ACCENTS		
	AGAVE WEBERII	WEBER'S AGAVE
	AGAVE DESMETTIANA VARIEGATA	VARIEGATED AGAVE DESMETTIANA
	ASCLEPIAS SUBULATA	DESERT MILKWEED
	ECHINOCACTUS GRUSONII	GOLDEN BARREL
	EUPHORBIA ANTISYPHILITICA	CANDELLILA
	FOUQUIERIA SPLENDENS	OCOTILLO
	HESPERALOE FUNIFERA	GIANT HESPERALOE
	HESPERALOE PARVIFLORA	RED YUCCA
	PEDILANTHUS MACROCARPUS	SUPPER PLANT
	PORTULACARIA AFRA	ELEPHANTS FOOD
	LOPHOCEREUS SCHOTTII	SENITA
	MUHLENBERGIA CAPILLARIS	REGAL MIST
	YUCCA CARNEROSANA	SPANISH DAGGER
GROUNDCOVER		
	LANTANA MONTEVIDENSIS	PURPLE LANTANA
	LANTANA 'NEW GOLD'	NEW GOLD LANTANA
	SETCREASEA PALLIDA	PURPLE HEART PLANT
	SPHAGNETICOLA TRILOBATA	YELLOW DOT
	TURF	SOD
INERT GROUNDCOVER		
	DECOMPOSED GRANITE	APACHE BROWN

NOTES:

1. CONTRACTOR TO VERIFY ALL QUANTITIES
2. CONTRACTOR TO PROVIDE DECOMPOSED GRANITE SAMPLES TO LANDSCAPE ARCHITECT FOR APPROVAL
3. MAINTAIN 3' TO 5' TREE AND SHRUB CLEARANCE FROM WALLS
4. MAINTAIN 1' TO 2' TREE AND SHRUB CLEARANCE FROM SIDEWALKS
5. ALL TREES LOCATED IN TURF AREAS SHALL HAVE A TREE GUARD.
6. TREES ADJACENT TO PEDESTRIAN WALKWAYS SHOULD HAVE A MINIMUM CANOPY CLEARANCE OF 6'-8"
7. ALL MATURE TREES AND PALM CANOPIES MUST BE A MINIMUM OF 5' FROM ANY BUILDING WALLS OR BUILDING WINDOWS

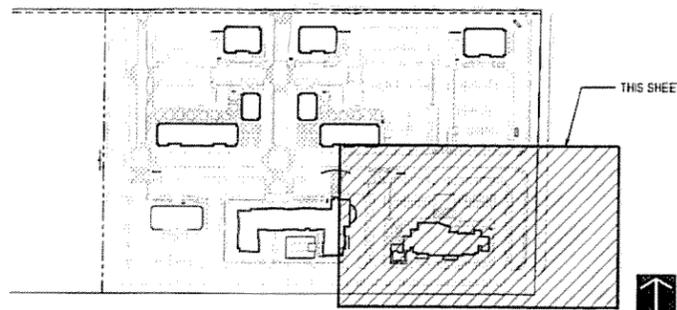


BENCH
URBAN ELEMENTS - ESCOFET - BS.1



PINNACLE DESIGN, INC

1048 N. 44th Street
Suite 200 • Phoenix, AZ 85008
Ofc: (602)952-8585 • Fax: 602-852-8586
Job # 08039



NORTH
NOT TO SCALE

PARK 10

SW Corner of 103rd Ave. & McDowell Rd.
Avondale, AZ

Parkland Development
10320 W. McDowell Rd., Suite B2008
Avondale, AZ 85392

LEO A DALY
3344 E Camelback Rd. Suite 200
Phoenix, AZ 85018 USA
Tel 602-954-0618 Fax 602-381-1456

Kland Huval Engineering
6045 N. Scottsdale Rd., Suite 108
Scottsdale, AZ 85250 USA

Pinnacle Design, INC
1048 N. 44th St., Suite 200
Phoenix AZ 85008 USA

TMAD Taylor & Gaines
1550 E. Missouri Ave., Suite 100
Phoenix AZ 85014 USA

KEY PLAN

REVISIONS

NO.	DESCRIPTION	DATE

FILE LOG

ACTIVITY	BY



Project No. 075-10101-000
7.28.08

CONCEPTUAL LANDSCAPE
MASTER PLAN

L-5



North Elevation



West Elevation



South Elevation



East Elevation

Hyatt Summerfield Suites

PARK 10
Avondale, Arizona



Parkland Development
10320 W. McDowell Rd., Suite B2008
Avondale, Arizona 85392

June 26, 2008
JOB NO. 075-10101-000

Trammell Crow Company
2850 E. Camelback Rd., Suite 201
Phoenix, Arizona 85016

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ARCHITECTURE | PLANNING | ENGINEERING | INTERIORS
SUITE 200, 3344 E CAMELBACK RD
PHOENIX, ARIZONA 85018
602.954.0818



West Elevation



North Elevation



East Elevation



South Elevation

Hyatt Place

PARK 10
Avondale, Arizona



Parkland Development
10320 W. McDowell Rd., Suite B2008
Avondale, Arizona 85392

July 21, 2008
JOB NO. 075-10101-002

Trammell Crow Company
2850 E. Camelback Rd., Suite 201
Phoenix, Arizona 85016

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PHOENIX, ARIZONA 85018
602.954.0818



Hyatt Summerfield Suites

PARK 10
Avondale, Arizona



Parkland Development
10529 W McDowell Rd., Suite B200B
Avondale, Arizona 85392

December 21, 2007

Trammell Crow Company
2850 E Camelback Rd., Suite 201
Phoenix, Arizona 85016

LEO A DALY
ARCHITECTURE PLANNING ENGINEERING INTERIORS
SUITE 200, 3344 E CAMELBACK RD.
PHOENIX, ARIZONA 85018
602.954.0818



CITY OF AVONDALE
 JUN 24 2008
 CITY CLERK'S OFFICE

July 15, 2008
 JOB NO. 075-10101-000

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P A R K 1 0
 Avondale, Arizona

HYATT PLACE

Parkland Development
 10320 W. McDowell Rd., Suite B2008
 Avondale, Arizona 85392

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 SUITE 200, 3344 E CAMELBACK RD
 PHOENIX, ARIZONA 85018
 602.954.0818



P A R K 1 0
Avondale, Arizona

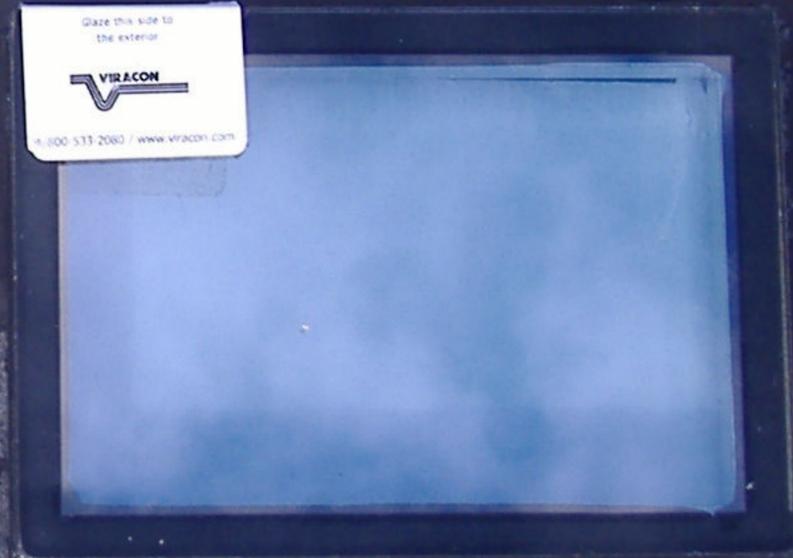
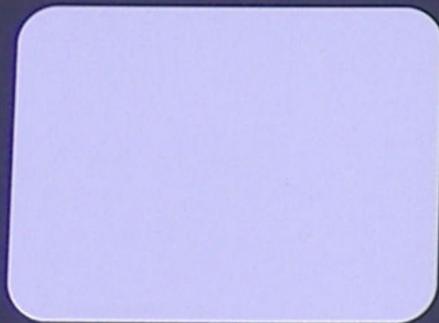
May 16, 2008
JOB NO. 075-10101-000

Parkland Development
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Avondale, Arizona 85392

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SUITE 200, 3344 E CAMELBACK RD
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602.954.0818





Place this side to the exterior
VIRACON
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PARK 10 MASTER SITE PLAN- Exterior Materials

PARK 10
Avondale, Arizona

Parkland Development
10320 W. McDowell Rd., Suite B2008
Avondale, AZ 85392

Trammell Crow Company
2850 E. Camelback Rd., Suite 201
Phoenix, Arizona

MAY 19, 2008
808 # 075-10101-002
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ARCHITECTURE PLANNING ENGINEERING INTERIORS
SUITE 200, 3344 E. CAMELBACK RD.
PHOENIX, ARIZONA 85018
602 954 0818

REVISIONS
MAY 23 2008
2nd
07-37





PARK 10

PHASE I

Comprehensive Sign Plan and Tenant Sign Standards
JUNE, 2008

Project Information / Legal Description	1
General Guidelines / Signtypes Permitted	2 - 3
Site Plan / Sign Matrix	4
Signtype Descriptions / Specifications	5 - 18
Graphics and Colors	19

Project Park 10
103rd Avenue and McDowell Road, Avondale, AZ 85392

Owner / Developer Parkland Development
10320 West McDowell Road, Suite B2008, Avondale, AZ 85392
623.742.9180

Architect Leo A Daly
3344 East Camelback Road, Suite 200, Phoenix, AZ 85018
602.954.0818

Signage Consultant SmithCraft
3643 South Seventh Street, Phoenix, AZ 85040
602.268.1349

Legal Description Lots 3 ad 4, Section 5, Township 1 range 1 east of the Gila and Salt River base and meridian, Maricopa County, Arizona. Except that portion which lies westerly and southerly of the following described line: Commencing at the nothwest section of said secton 5; thence south 00 degrees 15 minutes 35 sections east along the west line thereof a distance of 539.97 feet to the point of beginning; thence north 89 degrees 44 minutes 29 seconds east 55.00 feet; thence sou 10 degrees 31 minutes 07 seconds east 187.67 feet; thence south 50 degrees 46 minutes 18 seconds east 99.22 feet; thence north 88 degrees 56 minutes 31 seconds east 2473.28 feet, more or less to a point on the east line of said lot 3, the point of ending, awarded to the state of Arizona by final order of comdenation recorded July 7, 1982 in docket 16135, page 766, records of Maricopa County, Arizona. Lots 3 ad 4, Section 5, Township 1 range 1 east of the Gila and Salt River base and meridian, Maricopa County, Arizona.

Gross Site Area 19.0 AC (828,454 G.S.F.)

Net Site Area 16.5 AC (719,945 N.S.F.)

GENERAL GUIDELINES - TENANT SIGNAGE

For the purpose of maintaining a continuity of quality and aesthetics throughout Park 10, these requirements have been established for the mutual benefit of all Tenants and also to comply with the regulations of the City of Avondale Sign Ordinance as well as the building and electrical codes of any governmental authority having jurisdiction.

Conformance to these requirements will be strictly enforced and any non-compliant sign(s) installed by a Tenant shall be brought into conformance at the sole cost and expense of the Tenant.

I. GENERAL GUIDELINES AND PERMIT PROCEDURE

- A. Prior to any sign permit submittal and the fabrication or installation of any sign, Tenant shall submit or cause to be submitted to the Developer / Landlord, two (2) copies of detailed drawings drawn to scale illustrating the exact installation location of the proposed signage and its size, layout, colors, method of illumination, material specifications and method of attachment.
- B. All proposed signs shall be reviewed for conformance with these criteria, design quality and overall aesthetics. The Developer / Landlord shall have sole and absolute discretion in granting approval or disapproval of any proposed Tenant sign submittal.
- C. Tenant or Tenant's representative shall obtain all required sign and building permits for signs and their installation.
- D. Tenant shall be responsible for the fulfillment of all requirements and specifications, including those of the City of Avondale.
- E. All signs shall be manufactured and installed at Tenant's sole expense.
- F. Tenant shall be responsible for the installation and maintenance of the Tenant's sign. Should the Tenant's sign require maintenance or repair, Developer / Landlord shall give Tenant fourteen (14) days written notice to effect said maintenance or repair. Should Tenant fail to do the same, Developer / Landlord may undertake repairs and Tenant shall reimburse Developer / Landlord within ten (10) days from the receipt of invoice.
- G. Retail Tenants may be allowed to use advertising devices such as attraction boards, posters, banners and flags only in accordance with the provisions of the City of Avondale Sign Ordinance. Tenant shall first obtain written approval from the Developer / Landlord (which may be withheld at its sole and absolute discretion) prior to obtaining any permit(s) required by the City of Avondale.
- H. All signs shall require a separate permit.

II. TENANT SIGN SPECIFICATIONS

A. General Specifications

- 1. Animated, flashing or audible Tenant signs are not permitted.
- 2. Painted lettering is not permitted.
- 3. All Tenant signs and their installation shall comply with all local building and electrical codes.
- 4. Exposed raceways used to contain electrical components required to illuminate the signage, are not permitted. Tenant signage shall consist of individual letters and logos installed onto building wall surfaces, canopies, and/or any other architectural feature specifically designed to accommodate signage.
- 5. All conductors, transformers and other electrical equipment required to illuminate the Tenant's signage shall be concealed.
- 6. Any damage to any wall surface, canopy and/or roof deck resulting from the Tenant's sign installation shall be repaired at Tenant's sole cost.
- 7. Upon removal of any sign by a Tenant, the Tenant shall immediately repair any damage to the wall surface, canopy, and/or roof deck to its original condition at Tenant's expense.

B. Placement

- 1. All Tenant signage shall be installed in accordance with the approved Comprehensive Sign Plan only in locations(s) designated by the Developer / Landlord. Sign fields will be determined at the time each building is designed.

III. TENANT SIGN DESIGN REQUIREMENTS

Retail Tenant signage shall consist of internally illuminated pan channel letters and logos with acrylic faces, reverse pan channel "backlit" or "halo" illuminated letters and logos, custom cabinets or non-illuminated reverse pan channel letters. Tenant shall first submit all proposed signage details to the Developer / Landlord for review and shall obtain written approval prior to submitting a sign permit application to the City of Avondale. The City of Avondale shall require a written acknowledgement from the Developer / Landlord stating that they have reviewed and approved the proposed signage prior to any permit issuance. All signage shall be installed in compliance with the City of Avondale electrical code and UL specifications. Any sign installation found to be non-compliant with these provisions shall be remedied immediately by the Tenant at Tenant's sole expense.

A. Sign Area

1. The maximum allowable sign area per building elevation shall be determined as follows:
 - a. Hotel and Single / Multi-Tenant buildings (3+ stories), elevations oriented to freeway - two (2) square foot of signage for each one (1) linear foot of building elevations oriented to freeway traffic. One (1) square foot of signage for each one (1) linear foot of each additional building elevation. A maximum of four (4) elevations may have signage. The maximum aggregate sign area shall be 500 square feet for buildings up to 50,000 square feet in floor area and 850 square feet for buildings greater than 50,000 square feet of floor area.
 - b. Single / Multi-Tenant buildings (1 -3 stories) - one (1) square foot of signage for each one (1) linear foot of of the longest building elevation. One-half (1/2) square foot of signage for each one (1) linear foot of each additional building elevation. A maximum of four (4) elevations may have signage. Tenants may have a minimum of twenty-four (24) square feet of signage. Total building signage not to exceed 500 square feet. Tenant sign must not exceed seventy (70%) percent of the vertical height or eighty (80%) horizontal length of the sign field upon which it is placed.
 - c. Single Tenant buildings on corner parcels with building frontage on two major roadway frontages may use both frontages calculated at one (1) square foot of signage for each one (1) linear foot of frontage. Additional elevations will be allowed one-half (1/2) square foot of signage for each one (1) linear foot of frontage. A maximum of four (4) elevations may have signage. The maximum aggregate sign area shall be 250 square feet for buildings up to 50,000 square feet in floor area and 500 square feet for buildings greater than 50,000 square feet of floor area. Tenant sign must not exceed seventy (70%) percent of the vertical height or eighty (80%) horizontal length of the sign field upon which it is placed.

B. Type face and Logo Usage

1. National Retailers and Hotels shall be permitted to utilize their standard corporate identification program subject to sign area limitations and Developer / Landlord approval.
2. Type face and/or logos utilized by retail Tenants shall be Tenant's choice, subject to sign area limitations and Developer / Landlord approval.

C. Illumination

1. When illumination is used, retail Tenant signage shall consist of individual letters and logos that are internally illuminated (face illumination) or backlit to create a silhouette (halo illumination). Exposed neon is not allowed.

D. Color

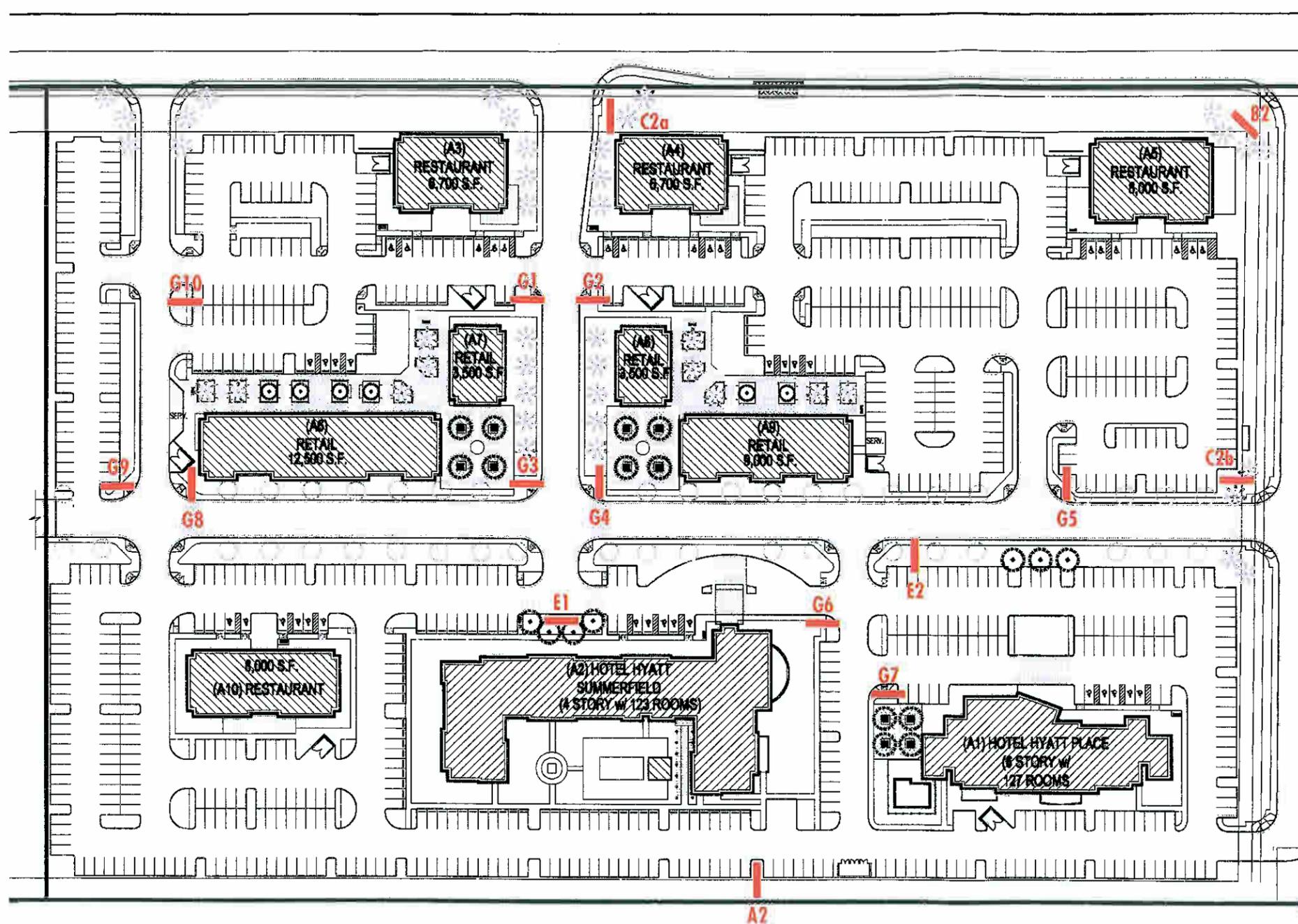
1. Color(s) utilized by retail Tenants shall be Tenant's choice, subject to Developer / Landlord approval.

E. Under Canopy Blade Signs

1. Each Tenant will be permitted to install one (1) double-faced under canopy blade sign in accordance with specifications approved in this Comprehensive Sign Plan. For cost efficiencies and design/construction uniformity, all under canopy blade signs will be manufactured and installed by Developer's project sign contractor.
2. All under canopy blade signs shall consist of flat cut out text and/or graphics applied to both sides of the approved sign shape. The Developer / Landlord shall approve in writing all proposed layouts including text and graphics prior to the manufacture and installation of any blade sign. Each Tenant shall furnish the approved text and layout to the Developer's project sign contractor and/or provide the project sign contractor with electronic art suitable for reproduction. Tenant shall pay for all costs associated with the production and installation of Tenant's blade sign(s).

IV. GENERAL SIGN CONSTRUCTION / INSTALLATION REQUIREMENTS

- A. All signs shall be fabricated using full welded construction or similar method to conceal light leaks.
- B. All exterior signs shall be secured by concealed fasteners, impervious to rust: stainless steel, nickel, cadmium plated.
- C. All penetrations of the building structure required for sign installation shall be neatly sealed in a watertight condition.
- D. No labels or other identification shall be permitted on the exposed surface of signs except those required by local ordinance, which shall be applied in an inconspicuous location.
- E. Tenant shall be fully responsible for the operations of Tenant's sign contractor(s) and shall indemnify, defend and hold Developer / Landlord harmless for, from and against damages or liabilities on account thereof.



FREESTANDING SIGN MATRIX - PHASE 1

TYPE	NAME	MAX. HT.	MAX. AREA	LOCATION / DESCRIPTION	QTY
A-2	Freeway Pylon	65 Feet	Total Signage, per face, not to exceed 45% of the gross sign area, max. 23 feet in width.	Adjacent to I-10 Freeway. Identification of project and up to 5 Tenants.	1
B-2	Corner Monument	8 Feet	100 square feet	Corner of McDowell Rd. & 103rd Ave. Identification of project and Hotels.	1
C-2 (a&b)	Tenant Monument	10 Feet*	100 square feet*	One adjacent to McDowell Rd. One adjacent to 103rd Ave. Identification of project and up to 6 Tenants.	2
E-1	Hotel Identity Monument	6 Feet	60 square feet	Primary Hotel entrance. Identification of primary Hotel user.	1
E-2	Hotel Identity Monument	4 Feet	30 square feet	Secondary Hotel entrance. Identification of secondary Hotel user.	1
G	Vehicular Directional	4 Feet	12 square feet	As shown on site plan. Directional information not containing specific Tenant information.	10

* AS ORIGINALLY SPECIFIED - ANOTHER LARGER OPTION MORE COMPATIBLE WITH SIGN SIZES FOR ADJACENT PROJECTS IS SHOWN ON PAGE 7.

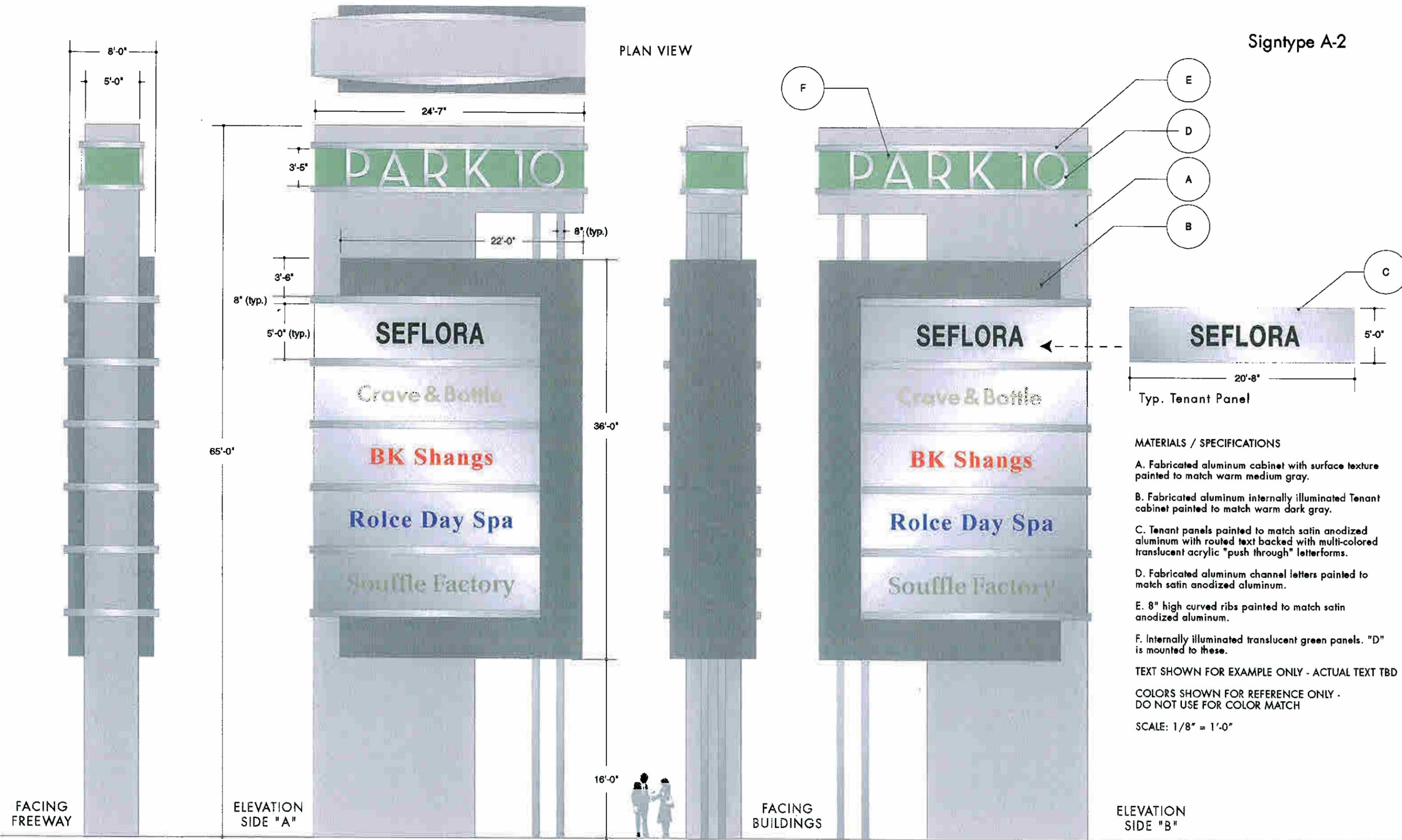
CONCEPTUAL MASTER PLAN Scale 1"=50'



ALL SIGN LOCATIONS SHOWN ARE APPROXIMATE - ACTUAL LOCATIONS TBD ON SITE AND WILL CONFORM TO ALL CITY OF AVONDALE AND ADOT REQUIREMENTS AND REGULATIONS RE: RIGHT OF WAY, PROPERTY LINES AND VISIBILITY TRIANGLES, ETC. ALL SIGNS SHALL REQUIRE A SEPARATE PERMIT.

Signtype A-2

PLAN VIEW



- MATERIALS / SPECIFICATIONS**
- A. Fabricated aluminum cabinet with surface texture painted to match warm medium gray.
 - B. Fabricated aluminum internally illuminated Tenant cabinet painted to match warm dark gray.
 - C. Tenant panels painted to match satin anodized aluminum with routed text backed with multi-colored translucent acrylic "push through" letterforms.
 - D. Fabricated aluminum channel letters painted to match satin anodized aluminum.
 - E. 8" high curved ribs painted to match satin anodized aluminum.
 - F. Internally illuminated translucent green panels. "D" is mounted to these.
- TEXT SHOWN FOR EXAMPLE ONLY - ACTUAL TEXT TBD
- COLORS SHOWN FOR REFERENCE ONLY - DO NOT USE FOR COLOR MATCH
- SCALE: 1/8" = 1'-0"

FACING FREEWAY

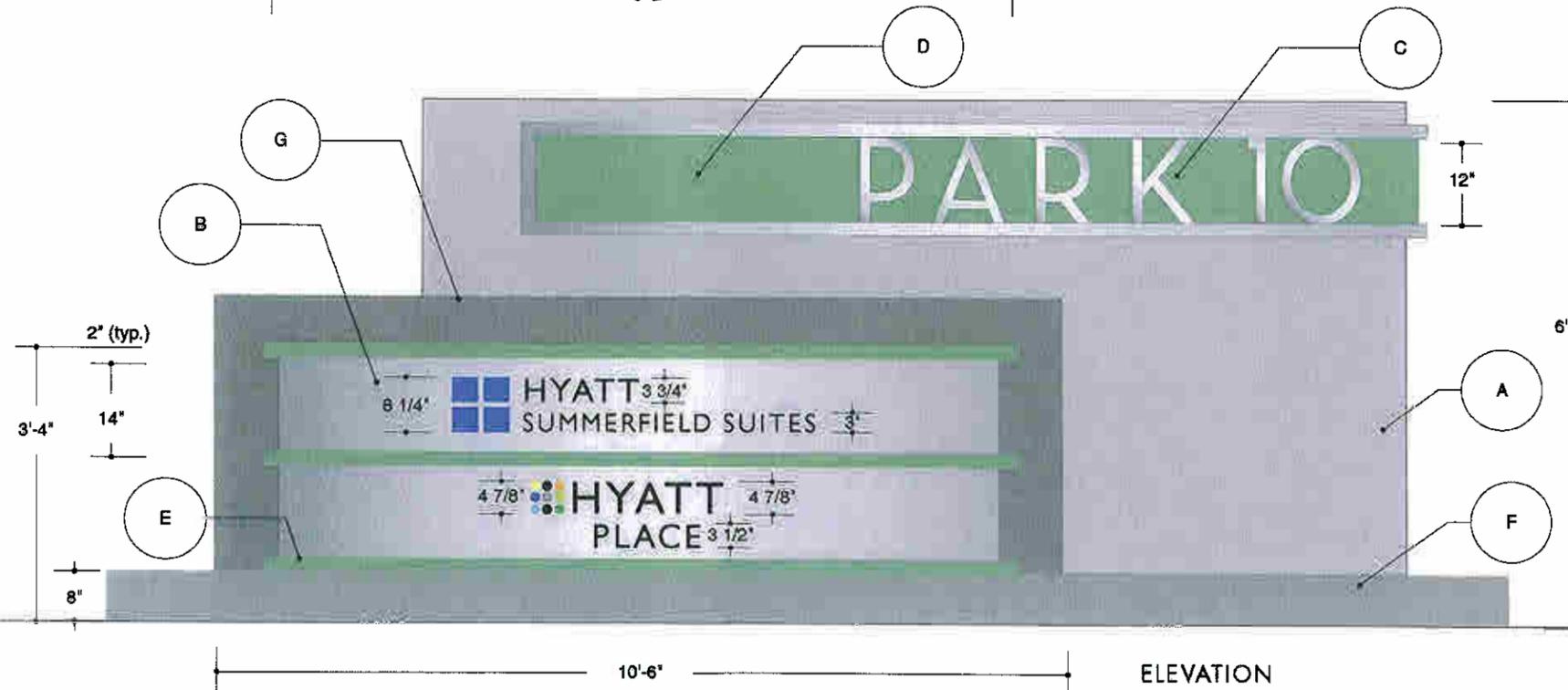
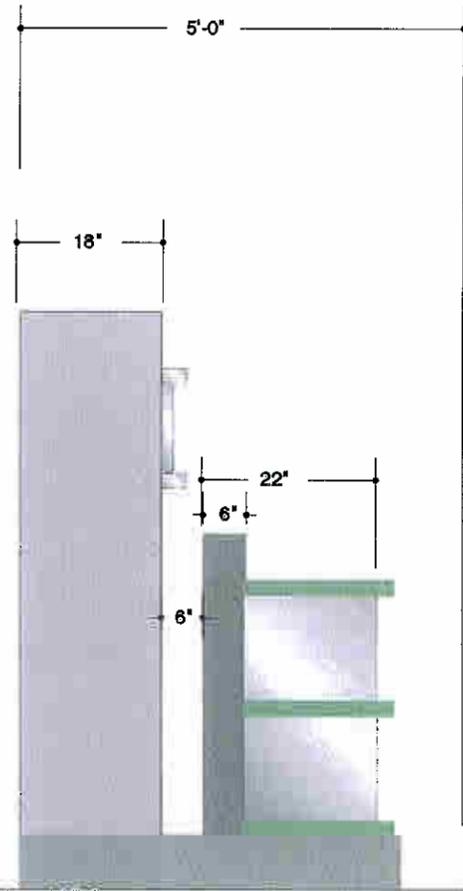
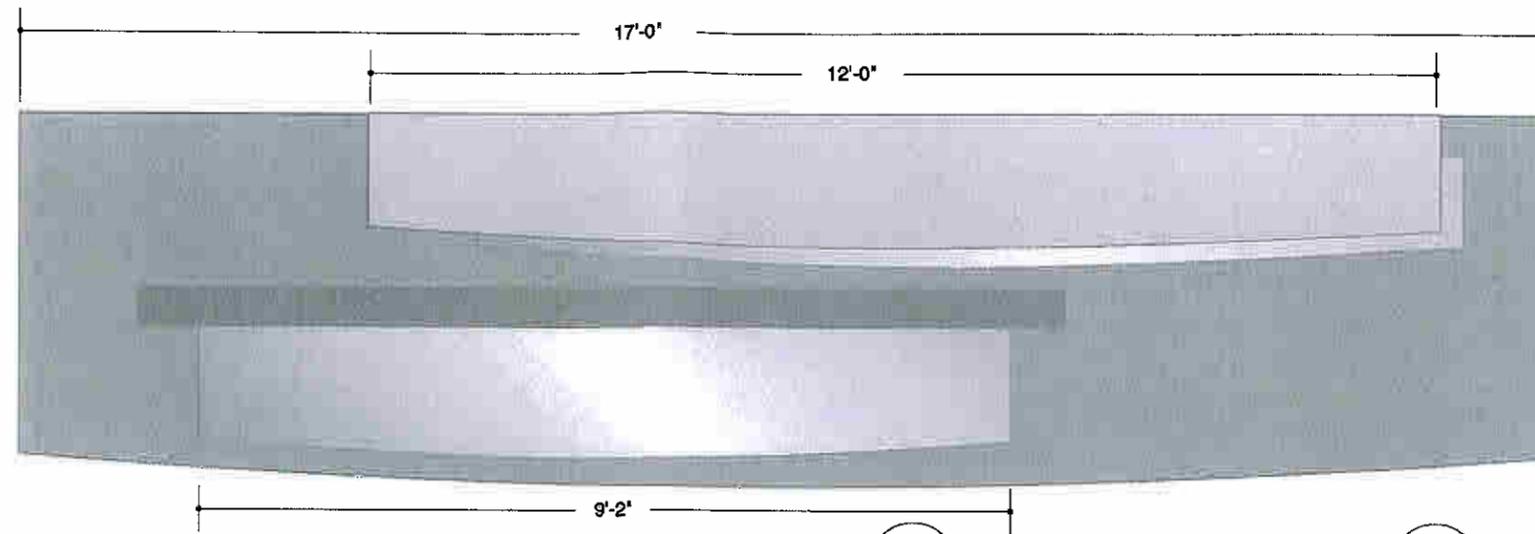
ELEVATION SIDE "A"

FACING BUILDINGS

ELEVATION SIDE "B"

Signtype B-2

PLAN VIEW



MATERIALS / SPECIFICATIONS

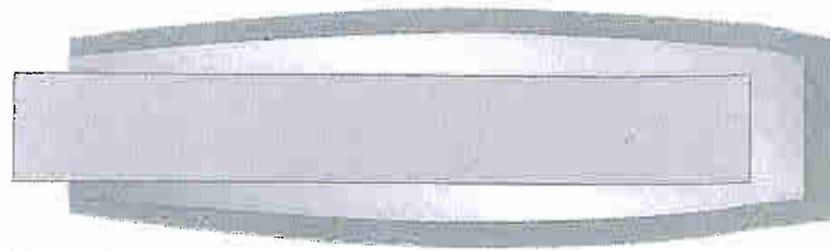
- A. Fabricated aluminum cabinet with surface texture and curved front face painted to match warm medium gray.
- B. Separate fabricated internally illuminated aluminum Tenant cabinet with curved face painted to match satin anodized aluminum. Text to be translucent acrylic "push through" dimensional letterforms.
- C. Dimensional letters and support frame painted to match match satin anodized aluminum.
- D. Internally illuminated translucent green panel illuminated via green lighting. Letters "C" are mounted to this.
- E. 2" high edge illuminated green "ribs" with curved front sides.
- F. Integral color concrete base.
- G. Fabricated aluminum surround painted to match warm dark gray.

TEXT / LOGOS SHOWN FOR EXAMPLE ONLY - ACTUAL TEXT / LOGOS TBD

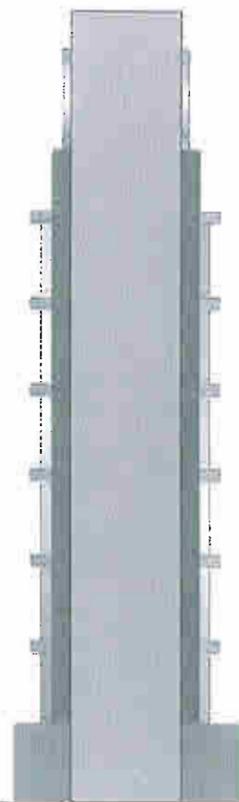
COLORS SHOWN FOR REFERENCE ONLY - DO NOT USE FOR COLOR MATCH

SCALE: 1/2" = 1'-0"

Signtype C-2a and b OPTION #1



PLAN VIEW

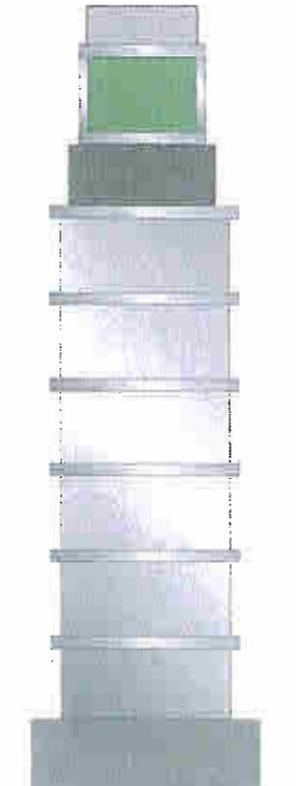
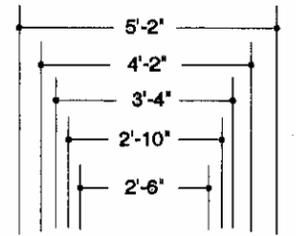
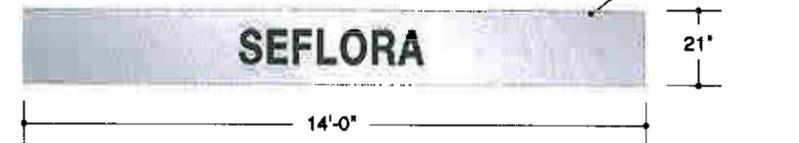


SIDE



ELEVATION

Typ. Tenant Panel



SIDE

MATERIALS / SPECIFICATIONS

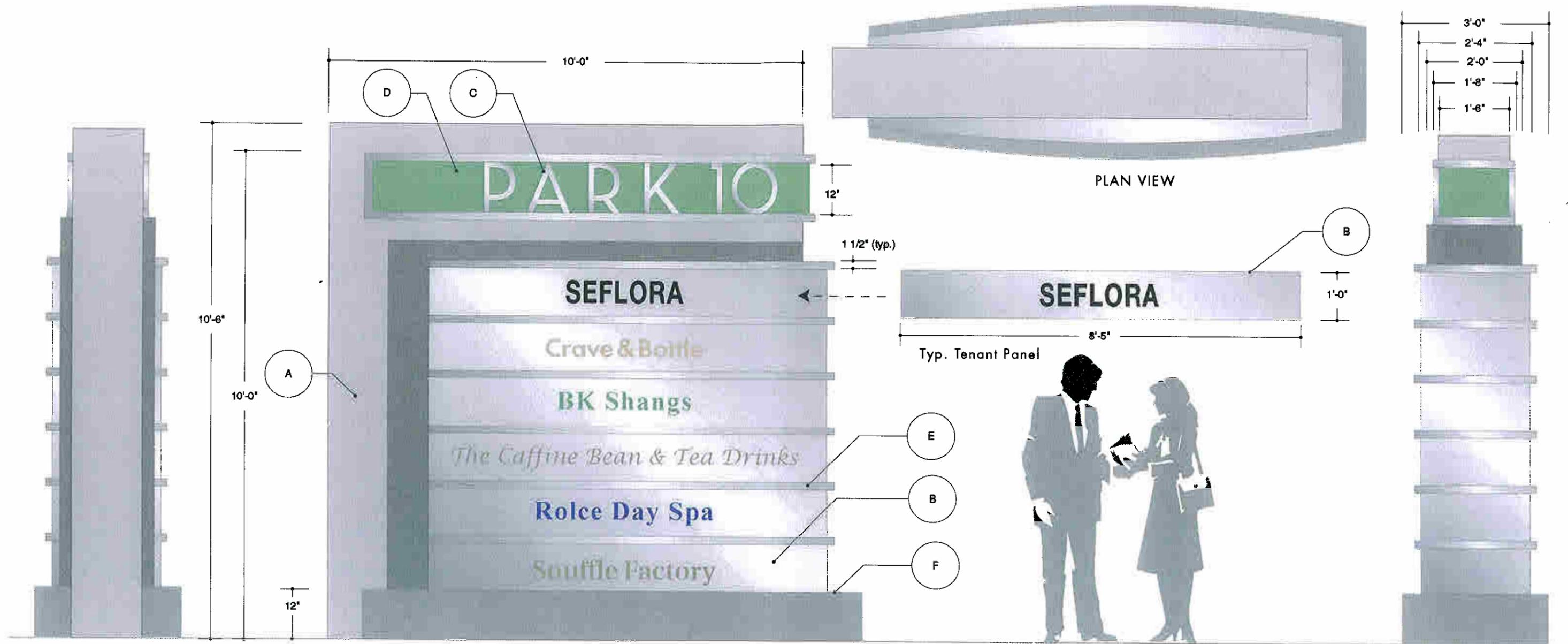
- A. Fabricated aluminum cabinet with surface texture and curved front face painted to match warm medium gray.
- B. Tenant panels painted to match satin anodized aluminum with routed text backed with multi-colored translucent acrylic "push through" letterforms.
- C. Dimensional letters and support frame painted to match match satin anodized aluminum.
- D. Internally illuminated translucent green panel illuminated via green lighting. Letters "C" are mounted to this.
- E. 2" high curved ribs painted to match satin anodized aluminum.
- F. Integral color concrete base.
- G. Fabricated aluminum surround painted to match warm dark gray.

TEXT SHOWN FOR EXAMPLE ONLY - ACTUAL TEXT TBD

COLORS SHOWN FOR REFERENCE ONLY - DO NOT USE FOR COLOR MATCH

SCALE: 1/4" = 1'-0"

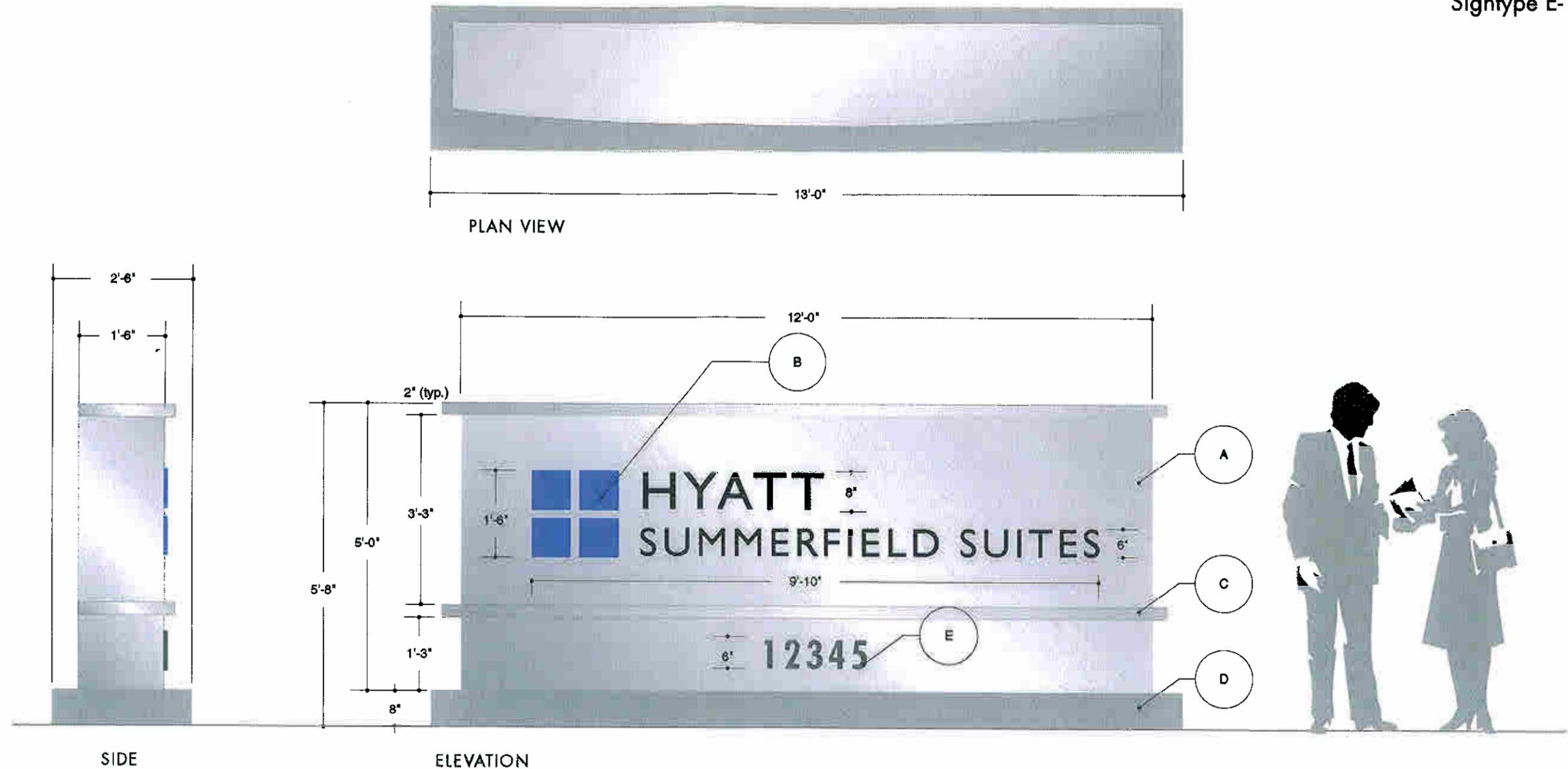
Signtype C-2a and b OPTION #2



MATERIALS / SPECIFICATIONS

- A. Fabricated aluminum cabinet with surface texture and curved front face painted to match warm medium gray.
- B. Tenant panels painted to match satin anodized aluminum with routed text backed with multi-colored translucent acrylic "push through" letterforms.
- C. Dimensional letters and support frame painted to match match satin anodized aluminum.
- D. Internally illuminated translucent green panel illuminated via green lighting. Letters "C" are mounted to this.
- E. 1 1/2" high curved ribs painted to match satin anodized aluminum.
- F. Integral color concrete base.
- G. Fabricated aluminum surround painted to match warm dark gray.

TEXT SHOWN FOR EXAMPLE ONLY - ACTUAL TEXT TBD COLORS SHOWN FOR REFERENCE ONLY - DO NOT USE FOR COLOR MATCH SCALE: 1/2" = 1'-0"



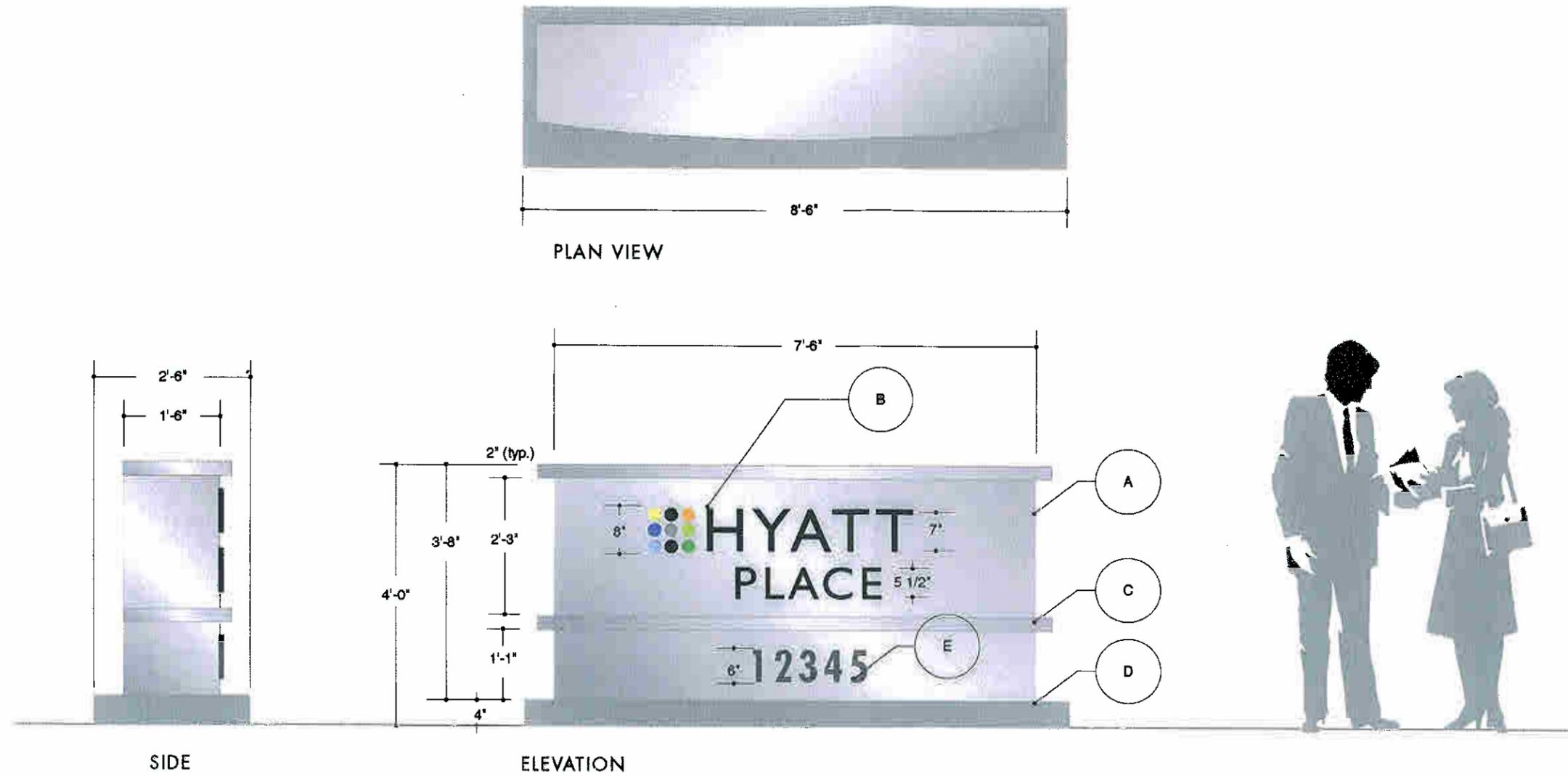
MATERIALS / SPECIFICATIONS

- A. Fabricated aluminum internally illuminated cabinet painted to match satin anodized aluminum.
- B. Text and logo to be translucent acrylic "push through" dimensional letterforms.
- C. 2" high aluminum "ribs" with curved front sides painted to match satin anodized aluminum.
- D. Integral color concrete base.
- E. Dimensional address numbers painted to match warm dark gray.

TEXT / LOGOS SHOWN FOR EXAMPLE ONLY - ACTUAL TEXT / LOGOS TBD

COLORS SHOWN FOR REFERENCE ONLY - DO NOT USE FOR COLOR MATCH

SCALE: 1/2" = 1'-0"



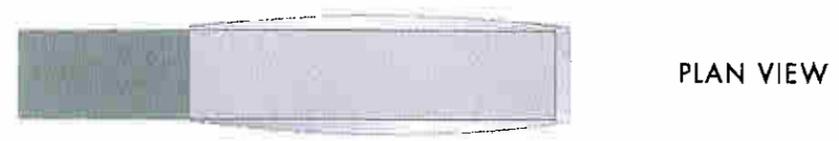
MATERIALS / SPECIFICATIONS

- A. Fabricated aluminum internally illuminated cabinet painted to match satin anodized aluminum.
- B. Text and logo to be translucent acrylic "push through" dimensional letterforms.
- C. 2" high aluminum "ribs" with curved front sides painted to match satin anodized aluminum.
- D. Integral color concrete base.
- E. Dimensional address numbers painted to match warm dark gray.

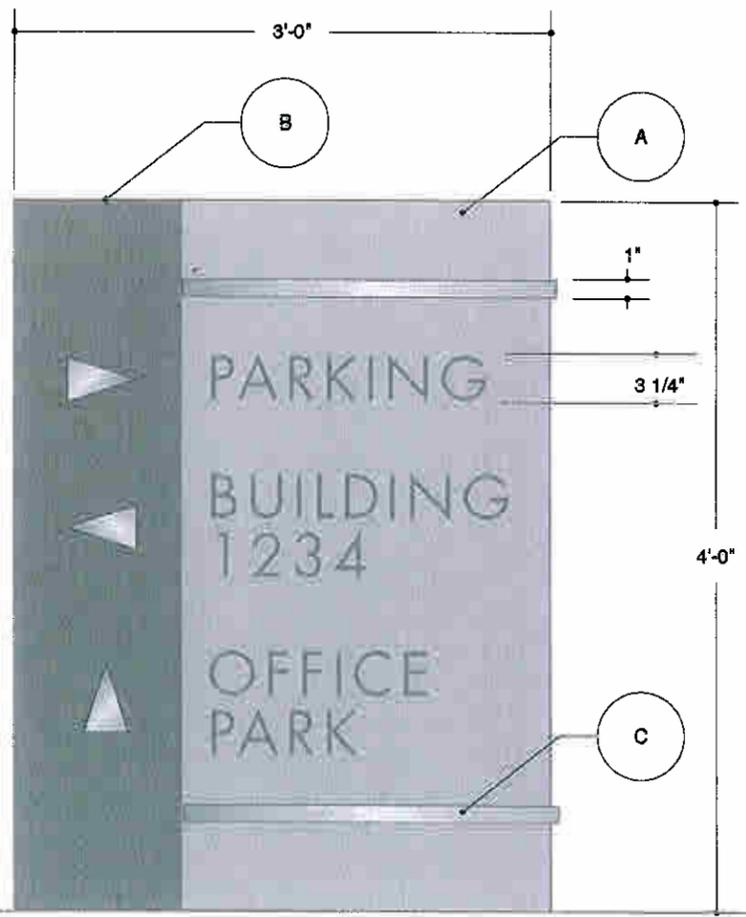
TEXT / LOGOS SHOWN FOR EXAMPLE ONLY - ACTUAL TEXT / LOGOS TBD

COLORS SHOWN FOR REFERENCE ONLY - DO NOT USE FOR COLOR MATCH

SCALE: 1/2" = 1'-0"



PLAN VIEW



ELEVATION (typ.)



SIDE

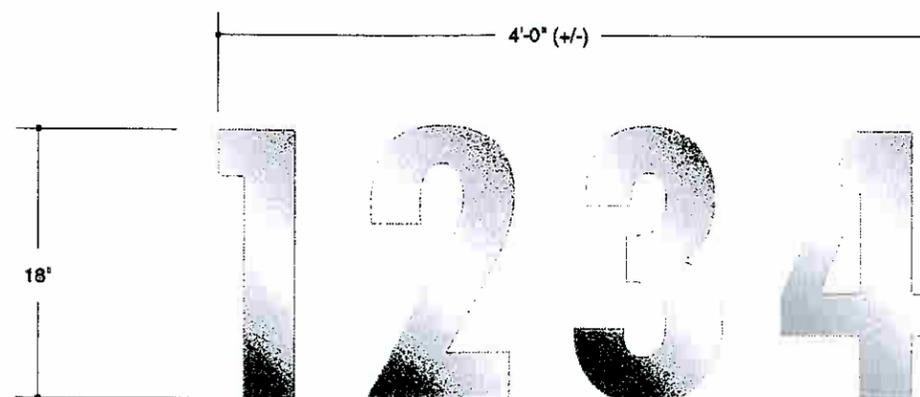
MATERIALS / SPECIFICATIONS

- A. Fabricated aluminum cabinet painted to match warm medium with 3M Nimbus Grey (220-101) vinyl text.
- B. Arrow field painted to match warm dark gray with 3M Silver (220-120) vinyl arrows.
- C. 1" curved aluminum ribs painted to match satin anodized aluminum.

TEXT SHOWN FOR EXAMPLE ONLY - ACTUAL TEXT TBD

COLORS SHOWN FOR REFERENCE ONLY - DO NOT USE FOR COLOR MATCH

SCALE: 1" = 1'-0"



ADDRESS NUMBERS
NON-ILLUMINATED
SCALE: 1" = 1'-0"
QUANTITY: TBD per Fire Dept.

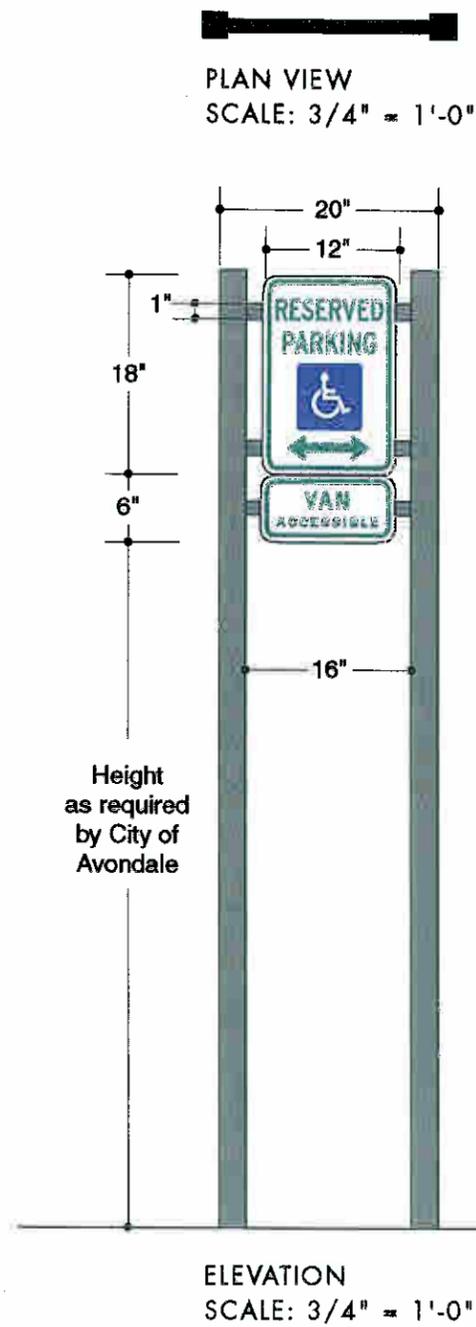
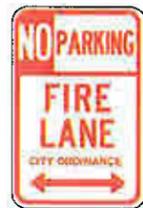
MATERIALS / SPECIFICATIONS

Wall-mounted non-illuminated flat cut out numbers fabricated out of 1/2" thick metal painted to match anodized aluminum. Flush mount to building walls as directed by City of Avondale fire department.

TEXT SHOWN FOR EXAMPLE ONLY - ACTUAL TEXT TBD

ALL COLORS SHOWN FOR REFERENCE ONLY
DO NOT USE FOR COLOR MATCH

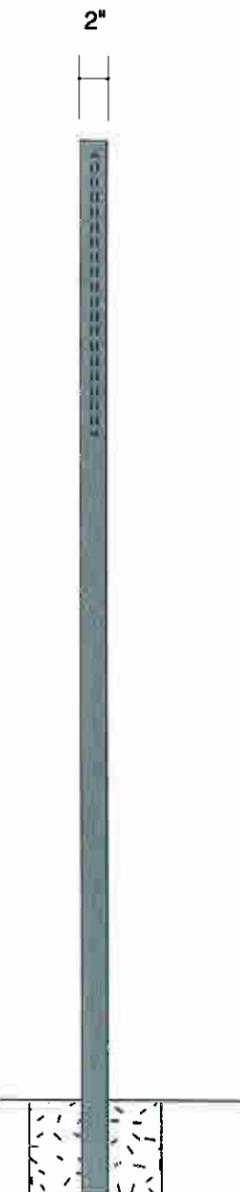
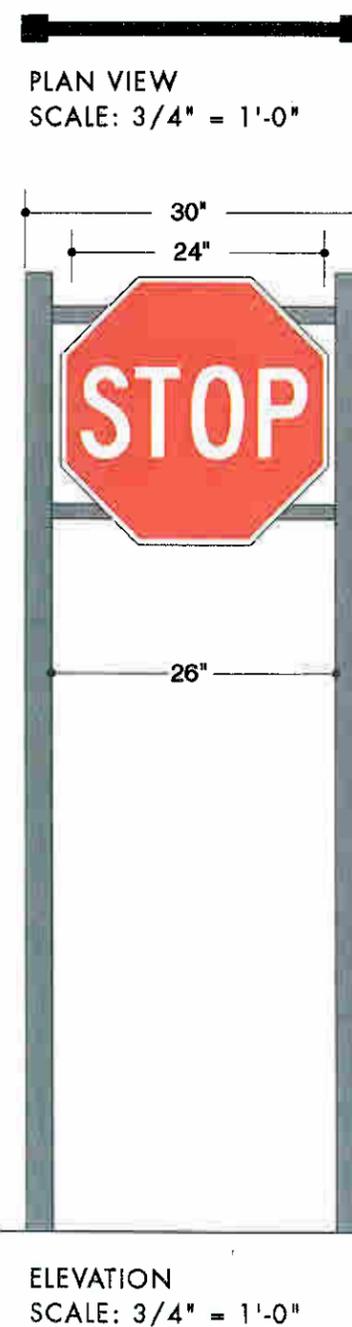
STANDARD M.U.T.C.D. SIGN FACES.
 .080" WITH REFLECTIVE BACKGROUND.
 QUANTITIES AND PLACEMENT TBD.



MATERIALS / SPECIFICATIONS

Sign holders fabricated out of 2" aluminum square tube with 1" aluminum square tube cross pieces and painted to match dark warm gray.

Exposed backs of all sign panels to be painted to match dark warm gray.



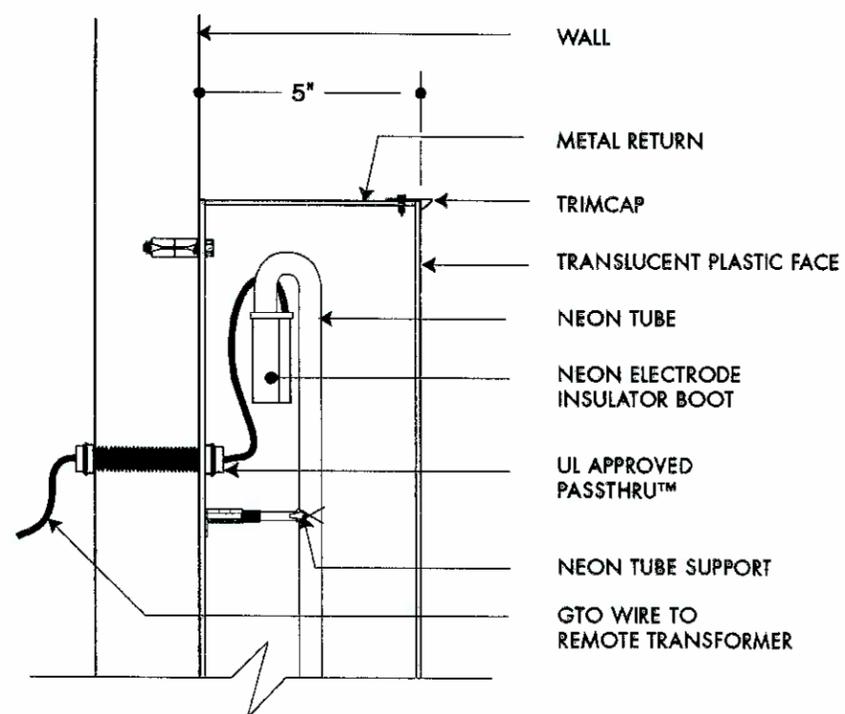
ALL COLORS SHOWN FOR REFERENCE ONLY
 DO NOT USE FOR COLOR MATCH



FACE ILLUMINATED PAN CHANNEL LETTERS AND LOGO

NOT TO SCALE

NOTE: FACE ILLUMINATED CHANNEL LETTERS ARE PERMITTED FOR RETAIL TENANT USE ONLY



TYPICAL SECTION OF A PAN CHANNEL LETTER

(FACE ILLUMINATION)

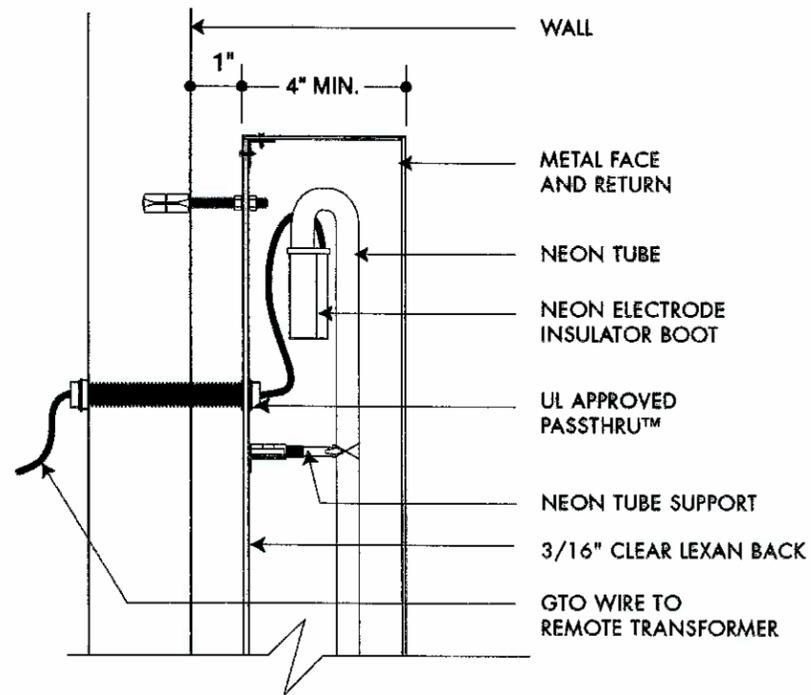
SCALE: 3" = 1'-0"

ALL COLORS SHOWN FOR REFERENCE ONLY
DO NOT USE FOR COLOR MATCH

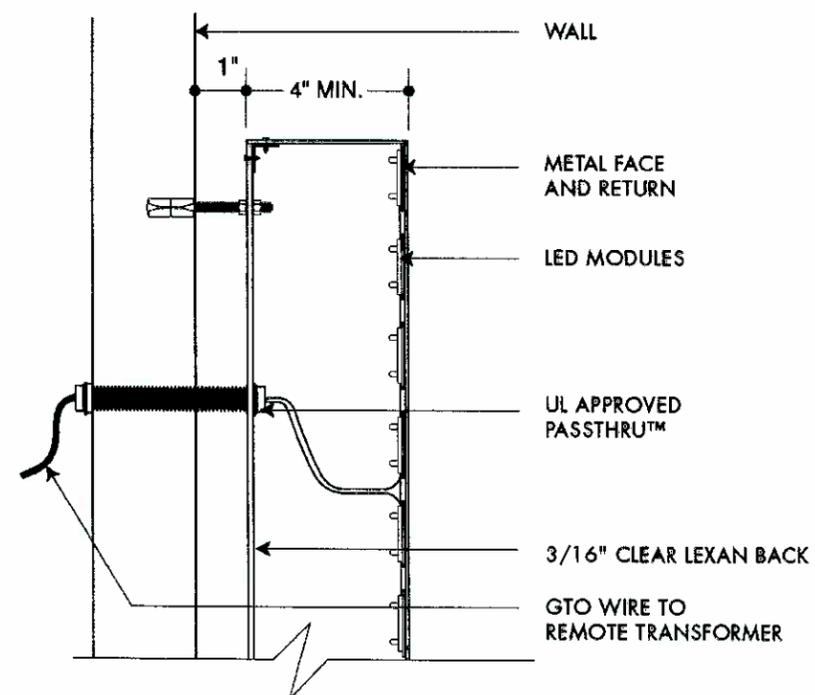


HALO ILLUMINATED (BACKLIT) REVERSE PAN CHANNEL LETTERS AND LOGO
NOT TO SCALE

NOTE: HALO ILLUMINATED (BACKLIT) REVERSE PAN CHANNEL LETTERS ARE PERMITTED FOR ALL TENANT WALL SIGNS



TYPICAL SECTION OF A NEON ILLUMINATED
REVERSE PAN CHANNEL LETTER
(HALO ILLUMINATION)
SCALE: 3" = 1'-0"



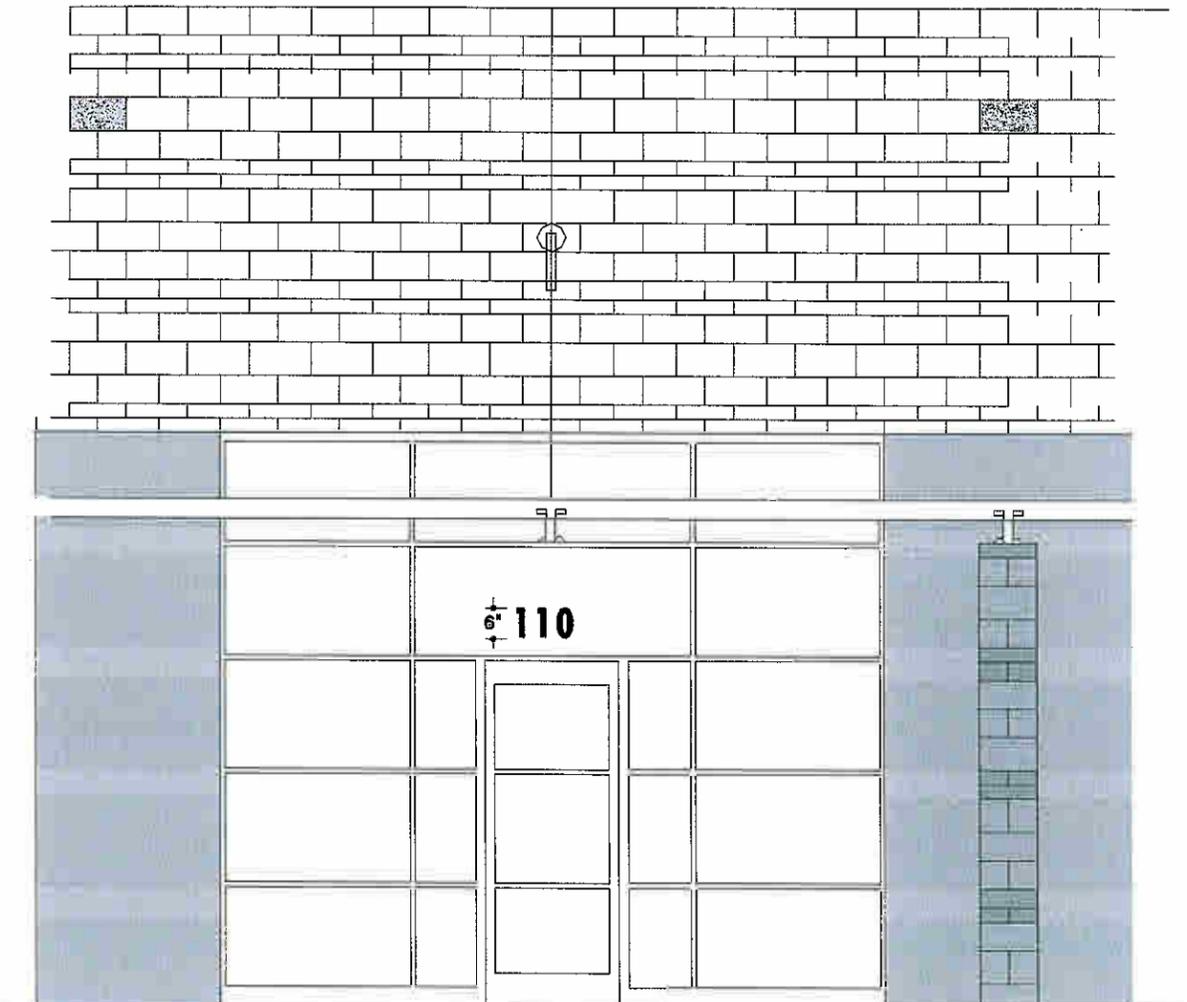
TYPICAL SECTION OF A LED ILLUMINATED
REVERSE PAN CHANNEL LETTER
(HALO ILLUMINATION)
SCALE: 3" = 1'-0"

ALL COLORS SHOWN FOR REFERENCE ONLY
DO NOT USE FOR COLOR MATCH

Tenant Suite Numbers and Window Graphics



Double Door
Scale: 1/8" = 1'-0"



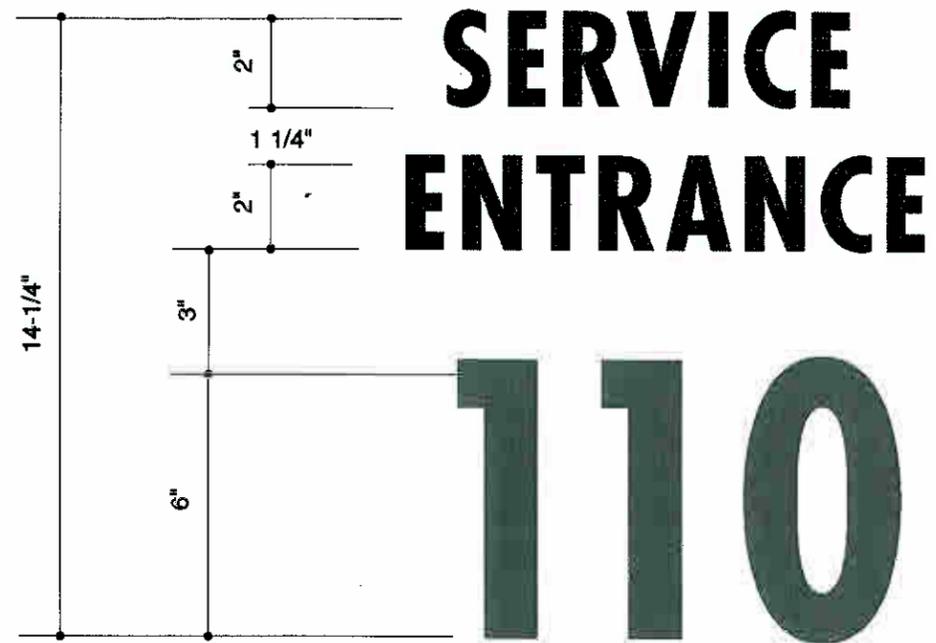
Single Door
Scale: 1/8" = 1'-0"

Tenant Suite Numbers to be 3M Scotchcal Pearl Gray 220-11 vinyl applied as shown, centered left to right, baseline of number 6" up from top of door.

Tenant Window Graphics may not cover more than 25% of total window area.

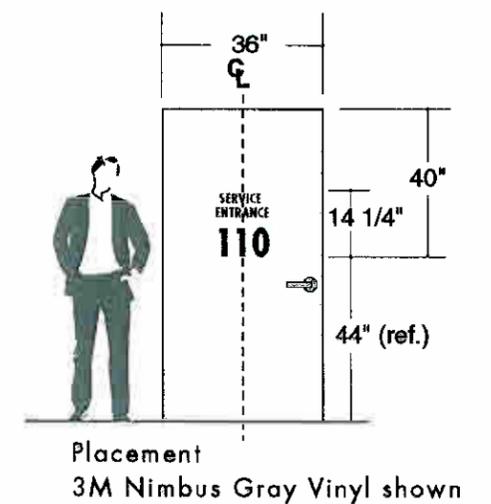
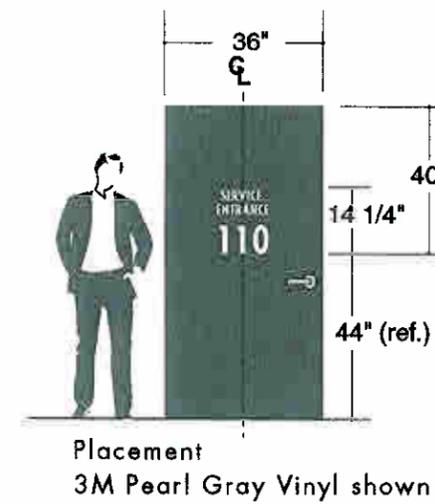
NOTE: text shown for example only - actual text TBD. Locations shown for example only. Actual Tenant Suite Entry conditions may vary slightly from building to building.

ALL COLORS SHOWN FOR REFERENCE ONLY
DO NOT USE FOR COLOR MATCH



Tenant Service Entry Identification Signs
 Quantity: One Per Tenant Service Entry
 Scale: 3" = 1'-0"

Tenant Service Entry Identifies to be either 3M Scotchcal Pearl Gray 220-11 (for dark doors) or 3M Scotchcal Nimbus Gray 220-101 (for light doors). Service entry identities are to be applied as shown, centered left to right, baseline of number 40" down from top of door .



NOTE: text shown for example only - actual text TBD.

ALL COLORS SHOWN FOR REFERENCE ONLY
 DO NOT USE FOR COLOR MATCH

PARK 10

Project Logotype



Project Arrow(s)

ABCDEFGHIJKLMNOPQRSTUVWXYZ & 0123456789

Project Typestyle: Futura Medium

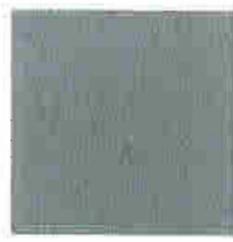
ABCDEFGHIJKLMNOPQRSTUVWXYZ & 0123456789

Project Typestyle: Futura Bold Condensed

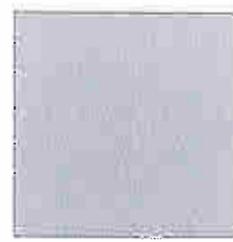
Project Colors



Paint to Match Satin Anodized Aluminum



Paint to Match Dark Warm Gray



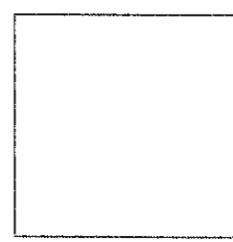
Paint to Match Light Warm Gray



3M Silver (230-121) Vinyl



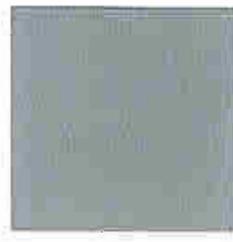
3M Nimbus Grey (220-101) Vinyl



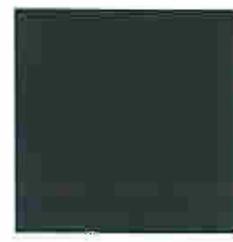
3M Pearl Grey (220-11) Vinyl



Green Translucent Acrylic



Dark Gray Integral Color Concrete



Black P-95 Acrylic

All Colors Shown For Reference Only
Do not Use For Color Match

**West 10 Corporate Center
Planned Area Development
2-8-06**

I. Introduction

Parkland Development Company plans to develop an approximate 43-acre site at the southeast corner of 107th Avenue and McDowell Road (the "Property"). See **Figure 1** Vicinity Map and **Figure 2** Legal Description of the Property. This Mixed-Use development will include a variety of commercial and employment uses including office, hotel, restaurant, and retail that support both the Avondale General Plan and the Freeway Corridor Specific Plan. The project consists of two distinct areas: a 25.2 acre Office Park and a 17.5 acre Mixed-Use Commercial District.

II. Request

This request is to rezone the site from the AG zoning to a Planned Area Development (PAD) to specifically allow the uses proposed in section VIII of this document.

III. Background

This Property was annexed into the City of Avondale from Maricopa County in 1986. Comparable rezoning was established which designated this property as Agricultural (AG). There is no previous case history for the property.

IV. Site Context

The Property has excellent access and visibility from Interstate 10 Freeway on the south, 107th Avenue on the west, McDowell on the north and 103rd Avenue on the east. Freeway access will be provided to the site from the 107th Avenue and I-10 Freeway interchange located in the southwestern portion of the property. 103rd Avenue will be extended south along the east property and culminate in a "T" intersection within the Property, which will then be accessible from this site as well as the property to the east.

V. General Plan Conformance

The City of Avondale General Plan and Freeway Corridor Specific Plan identify the site as Freeway Commercial. This designation allows flexibility for development of regional retail, entertainment, office, and employment uses. This application is wholly consistent with the Freeway Commercial land use designation. One of the primary goals of the Freeway Corridor Specific Plan is to "establish a distinctive image for the Corridor and the City of Avondale." The proposal includes the established street tree theme of Southern Live Oak along McDowell Road. The repetitive use of this particular tree will establish a consistent landscape theme to differentiate McDowell Road from other arterial streets in the City

One of the key elements of the Freeway Corridor Specific Plan is the designation of a "regional commercial node" within the Freeway Corridor area. This designation encourages intense land uses such as business parks, hotels, and related commercial uses. This proposal includes a request for an increase in height allowance to allow the type of intense land use outlined in the Freeway Corridor Specific Plan.

The Freeway Corridor Specific Plan outlines required findings for approval of increased height. In accordance, this proposal includes the following:

- a. The proposal conforms to the intent and objectives of the Freeway Corridor Specific Plan to create a regional commercial and office corridor with a destination identity along Interstate 10.
- b. The request meets the corridor design standards and principles.
- c. The request supports the Boulevard streetscape concept and provides street and landscaping improvements, which meet or exceed the minimum requirements.
- d. The project provides a mix of land uses, which include office, retail, restaurant, hotel and integrated residential uses.
- e. Extraordinary architectural and design criteria are included to ensure quality development.
- f. The project maintains a “pedestrian friendly” atmosphere by providing pedestrian plazas and enhanced pedestrian walkways.

VI. Infrastructure

1. Circulation

Primary access to the Property is provided by the I-10 Freeway, 107th Avenue, McDowell Road and 103rd Avenue.

McDowell Road and 107th Avenue are designated as major arterial streets; 103rd Avenue is designated as a collector street and will be extended into the Property as noted above. The internal loop road identified on **Figure 4** with access from 107th Avenue, 103rd Avenue and from McDowell Road will be publicly dedicated roads. Connection between 107th and 103rd Avenues will be accomplished with an east-west road bisecting the site as depicted on **Figure 4**. The final alignment of the spine road through the Mixed-Use Commercial Center will be approved during site plan approval. Roadways labeled as possible future circulation will be identified during site plan approval for this area of development. Typical roadway cross-sections are identified on **Figures 12** and **13**, with locations identified on **Figure 5**.

Access points are shown on **Figure 4**, with the type of access identified for each point. A public connection to McDowell Road will be provided at N. Harbor Shores Boulevard. Three additional connections to McDowell Road will be provided as shown on **Figure 4**. The three major access points on McDowell Road are identified as full access due to the already planned roadway median improvements for McDowell Road. The access points on 107th and 103rd Avenue is restricted.

Pedestrian linkages and connections will be provided throughout the site with the use of sidewalks and pedestrian areas. Pedestrian connections across roadways will be delineated with alternative paving materials such as pavers or stamped or colored concrete. Appropriate shading will be provided by a combination of building overhangs, shade structures, canopies and landscaping.

A traffic study for the entire site shall be submitted for review and approval by the City Engineer. The traffic study will address left turn access from McDowell Road as well as right-in and right-out movements along 107th Avenue. The purpose of the traffic study will demonstrate safe turning movements and traffic flows.

2. Utilities

All utilities will be developed with the roadway and site improvements and placed underground. Water and wastewater service will be provided by the City of Avondale. Stub-outs will be provided for the development of the northern parcels from McDowell Road or 107th Avenue. Water service for internal parcels on the southern portion of the site will be serviced from an internal City water loop in a dedicated easement contiguous with an internal street traversing the site from west to east. The final location of the Public Utility Easements will be determined at the time of final Site Plan Approval.

Initially, the roadway and public water line will enter from 107th Avenue run east and loop north to McDowell Road as shown on **Figure 6**. The utility lines and roadways depicted on **Figures 5 and 6** are intended to be publicly dedicated. Future extension of the water line will be dependent on the placement of the remaining roads as the site develops. Future roadway alignments will be approved in subsequent site plan applications.

To the extent allowed by law, all Type 1 and Irrigation Grandfathered Groundwater Rights appurtenant to the property shall be properly extinguished and the resulting Assured Water Supply credits pledged to the City of Avondale's account at the Arizona Department of Water Resources (ADWR) prior to the issuance of any building permits. Any surface water rights shall be allocated to the City of Avondale prior to any building permits. Any existing or unregistered wells on site shall be abandoned using the ADWR well abandonment rules.

Qwest will provide telephone service. Trash collection will be provided by private collection agencies. SRP will provide electric service.

3. Grading and Drainage

The Property will be responsible to provide onsite storage for runoff from a 100-year 2-hour storm event through the use of shared retention. The Property will also be responsible for collecting adjacent half-street runoff. The developer will investigate use of ADOT freeway right of way for shared retention, however, even if off site retention is available, "first flush" retention will be held within the Property.

4. Maintenance

The Property owner(s) will provide maintenance of the proposed individual parcels in a manner that provides a neatly trimmed, cultivated and litter free site, including any contiguous landscape areas up to the back of the public sidewalk and any landscape areas within the right of way between the public walk and street edge. CC&Rs that address the maintenance responsibility will be recorded prior to final plat approval. All public streets and sidewalks will be maintained by the City of Avondale.

5. Phasing

The Property will be developed in phases, the first of which will include a 7.97 acre parcel located within the Office district along McDowell Road and identified on **Figure 5**. The roadways adjacent to the first phase of development will be developed as required to provide proper circulation. Phase 1 will likely include the construction of the main drive aisle from McDowell Road. Specific improvement plans will be provided in the Master Site Plan or Individual Site Plan application for phase 1. Landscaping along McDowell Road and the new main drive aisle will be constructed in phase 1. Retention for phase 1 will be handled by retention basins within the landscape track along the roadways. If additional retention is needed, a temporary basin will be constructed adjacent to phase 1.

Subsequent development will be phased accordingly, with landscaping, roadway improvements, retention and utilities constructed as required by each phase. Details of each will be provided at site plan approval. Final retention will be handled by retention basins located throughout the Property, with the addition of underground storage if necessary.

VII. Development Plan Approvals

1. Land Use Development Map

The Proposed Land Use Development Map (the "Development Map") is included as **Figure 3**. The Development Map identifies the two distinct areas: a 25.2 acre Office Park and a 17.5 acre Mixed-Use Commercial District.

2. Master Site Plan

A Master Site Plan for all areas of development shall be required. In no event shall a Master Site Plan encompass less than five (5) gross acres. All Master Site Plans shall be reviewed by the Planning Commission and approved by the City Council.

3. Individual Site Plans

All individual site plans shall be in conformity with this PAD and Zoning Ordinance of the City of Avondale. In instances where requirements of the PAD and the Zoning Ordinance differ, the PAD shall govern.

Individual site plans within the Office Park sub-area shall be reviewed by the Planning Commission and approved by the City Council. Prior to or concurrent with the first individual site plan, the following master plans shall be submitted for the Office Park sub-area for staff review and approval: master grading and drainage plan, master water and sewer plan, master landscape and streetscape plan, master infrastructure phasing plan, and master sign package.

A master site plan and a master sign package for the Mixed Use Commercial Area shall be submitted for City Council review and approval prior to or concurrent with the first individual site plan for the area.

4. Subdivision Plat

A subdivision plan will be prepared for City Council review and approval prior to the issuance of a certificate of occupancy in the Office Park sub-area.

5. Amendments

As each area develops, the Development Map or Master Site Plan may need to be amended or updated. Areas submitted in one Development Map or Master Site Plan may be amended by inclusion in a subsequent Development Map or Master Site Plan.

A. Changes to the Development Map shall be governed by Section 605 of the Zoning Code regarding amendments to the PAD.

B. Changes to Master Site Plans that: (i) increase overall traffic by more than twenty percent (20 %); (ii) increases building square footage by more than twenty percent (20 %); or (iii) alter the character of the Land Use Development Map (including significant changes to approved building architecture or materials) will be considered Major Amendments, and shall be reviewed by the Planning Commission and approved by the City Council. All other changes are Minor Amendments and shall be reviewed

and approved administratively by Staff. The property owner may appeal Staff decisions on minor amendments to City Council.

VIII. Land Uses

1. Mixed-Use Commercial District

The Mixed-Use Commercial District includes approximately nineteen and a half (19.4) gross acres of the eastern half of the Property as shown on **Figure 3**. The purpose of this district is to provide a mix of office, hotel, commercial, and residential uses to promote quality businesses, regional shopping, restaurant, and hotel development that will serve the existing and future residents in the region and will support the adjacent Office Park area. Office employment and hotels are allowed with limited retail and service uses in freestanding or multi-tenant building. Multi-family residential dwellings are allowed, subject to a conditional use permit, if they are vertically integrated with permitted uses in a multi-story building.

A. Permitted Uses

- Professional, administrative, corporate, or business offices;
- Medical and dental, offices;
- Restaurants, delis, coffee shops and similar eating establishments (without drive-thru);
- Brewpubs, taverns, and cocktail lounges;
- Copy centers, travel agencies, ticket sales, mail centers and similar business services;
- Employment agencies;
- Hotels with meeting facility;
- Banks and similar financial institutions (without drive-thru);
- Retail sales of new merchandise, gross floor area limited to 60,000 square feet per individual user;
- Medical equipment and supplies, sales and service;
- Optician;
- Dry cleaning and laundry, drop off and pick up only, gross floor area limited to 1,000 square feet (without drive thru);
- Barber shops, beauty shops, nail salons, tanning salons, day spas, and similar personal service uses (not including massage, tattoo, and body piercing studios);
- Pharmacies in multi-tenant buildings (without drive thru);
- Massage therapy and physical therapy; and
- Sale of sundry and convenience items, gross floor area limited to 1,000 square feet (without drive thru).

B. Uses Subject to Conditional Use Permit

- Health and fitness centers;
- Banks and similar financial institutions (with drive-thrus);
- Restaurants, coffee shops, delis and similar eating establishments (with drive-thrus);
- Auto Rental and leasing (no rental vehicles stored on site);
- Retail sales of new merchandise, gross floor area greater than 60,000 square feet per individual user;
- Multi-family residential dwellings when integrated with other permitted uses and located above the first floor in a multi-story building; and
- Child Care Centers

C. Accessory Uses

- Outdoor dining;
- Parking structures; and
- ATMs.

D. Prohibited Uses

- Convenience stores;
- Gasoline sales;
- Automotive parts and supply, tire stores, auto repair and car washes;
- Freestanding pharmacies;
- Non-chartered financial institutions including check cashing services;
- Bail bondsman;
- Pawn shops;
- Plasma Centers;
- Thrift Stores;
- Outdoor storage of vehicles, equipment or materials;
- Outdoor display;
- Sexually oriented businesses;
- No more than two uses with drive-thrus; and
- Any use not expressly permitted herein.

All activities shall take place within enclosed buildings. There shall be no off-site impacts such as odor, dust, noise, vibration, discharge, or glare that would be objectionable or incompatible with nearby users.

2. Office Park

The Office Park includes approximately twenty-eight (28.2) gross acres of the western half of the Property as shown on **Figure 3**. The purpose of this district is to provide employment uses within a planned office district environment that provides for office and service uses with supporting restaurant, commercial, and

hotel. Office employment is the primary use. Limited retail and services are allowed if they are vertically integrated into multi-story buildings. Full service restaurants, hotels and brewpubs are permitted in standalone buildings. Residential uses are not permitted.

A. Permitted Uses

- Professional, administrative, corporate, or business offices;
- Limited retail sales of new merchandise and service uses if vertically integrated into multi-story buildings;
- Medical and dental, offices;
- Health clinics;
- Medical and dental laboratories;
- Research and development, medical research, high tech and bio-tech research and applied technology uses;
- Banks and financial institution without drive-thru;
- Full service restaurants without drive-thru;
- Brewpubs;
- Hotels and meeting facility;
- Public or private colleges, universities and business schools without on-site student housing, excluding trade or vocational schools;
- Child Care Centers in single story buildings; and
- Full service restaurants in single story buildings.

B. Uses Permitted within Multi-Story Buildings

- Dry cleaning and laundry, drop-off and pick-up only, gross floor area limited to 1,000 square feet (without drive thru);
- Copy centers, travel agencies, ticket sales, mail centers and similar business services;
- Self-service restaurants, coffee shop, delis and similar eating establishments (without drive thru);
- Taverns, Bars and Cocktail lounges;
- Employment agencies;
- Sales of sundry or convenience items, gross floor area limited to 1,000 square feet (without drive thru);
- Massage therapy, physical therapy;
- Optician;
- Medical equipment and office supplies;
- Pharmacies (without drive thru); and
- Office Supply stores, gross floor area limited to 5,000 square feet.

C. Uses Subject to Conditional Use Permit

- Surgery center;

- Emergency medical center;
- Medical equipment and supplies, sales and service;
- Banks and similar financial institutions within a multi-story building (with drive-thru); and
- Child care centers within a multi-story building.

D. Accessory Uses

- ATMs;
- Outdoor dining;
- Light Manufacturing, fabrication and assembly of small components when incidental to a permitted use; and
- Parking Structures.

E. Prohibited Uses

- Non chartered financial institutions including check cashing services;
- Bail bondsman;
- Pawn shops;
- Plasma centers;
- Thrift stores;
- Outdoor storage of vehicles, equipment or materials;
- Outdoor displays;
- Sexually oriented businesses;
- Vehicle rental and leasing; and
- Any use not expressly permitted herein.

All activities shall take place within enclosed buildings. There shall be no off-site impacts such as odor, dust, noise, vibration, discharge, or glare that would be objectionable or incompatible with nearby users.

IX. Development Standards

All development shall comply with the City of Avondale Zoning Ordinance unless modified in the PAD herein. In the event the text of the Zoning Ordinance and this PAD differ, the PAD shall prevail. These development standards shall apply to development within the PAD

1. Lot Development Standards

Minimum Lot Width and Area:	None
Setbacks:	
Front from McDowell Road	40' to parking, 30' to building
Front from all other streets	20' to parking, 20' to building;

Interior side	None (shall comply with building code)
Rear yard	None (shall comply with building code)
Freeway	20'- to building or parking
Maximum Building Height:	4 stories
Minimum Building Height:	Two stories for development within the Office Park, excluding freestanding restaurant buildings.
Lot Coverage:	No maximum subject to meeting minimum development standards including parking, landscaping, and setback requirements.

2. Lighting

In addition to the following requirements, all lighting of the sites shall comply with Section 707: *Outdoor Lighting*, of the City of Avondale Zoning Ordinance. Included at **Figure 7** is a Lighting Exhibit.

- Accent lighting of selected architectural, landscape and/or hardscape features will be allowed and is encouraged. Said lights shall be fully shielded.
- Exterior fixtures will be located and oriented to focus light inward from the edge of each parcel.
- All primary light fixtures shall be metal halide.
- The design of lighting fixtures and their structural support shall be of a scale and architectural design compatible with on-site buildings.
- Fixtures that illuminate large areas from a single source are prohibited.
- Pedestrian scale lighting features shall be provided in areas designed for pedestrian activities such as plazas, courtyards, pathways, and seating areas but excluding parking only areas. Such pedestrian lighting fixtures will complement the general architectural style of the development.
- The use of decorative wall-mounted sconces or light fixtures is encouraged.
- All lighting shall be directed down.

3. Screening

Where screening is required by development regulations, a combination of elements shall be used including solid walls, berms, and landscaping. The method of screening shall be architecturally compatible with the adjacent building in terms of materials and colors and shall be consistent with Sections 609.3 and 609.5 of the Avondale Zoning Ordinance. Trash enclosures, service facilities, and loading areas will be sited away from project entrances and major circulation aisles.

A. Parking Areas

All parking areas shall be screened from McDowell Road and 103rd and 107th Avenues by a minimum three (3) foot high wall, landscaping or a berm, or combination. Internal roads within the Property that will be dedicated as future public roadways will be screened consistent with the street cross-sections included at **Figures 10-13**. Screen walls shall be commercial grade and designed to complement the design of the adjacent buildings.

All parking areas adjacent to McDowell Road shall be screened from the right-of-way by a combination of landscape berm and screen wall. Walls may not be used for more than 25% of the total frontage of the parking lot along McDowell Road. This does not include screening of drive-thru lanes or other areas required to be screened by walls.

Although the Avondale Freeway Corridor Specific Plan (the "Specific Plan") requires screening along McDowell Road to be a minimum height of four (4) feet and screening adjacent to Interstate 10 to be six (6) feet, the applicant is proposing a minimum height of three (3) feet for all parking lot screen walls.

A height of three (3) feet has been proven to be a sufficient height in order to screen any vehicle headlights, and is a requirement by section 503 (D) of the Avondale Zoning Ordinance. A requirement for a taller wall is not consistent with the high density commercial nature of the Freeway Corridor.

McDowell Road has no unique features that would justify a taller screen wall. Additionally, a taller screen wall will detract from the unique, high-quality development planned on this Property. Attention has been paid to the landscaping and architectural design of the development, and additional screening will only detract from the quality of development

and create a walled-in tunnel affect in an area that is planned as a commercial, retail and employment core for the City.

Additionally, increased screening adjacent to Interstate 10 is not warranted or justified. Interstate 10 sits at a higher elevation than the Property, and approximately 250 feet away from the Property line. The service road north of Interstate 10 is approximately 150 feet from the Property line at the narrow point and separated by the ADOT retention basin. The Specific Plan also requires more extensive landscaping for parking areas along the freeway.

Due to the distance from the Property to the Interstate and service road, the elevation change, the speeds of the passing traffic and the increased landscaping requirement, a six (6) foot tall screen wall is not justified. Adequate screening will be accomplished by a three (3) foot screen wall along Interstate 10.

All concrete light pole bases shall be designed to match the standard set forth for the entire development.

B. Service Areas

To alleviate the unsightly appearance of service areas, service areas shall be screened with walls and landscaping. The minimum height of screening of service areas shall be six (6) feet and up to eight (8) feet as required for buildings. To provide additional screening of service areas from all public right-of-ways including Interstate 10, screen walls will be designed with common architectural features that help blend the area with the building design.

C. Utility and Mechanical Equipment

All roof mounted equipment, satellite dishes and ventilators projecting above the roofline shall be either fully recessed or screened by a building parapet. No secondary screen elements are allowed unless specifically complementary to the design of the overall building.

No wall-mounted equipment shall be permitted on the front or street sides of any building, except as necessary for hotels. Wall mounted equipment shall be made visually subordinate with architectural features that blend with the design of the main building.

Ground mounted electrical or mechanical equipment shall be screened from view by walls and/or landscaping. No ground-mounted equipment, other than those installed based on specific utility company criteria, shall be permitted between any street and building setback line

Service electrical system (S.E.S.) panels shall be recessed into the building elevation or screened with doors, landscaping, or a solid wall (with landscaping) built of similar building materials and colors of the main development and equal to or exceeding the height of the S.E.S. panel. These criteria shall be reviewed in context with utility company requirements and approved by Staff.

To the extent possible, ground-mounted utility cabinets will be placed where they do not conflict with prominent site views and where they can be screened from major streets and public areas. Cabinets and screen walls will be painted to match the principal structure.

D. Trash Enclosures

All trash or refuse collection areas shall be enclosed by a minimum six (6) foot wall. All gates shall be opaque and designed to complement the building architecture. Landscaping shall be included around the screen walls. No refuse collection area shall be permitted between any street and the building setback line. All trash enclosures will meet City of Avondale requirements.

E. Stair Wells

All stair wells will be enclosed within buildings or screened from view.

4. Walls and Fences

Walls shall be designed to complement the site's architecture. Landscaping used in combination with all walls is required. The Master Site Plan or Individual Site Plan application shall include a wall plan to show the approximate location and architectural theme of screen walls.

Walls and fences shall only be utilized for screening or security purposes. Walls shall not enclose individual parcels. Landscape buffers with a minimum width of six (6) feet are required between individual, separate development sites to provide a transition between uses as determined at the time of Master Site Plan review.

5. Parking

Parking shall be provided per Section 804, *Required Parking Schedule*, of the Avondale Zoning Ordinance except for those uses specified as follows:

Hotels	1 space per 1 rental room
Restaurant/Bar within Hotel*	1 space per 200 square feet
Banquet/Meeting Rooms within Hotel	1 space per 300 square feet
Residential	2 spaces per residential unit, 1 covered space required

*Additional parking is not required for a hotel restaurant/bar if it is completely internal to the hotel (no separate entrance) and has no signage on the exterior of the building.

The size of all parking spaces, driveways, parking lot islands, and other improvements in the parking areas shall conform to the City of Avondale Zoning Ordinance. For all parking lots directly adjacent and visible to McDowell Road, a minimum of 15% of the total parking lot area shall be landscaped.

Parking structures are allowed. Parking structures shall be designed to be architecturally compatible with the buildings including, but not limited to, the use of similar colors, materials, and architectural features.

Canopy or shade type parking structures are allowed, but will not exceed 12 cars in length in order to accommodate parking lot landscaping islands at the end of each row of parking. The design of the canopies shall be upgraded through the use of fascia skirts or upgraded details compatible with building architecture and columns painted to match the buildings. Under canopy lighting shall be screened to limit visual distraction from the surrounding environment. Canopies shall be cantilever-type. Canopy or shade structures will not be placed any closer than sixty (60) feet from the Property line along any public street frontage.

Special paving treatments shall be provided at site entrances into parking lots.

X. Landscaping

The goal of the landscape design will be to create a comfortably scaled development with tree lined streets and public spaces, provide a reflection of the architectural character, height and density of the buildings, and enhance the environment with color and excitement. The landscape plant material palette and landscape design will utilize Xeriscape principles to create a visually harmonious, water efficient landscape.

Individual parcel landscaping will enhance and acknowledge each site while complementing and unifying the overall development. All streets will be lined with a street theme tree with accent trees at various locations. Landscape cross-sections are provided at **Figures 10 – 13**, which identifies the type, size and density of landscaping along the street frontage. The Southern Live Oak, which is the City's street theme tree for McDowell Road will be used along McDowell Road.

A common landscape theme is provided per the palette and design. A common entry feature to include Palms, desert spoons and varied granite colors are provided to announce entries in order of importance, i.e. main, secondary and tertiary. These entrances will be clearly defined by the use of theme trees, groundcover and entry monuments designed to match the architectural theme of the shopping center.

The internal street theme consists of Southern Live Oak trees lining the street with Ruellia shrubs, color groundcover and various accents. This allows for street identity. Perimeter landscaping will consist of specimen trees, drought tolerant flowering shrubs, and groundcover planted in a random fashion. Additionally, a bermed buffer will be provided along the I-10 corridor per the Freeway Corridor Specific Plan.

Along McDowell Road, a streetscape was approved and installed prior to the adoption of the Southern Live Oak being selected as the McDowell Road street tree. It currently consists of an informal arrangement of Dalbergia, Desert Museum, Desert Willow, Mesquite and Sweet Acacia with shrubs and ground covers. The existing streetscape will be enhanced with the installation of the Southern Live Oak tree.

All plant materials shall be automatically irrigated with a 100% automatic, low volume drip emitter system. Irrigation run times shall be seasonally adjusted to maximize water use efficiency. The system shall be zoned for specific water use requirements, with all tree and shrub valve zones being controlled separately.

Plant materials were selected with consideration given to low water use, visual screening, air quality, shading and long term maintenance. Plants were selected from the Arizona Department of Water Resource Low Water plant list. The plant palette is provided as **Figure 9**.

In addition to the following requirements, all landscaping shall meet the minimum requirements set forth in Section 503: *Landscaping*, of the City of Avondale Zoning Ordinance. Individual parcels will be required to supplement any existing plantings in order to meet the required quantities.

Landscaping shall be used to frame and soften structures. All areas not covered by structures, walkways, plazas or parking areas shall be landscaped. As required by the Specific Plan, a minimum of fifteen (15) percent of the parking lot will be landscaped.

A combination of trees and groupings of large shrubs shall be planted adjacent to structures at the front, side and rear elevations to accomplish the following:

- Accentuate the building design;
- Minimize the impact of large wall surfaces;
- Provide a buffer between building and parking areas;
- Highlight building entrances; and
- Provide solar protection of glazed surfaces.

Trees that are 36-inch box or larger are encouraged at major focal points such as building entries and pedestrian gathering areas.

All plant materials shall be properly pruned to allow the plant to attain their natural shape and form. The irrigation system will be maintained to optimize water efficiency. Use of fertilizers shall be prudent to avoid excessive plant growth, thus reducing water need and unnecessary pruning. All dead vegetation shall be removed within 30 days and replaced.

All planting areas shall receive topdressing of ½-inch select Decomposed Granite as approved for the project development. Color and size of the materials shall be compatible with overall development design criteria. Decomposed granite used in the McDowell Road right-of-way shall match the decomposed granite color and size used in the McDowell Road medians.

If retaining walls in retention basins are necessary, they shall be terraced and landscaped to reduce their visual scale.

All retention basins that are visible from public streets and common open spaces shall be designed to avoid a "bathtub" or linear channel appearance. Highly visible retention basins should be contoured using berms and curvilinear design.

XI. Open Space and Amenities

Useable open space shall be provided in the form of outdoor sitting areas, pedestrian refuge areas, bench seating areas, outdoor plazas, courtyards, featured landscaped areas, walkways and paths. These open space areas shall be included on Master Site Plans as appropriate to project use. The separation of uses is required through placement of planters, street furniture, landscaping, different paving textures, and subtle changes in the ground plane.

The primary entrances to the development will be enhanced with a pedestrian focal point with landscaping and a decorative plaza. The primary entrances' enhancements will be reviewed and approved at with the Master Site Plan and Master Landscape & Streetscape Plan.

Each building shall provide at least one (1) pedestrian refuge area and outdoor plaza. Pedestrian refuge areas shall consist of a minimum of 50 square feet, one (1) seating bench, two (2) trees and six (6) shrubs. Shade canopies may be provided in lieu of trees. Each area shall be separate and distinct.

Each building shall provide at least one (1) outdoor plaza or courtyard. Each plaza or courtyard shall be a minimum of 500 square feet. Plazas or courtyards shall include landscaping, planters, specialty pavers or enhanced concrete, pedestrian seating areas, pedestrian scale lighting, on-site furniture and shade coverage.

Each building shall provide pedestrian walkways that interconnect with the outdoor plazas. Pedestrian walkways and paths shall have a minimum width of ten (10) feet. Five (5) feet shall be dedicated to landscape planting areas adjacent to the walkway and five (5) feet dedicated to the pedestrian walkway. Walkways or paths that traverse vehicle drive aisles shall be distinguished with specialty pavers or enhanced concrete.

Useable open space shall not include parking lot landscaping.

XII. Site Design

The Property will be designed and developed as a single harmonious development. Consistent architectural and design features will be applied throughout the development to create the sense of a single development. Building placement that creates opportunities for landscape features, plazas, courtyards, and/or outdoor dining is will be provided to help create pedestrian friendly connections. Setback areas may be used to provide space for such areas.

Although the Property contains two distinct areas, the two areas will be literally and visually connected with the use of sidewalks, pedestrian pathways, consistent signage, building colors, materials and design. The primary entrances will be upgraded to include enhanced landscaping, entrance features, signage to create a focal point. Secondary entrances will include many of the same design features on a reduced scale to portray the consistent nature of the development.

Pedestrian connectivity is important to the overall concept of the development. A pedestrian friendly environment will be created with the use of shade structures, landscaped walkways and connections throughout the development, combined with the reduced roadway widths and enhanced streetscape to create a unified, campus-like development.

Buildings are encouraged to be located at or near the front setback line or create a significant visual presence to the street.

XIII. Architectural Design

The provisions of this section seek to create an attractive, high quality mixture of architectural styles with primary emphasis on a corporate, office and business park appearance. Buildings shall utilize creative applications of materials, colors and textures.

The design of each building within the overall development, including complementary uses such as retail, restaurants and hotels, will be compatible through the use of common materials and colors while creating a strong individual identity consistent with their individual use and purpose. Overall design of the buildings shall not be restricted to only the architectural styles referred to in Section 609(4)(d) of the Zoning Code.

Materials and colors shall be approved by the City Staff at the time of Master Site Plan or Individual Site Plan review or during individual site plan review. A material board with complete preliminary specifications of finishes, color, and brochures on materials shall be required with Individual Site Plan applications. Included at **Figures 14 and 15** are representative images of the building architecture for both the Office District and Mixed-Use/Commercial District.

The desirable architectural design elements for these buildings include:

- Building modulation, indentations and architectural details;
- Building entry accentuation; and
- Four sided architecture.

All downspouts shall be internalized.

Windows and glazing areas should include a variety of shapes, insets, shading devices, accent mullions or other treatments that complement the overall building design.

Building entrances shall be emphasized through the use of building materials, architectural design and specimen landscaping.

The design of each building adjacent to the freeway should consider the speed and direction of travel on the adjacent freeway. Particular design emphasis should be placed on those sides of the building most visible to freeway traffic. False building facades may be used to promote the corporate image on large wall expanses or for non-administrative buildings on the most critical building sides.

Building entries shall be unique and easily identifiable to the pedestrian. Primary entries shall face on to and be oriented to the Boulevard, adjacent sites and transit stops.

1. Building Massing

The visual impact of a building depends not only on its size, but also on the relationship between its length, width and height. Also, such features as prominent entries, windows, color and materials are factors in the visual impression of a building.

Building wall articulation is required on the buildings with appropriate details and elements to help create pedestrian scale and a sense of quality.

Retail building frontages shall be pedestrian friendly by providing appropriate shading with the use of building overhangs, shade structures, trellis structures or landscaping.

Reduction of building mass may be achieved by using a combination of the following techniques:

- Variation in the rooflines and form;
- Use of ground level arcades and covered areas;
- Use of protected and recessed entries;
- Use of vertical elements on or in front of expansive blank walls;
- Use of pronounced wall plane offsets and projections;
- Use of focal points and vertical accents;
- Inclusion of windows on elevations facing streets and pedestrian areas;
- Retaining a clear distinction between roof, body and base of a building; and
- False second stories on multi-tenant commercial buildings in the Mixed Use Commercial District.

2. Roofs

All pitched-roof structures should be roofed with pre-cast “color-thru” flat concrete tile. Flat roofs shall be an earth-toned non-reflective material.

Variations in rooflines, one-way parapets or other significant roof or canopy forms shall be used to reduce the scale of commercial and industrial buildings. Roof size, shape, material, color and slope should be coordinated with the scale and theme of the building. Parapets for concealing flat roofs shall feature three dimensional cornice treatments or other similar details that enhance the building architecture. Where not used in conjunction with other roof elements, parapets should vary in height.

The size of all roof elements shall be appropriate to the size and scale of roofing materials used.

3. Elevations / Walls

Particular attention to detail shall be given to all sides of buildings so that the main architectural theme/style is articulated on all sides. Materials shall be carried from the main elevation throughout the entire design of the building.

A. Approved Exterior Wall Material: Common clay brick, granite, marble or other natural stone, concrete masonry units (provided that surfaces are painted, stained or have attractive exposed aggregate which must be approved as to color and texture) and shall have architectural relief, architectural metal, and stucco or plaster (synthetic systems simulating stucco or plaster are permitted) provided that finishes must be smooth, sand, or ceramic tile. Concrete may be allowed provided that the building is highlighted with architectural features that create a corporate image. All exterior wall materials and design shall be approved by City Staff.

B. Approved Exterior Wall Colors: All exterior walls shall be painted, stained, or integrally colored in non-reflective, neutral desert or earth tones. Accent colors found in the native desert palette are encouraged to provide design interest and diversity. All colors and combinations of colors, as well as color scheme for each elevation, must be reviewed and approved by the City of Avondale prior to construction.

C. Materials and Colors Not Permitted: Wood (except for very limited amounts of trim), exposed plain concrete block, corrugated metal and pre-engineered metal sided buildings are not allowed. Bright colors such as orange, red, blue, green, yellow, purple and the like (unless specifically approved for use as limited accents) are not allowed.

Representative images (**see Figures 14 and 15**) are attached to indicate a general level of quality and design for each district. These images do not relieve applicants of meeting any of the requirements of this PAD or other applicable ordinances or codes.

4. Entrances

All buildings shall have clearly defined customer entrance(s) incorporating elements such as:

- Canopies or porticos;
- Overhangs;
- Recesses/projections;
- Arcades;
- Raised corniced parapets over the door;
- Peaked roof forms;
- Arches;

- Entrance framed by outdoor pedestrian features or enhanced landscaping;
- Architectural details such as tile work and moldings integrated into the building structure to frame the entryway;
- Integral planters or wing walls that incorporate landscaped areas and/or sitting areas; and
- Enhanced pedestrian surfaces.

All buildings adjacent to McDowell Road shall have entryways that are unique and easily identifiable. Significant architectural faces of the buildings shall be oriented toward McDowell Road.

5. Drive-Thru Facilities

All drive-thru facilities shall appear as an integral part of the primary building including canopies, wing walls, or architecturally enhanced screen walls. Drive-thru windows shall not be located adjacent to a public street. The method of screening shall be determined at the time of Master Site Plan or Individual Site Plan review.

XIV. Sign Package

These guidelines will ensure design continuity and quality with the West 10 Corporate Center identification signage while allowing an individual projects' architectural uniqueness be applied through materials and finishes.

A master sign package will be submitted for review to the City of Avondale concurrent with the Master Site Plan review for each Sub-Area. Signage for the project is very important and will be unique based on the needs of the site of mixed-uses, and its various windows for signage. The window along I-10 is more than 2,400 lineal feet of frontage, similar is the McDowell frontage and 107th Avenue of approximately 500 lineal feet. This size of a project in respect to frontage, the types of uses proposed and its density make this a unique project to Avondale.

1. Theme and Image

West 10 Corporate Center will be developed with an awareness of the surrounding community, its proximity to other retail and commercial development and it's location within the designated freeway corridor district. Design for all signage elements in the hierarchy of the project will be developed for compatibility with, and accentuating architectural elements. This will include forms, massing, colors, materials, and finishes that complement—not copy the architecture.

2. Freestanding Signs

There will be several types of freestanding signs used throughout the West 10 Corporate Center. The use of these signs will range from project and tenant identification to the directing of traffic flow. These signs will vary in height and area but maintain a consistency through style, color and materials. Please refer to **Figure 20** for sign type conceptual designs. Please note that these designs are conceptual and are subject to change as further development of the project occurs.

Primary identification for the project will be established through the use of two (2) corner monuments. These corner monuments will identify the project, being specific to the use of that section of the site (office park or mixed-use commercial). One will be located at the corner of McDowell Road and 107th Avenue, and one at the corner of McDowell Road and 103rd Avenue. In the event that a hotel is located in the interior of the site off of 103rd Avenue, hotel identification will be incorporated into the corner monument at McDowell Road and 103rd Avenue. Signage will be up to eight (8) feet in height and shall not exceed one hundred (100) square feet. With the above exception in regard to hotel signage, these signs will serve as project identification only. Final locations and quantities of these signs will be addressed in the final master sign package.

Along with corner monuments, there will be three (3) entrance/multi-tenant monuments (two (2) for the office park, and one (1) for mixed-use commercial) for the project located at major entrances along McDowell Road and 107th Avenue. The office park signs will serve as project identification and list up to four tenants. These signs will be up to eight (8) feet in height and will not exceed one hundred (100) square feet. Mixed-use commercial, however, will identify the project and up to six tenants. This sign will be up to ten (10) feet in height and will not exceed one hundred (100) square feet. Final locations and quantities of these signs will be addressed in the final master sign package.

Two (2) freeway oriented identification pylons up to sixty-five (65) feet in height shall be located in the allowable freeway corridor location to identify West 10 Corporate Center and up to five tenants each. Being that the freeway frontage is long, and the complex has many uses, this number of signs is necessary to effectively identify the site and occupants therein. One (1) sign will be allocated for the Office/Business Park, and one (1) for mixed-use commercial and hotel if applicable. Consideration to height and legibility will be addressed to mitigate any obstructive views that site elements, DOT elements, other signage and offsite elements may impose.

Signage to identify hotels will be in the form of freestanding monuments. A primary identification shall be located at the hotel's main entrance off of 103rd Avenue. This sign shall not exceed six (6) feet in height and sixty (60) square feet. If necessary, a secondary monument shall be placed at a driveway entrance or adjacent to the hotel. One (1) of each of these signs per hotel project is proposed. Final locations, quantity and necessity of these signs will be addressed in the final master sign package.

Secondary building identification monuments will be used for multi-tenant office buildings throughout the site. These signs will be located on interior streets adjacent to building driveways and be limited to two (2) signs per building. Only the project and building name/address will be displayed on these signs. These secondary monuments shall not exceed five (5) feet in height and twenty (20) square feet. Final locations and quantities will be addressed in the final master sign package.

Project directory and directional signs will be developed to provide wayfinding throughout the forty-three (43) acre site. These signs are very important and will be designed to provide safe, efficient vehicular flow within the established design theme. Directories shall provide direction to specific destinations such as individual buildings, facilities, etc. If a building is a single user, that user's name will be allowed on directory signage. Other buildings will be identified by building/complex name or address. These will be placed at major decision-making points throughout the office park. Smaller directional signs shall provide directions to various locations throughout the site without using individual tenant/building names. The maximum height of project directories shall not exceed six (6) feet in height and thirty-two (32) square feet. The smaller directionals shall not exceed four (4) feet in height and twelve (12) square feet. Final locations and quantities of directory and directional signage will be addressed in the final master sign package.

For projects with drive through services, menu boards, ordering boards, they shall be per the City of Avondale Zoning Ordinance except that such signs shall be monument style.

3. Temporary Signage

Two temporary signs are proposed for the site at McDowell Road and 107th Avenue and at McDowell Road and 103rd Avenue. These signs will serve to identify the site, as well as give a contact number for additional information regarding the project. As the project develops, the various uses (and their locations within site) may change. These temporary signs define the project as a whole, still allowing it's individual elements to develop as needed. Constructed

of quality materials, these signs would be maintained and kept free of damage and graffiti until replaced by permanent signage. Details of the proposed temporary signs are included at **Figure 18**. A concept elevation for a temporary sign is detailed in **Figure 21**.

It is also proposed that temporary graphics be placed on the permanent structure that will ultimately be a freeway pylon sign. This is intended to give additional identification for the project and display contact information visible from Interstate 10. These graphics would be used and maintained until replaced by permanent signage information.

4. Building Signage

A. General Address Number

Address numbers are a critical method of wayfinding for the site. Numbers will be strategically placed for maximum visibility to traffic entering each development in the project. The numerals will be designed and located for visibility, recognition and safety. Future phases' building address numbers will be located in a similar manner and of similar material.

B. General Wall Signage

Tenant identification will be based on the type of use and site location within West 10 Corporate Center. With the complexity of the site layout, clear identification of the individual business will be a key component to an effective wayfinding system. A complete tenant building signage guideline shall be developed that ensures quality design, quality construction through any combination of the following types of signage, and that which is appropriate for the use:

- Internally illuminated, aluminum pan channel returns and retainers and colored acrylic faces;
- Halo-illuminated, aluminum reverse pan channel graphics/letters;
- Non-illuminated, aluminum reverse pan channel, or dimensional flat cutout graphics/letters;
- Aluminum plate or aluminum cast letters; and
- Custom, dimensional and/or architecturally integrated cabinets.

Raceway mounted signs and internally illuminated, acrylic faced box cabinets will be strictly prohibited.

C. General Size and Area

The overall area and sizes of building signage shall be designed to be proportional with the architecture.

Standard design proportions to 70% of the overall height and 80% overall length of building fascia area shall be used. Sign fields shall be delineated at the time of Final Site Plan review for each individual site.

Maximum letter heights for the various locations and uses will also be established for good signage visibility based on street frontages, building heights, and incorporating tenants corporate identification standards. Such maximum letter heights shall be established at the time of Master Site Plan review.

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FIGURE 1
VICINITY MAP

Lots 3 and 4 of Section 5, Township 1 North, range 1 East, of the Gila and Salt River Base and Meridian, Maricopa County, Arizona.

EXCEPT any portions lying Westerly and Southerly of the following described line:

Commencing at the Northwest corner of said Section 5;

THENCE South 00 degrees 15 minutes 35 seconds East, along the West line thereof, a distance of 539.97 feet to the point of beginning;

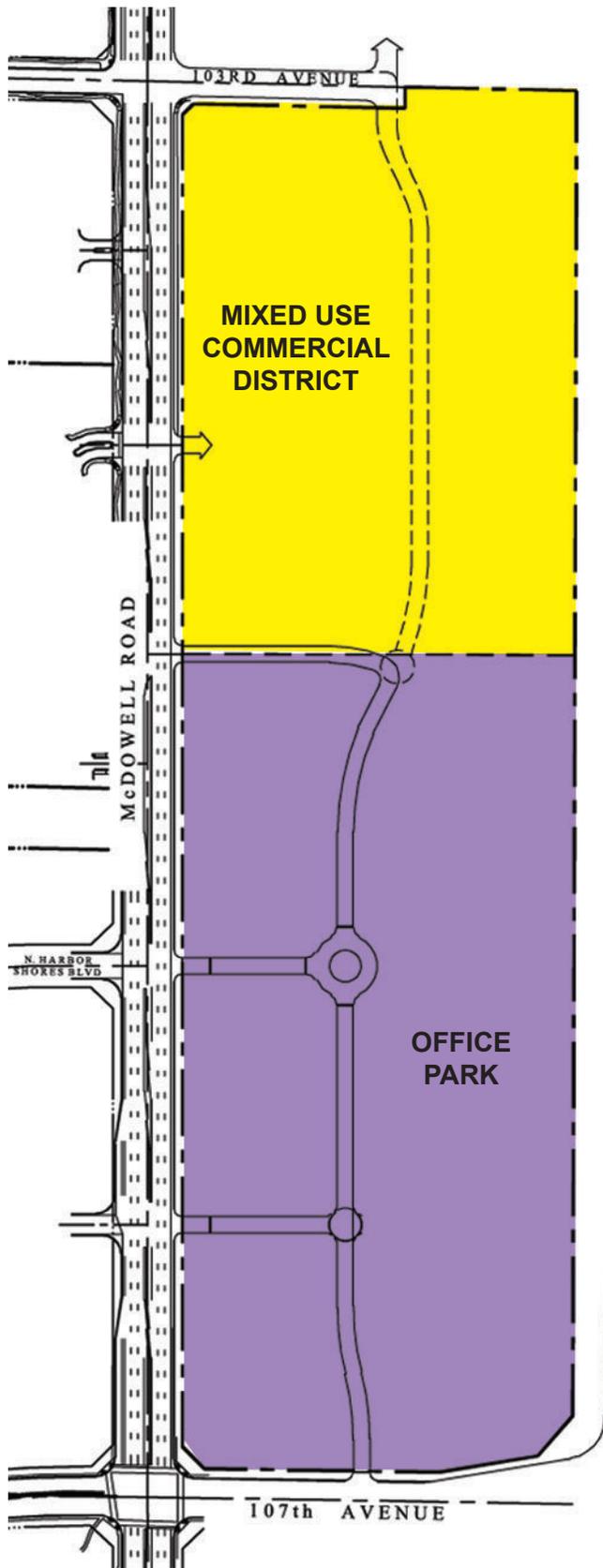
THENCE North 89 degrees 44 minutes 25 seconds East, a distance of 55.00 feet;

THENCE South 10 degrees 31 minutes 07 seconds East, a distance of 187.67 feet;

THENCE South 50 degrees 46 minutes 18 seconds East, a distance of 99.22 feet;

THENCE North 88 degrees 58 minutes 31 seconds East, a distance of 2473.28 feet; more or less to a point on the East line of said Lot 3 and the point of ending.

Area = 2,072,870.00 SF or 47.5866 Acres.



Total Site Area
Gross: 47.6 acres
Net: 42.6 acres

Office Park Site Area
Gross: 28.2 acres
Net: 25.2 acres

Mixed Use Commercial District Site Area
Gross: 19.4 acres
Net: 17.4 acres



FIGURE 3
LAND USE DEVELOPMENT MAP

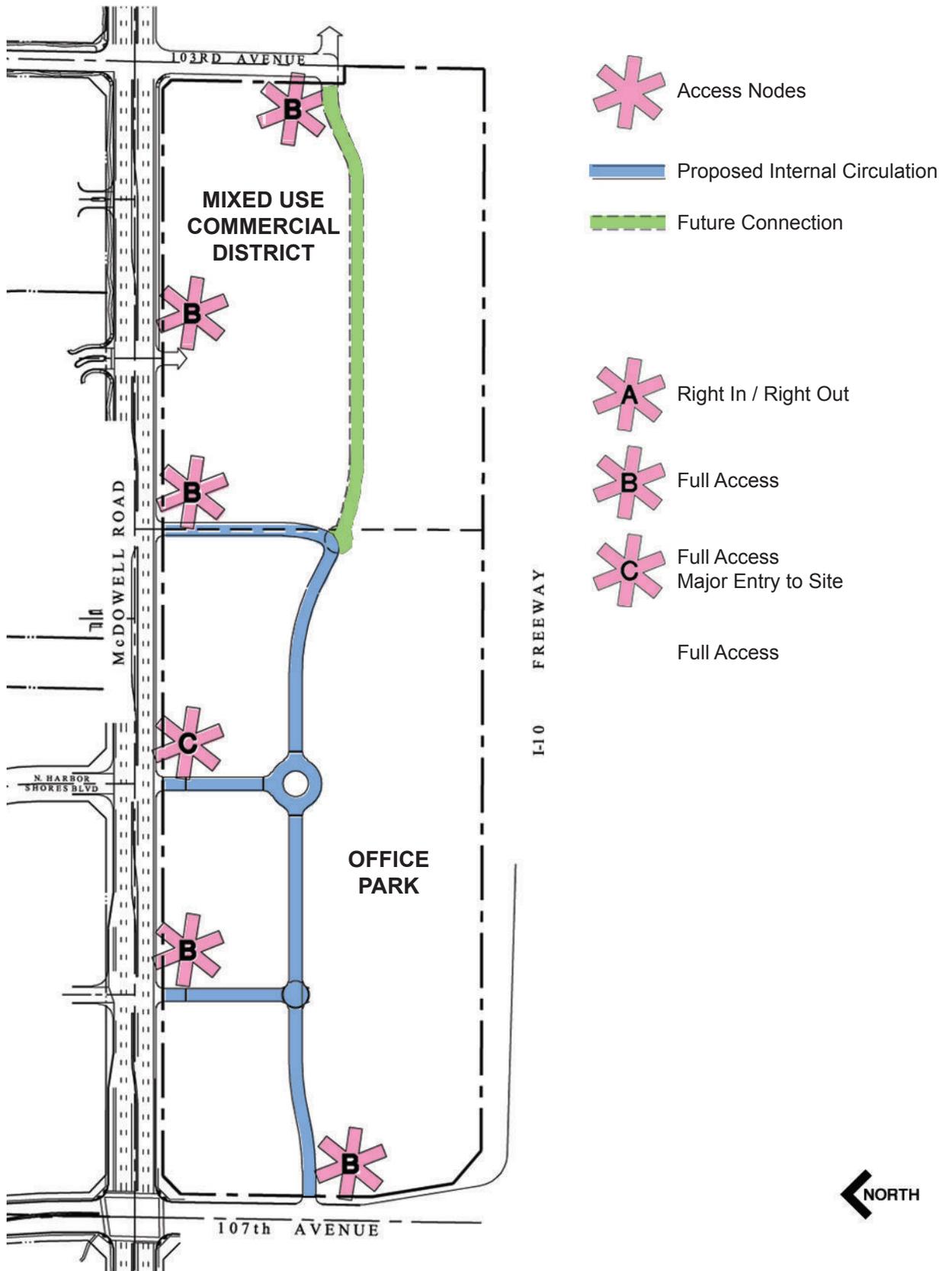
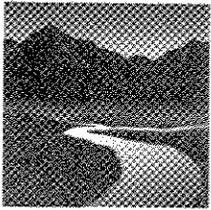


FIGURE 4
ACCESS NODES AND ON-SITE CIRCULATION



City of
Avondale

Exhibit K

Services
Suite 110
323-6806
478-3330

Fax: (623) 478-3824

Website: www.avondale.org

February 23, 2006

Mr. William Lally
Withey, Anderson and Morris PLC
2525 E. Arizona Biltmore Circle, Suite A-212
Phoenix, AZ 85016-2133

RE: West 10 Corporate Center Rezoning, Z-05-15
City Council Approval

Dear Mr. Lally:

I am pleased to inform you that on February 21, 2006 your request to rezone approximately 43 acres located at the southeast corner of 107th Avenue and McDowell Road was approved by the City Council subject to the following stipulations:

1. Development shall be in substantial conformance with the "West 10 Corporate Center PAD Submittal" dated received February 14, 2006 except as modified by these stipulations.
2. The required development standards shall be as shown in the "West 10 Corporate Center PAD Submittal" dated received February 14, 2006 except as follows:
 - a. Building height shall be limited to four stories; provided, however, that if the City of Avondale Freeway Corridor Specific Plan is subsequently amended to allow building heights greater than four stories in the Corridor Entry Areas, the building height may be increased to the maximum allowed by the Specific Plan.
 - b. Child care centers may be located in single story buildings in the Office Park sub-area.
3. The allowed land uses in the "Office Park" sub-area shall be as shown in the "West 10 Corporate Center PAD Submittal" dated received February 14, 2006 except as follows:
 - a. Permitted Uses:
 - i. Delete "Limited retail sales of new merchandise and service uses if vertically integrated into multi-story buildings"

- ii. Delete “Child Care Centers in single story buildings”
 - iii. Delete “Banks and similar financial institutions without drive-thru”
 - b. Uses Permitted within Multi-Story Buildings
 - i. Add “Banks and similar financial institutions (without drive-thru)”
 - c. Uses Subject to Conditional Use Permit
 - i. Delete “Child Care Centers within a multi-story building”
 - ii. Add “Child Care Centers”
 - iii. Delete “Banks and similar financial institutions within a multi-story building (with drive-thru)”
 - iv. Add “Drive thru facilities for banks and similar financial institutions within a multi-story building.”
 - d. Accessory Uses
 - i. Add “Retail sales when incidental to a permitted office use”
- 4. Under no circumstances will more than two uses with drive-thrus be approved in the “Mixed Use Commercial” sub-area.
- 5. To the extent allowed by law, all Type 1 and Irrigation Grandfathered Groundwater Rights appurtenant to the property shall be properly extinguished and the resulting Assured Water Supply credits pledged to the City of Avondale’s account at the Arizona Department of Water Resources (ADWR) prior to the issuance of any building permits.
- 6. The developer shall allocate any surface water rights to the City prior to the issuance of any building permits.
- 7. The developer shall abandon any existing registered or unregistered wells using the Arizona Department of Water Resources (ADWR) well abandonment rules prior to the issuance of any building permits.
- 8. A traffic study for the entire property shall be submitted for review and approval by the City Engineer prior to any site plan approvals.
 - a. Left turn access from McDowell Road shall only be allowed if the traffic study demonstrates that adequate vehicle stacking will be available on McDowell Road.

- b. Access from 107th Avenue shall be limited to right-in and right-out movements only unless the traffic study demonstrates that full turning movements can be made safely without adversely affecting the flow of traffic.
9. Individual Site Plans within the Office Park sub-area shall be reviewed by the Planning Commission and approved by the City Council.
10. The following master plans shall be submitted for the “Office Park” sub-area for staff review and approval prior to or concurrent with the first Individual Site Plan submittal:
 - a. Master Grading and Drainage Plan
 - b. Master Water and Sewer Plan
 - c. Master Landscape and Streetscape Plan
 - d. Master Infrastructure Phasing Plan
11. A Master Sign Plan for the “Office Park” subarea shall be submitted for staff review and approval prior to the issuance of any sign permits for this subarea.
12. A Master Site Plan for the entire “Mixed Use Commercial Area” shall be submitted for City Council review and approval prior to or concurrent with the first Individual Site Plan. Individual Site Plans shall be approved administratively once the Master Site Plan has been approved.
13. A Master Sign Plan for the “Mixed Use Commercial Area” shall be submitted for staff review and approval prior to the issuance of any sign permits in this subarea.
14. Access to McDowell Road and 107th Avenue shall be limited to the locations shown on the “Access Nodes and Onsite Circulation” exhibit (Figure 4) in the PAD submittal. Direct access to individual parcels from McDowell Road and 107th Avenue shall not be permitted. Cross access easements between parcels shall be required as determined at the time of Site Plan approval.
15. All internal streets and drives shown on the “Access Nodes and Onsite Circulation” exhibit (Figure 4) in the PAD submittal shall be privately owned and maintained.
16. A note shall be added to the Final Plat and the Covenants, Conditions, and Restrictions stating the Property Owner’s Association shall be responsible for the maintenance of all private drives including repaving the private drives after a water or sewer line leak or break is repaired.

17. A subdivision plat shall be submitted for City Council review and approval prior to the issuance of a certificate of occupancy for the first building in the Office Park area.
18. The developer shall be responsible for 50% of the cost of a traffic signal at the intersection of North Harbor Shores Boulevard and McDowell Road unless a warrant study provided by the developer and acceptable to the City Engineer determines that a traffic signal will not be needed. Payment shall be made prior to recordation of the Final Plat.
19. The primary entrances to the development from McDowell Road, 107th Avenue, and 103rd Avenue shall be enhanced with additional landscaping and decorative features as determined at the time of Master Site Plan and Master Landscape and Streetscape Plan approval.
20. Signs shall conform to the West 10 Corporate Center development plan and narrative dated received February 14, 2006, except as follows:
 - a. A maximum of two freeway pylon signs shall be permitted.
 - b. Temporary corner monument signs shall not be permitted. Temporary signs may be used to market the future development of the Office Park and Mixed Use Commercial areas. The number, size, and location of these signs shall be determined by staff through the temporary sign permit process.
 - c. Temporary graphics on the freeway pylon sign shall be limited to one sign panel.
 - d. The corner monument signs shall be redesigned to create a major visual statement as determined at the time of Master Sign Plan approval.
21. The location of the public utility easements shall be determined at the time of Master Infrastructure Phasing Plan and Master Site Plan review.
22. Temporary retention basins shall not be permitted unless specifically approved at the time of Master Grading and Drainage Plan approval.
23. The timing of the internal road improvements within the Office Park subarea shall be determined by the Master Infrastructure Phasing Plan. All adjacent roadway improvements shall be completed as each parcel develops unless otherwise approved by the Master Infrastructure Phasing Plan.
24. All building stairwells shall be enclosed.
25. The overall design of the buildings shall reflect a southwestern architectural theme as required by Section 609 of the Zoning Ordinance.

26. All parking lot screen walls shall be installed adjacent to the parking lot.
27. The private street cross section shall be approved with the Master Infrastructure Phasing plan and include the following:
- a. Landscape medians at the primary entrances with a minimum width of 10 feet and a minimum length of 50 feet.
 - b. A sidewalk shall be provided along both sides of the private street in the Office Park subarea to facilitate pedestrian movement. One or both sidewalks may be omitted if a Master Pedestrian Plan is submitted prior to or concurrent with the Master Infrastructure Phasing Plan that demonstrates to the satisfaction of staff that adequate east-west pedestrian circulation will otherwise be provided.
 - c. Public utility easements, street lights, and sidewalks shall be accommodated within the area designated for the roadway use.
 - d. A minimum landscape area adjacent to all internal roadways of 20 feet shall be provided.
28. The overnight parking of semi-tractor trailers shall be prohibited.

The public hearing sign can now be removed from the property. Please have the sign removed within seven days of the date of this letter.

It has been a pleasure working with you on this project. Please let me know if you have any questions or concerns.

Sincerely,



Connie Randall
Planner II

Enclosure: Approved PAD Development Plan and Narrative, dated February 14, 2006

C: File Z-05-15
Mike Smith, Engineering Department
Ken Sowers, Building Division

Excerpt of the Draft Minutes of the regular Planning Commission meeting held July 17, 2008 at 6:00 p.m. in the Council Chambers.

COMMISSIONERS PRESENT

Linda Webster, Commissioner
Angela Cotera, Commissioner
David Iwanski, Chairman
Edward Meringer, Commissioner
Michael Demlong, Vice Chairman
Alan Lageschulte, Commissioner

CITY STAFF PRESENT

Brian Berndt, Development Services Director
Dean Svoboda, Long Range Planning Director
Ken Galica, Planner II, Development Services Department
Kelly LaRosa, Traffic Engineering Department
Scott Wilken, Senior Planner, Development Services Department
Rogene Hill, Assistant City Manager
Chris Schmaltz, City Attorney

APPLICATION NOS. Z-07-16

APPLICANT: Mr. Scott Daniel
Leo A. Daily Architects
3344 E. Camelback Road, Suite 200
Phoenix, AZ 85018

PROPERTY OWNER: Parkland Development
10320 W. McDowell Road, Suite B-2008
Avondale, AZ 85392

REQUEST: This is a request for master site plan approval of Park 10, located at the southwest corner of 103rd Avenue and McDowell Road. Staff Contact: Ken Galica

Ken Galica, Planner II, Development Services Department, stated Item DR-07-37 is a request for master site plan approval for a 16.5 acre site called Park 10. In addition to requesting master site plan approval, the applicant is also requesting final site plan approval for the Hyatt Summerfield Suites and Hyatt Place hotels. The property is located at the southwest corner of McDowell Road and 103rd Avenue, currently zoned PAD, and it is part of the West-10 PAD approved in 2005. The approved zoning allows for a mix of office, hotel, and commercial uses on this portion of the property. The property is bordered by I-10 to the south, an office park subarea of the West-10 PAD to the west, and a PAD to the east with an expired development plan. The owner of the property to the east is currently in the process of entitling the property to allow for a similar hotel and retail development. The property to the north is two existing and complete developments, the Aventura Apartment Community and the Gateway Office Park.

Mr. Galica relayed that the site plan includes 10 buildings: two hotels, four restaurants, and four retail buildings. The aggregate floor area for the site plan totals 225,347 square feet. The applicant is not requesting final site plan approval for any of the retail or restaurant buildings at this time. The Hyatt Summerfield Suites is a four-story, 90,000 square foot building containing approximately 125 guest rooms, an outdoor pool area, and restaurant and conference facilities. Hyatt Place is a six-story, 127 room hotel.

Primary access to the development is obtained via a private, soon-to-be-signalized boulevard entrance aligned with the existing entrance to Aventura Apartments and will allow full turning movements. Three

additional access points are provided: a right-in/right-out driveway along McDowell at the northwest corner; a full-movement access at the midpoint off of 103rd Avenue; and a right-in/left-out driveway at the southeast corner of the site. The site features north/south and east/west running spine roads which intersect in front of the Hyatt Summerfield Suites. The east/west spine road will connect to the future Office Park subarea and carry traffic out to 107th Avenue. These private streets will function like a public collector street to allow traffic to move throughout the site. 874 parking spaces are provided, which meets requirements of the Zoning Ordinance, the PAD, and the ADA requirements.

Mr. Galica stated the landscape plan features a mix of Acacias, Thornless Cascalotes, Sissoos, Desert Museums, Heritage Live Oaks, and Date Palm trees. 72,000 square feet of landscaping and hardscaping is provided for the pedestrian areas, triple the amount required by the PAD. The overall site features approximately 40,000 square feet of usable open space for use by pedestrians on the site. Approximately 75% of the open space is provided in the vicinity of the retail buildings to include plazas with landscape planters, fountains, seating, pedestrian lighting, and other features designed to enhance the appearance. Scored, colored concrete is utilized at driveway entrances and at internal intersections. Pedestrian sidewalks are provided interior to the project.

The proposed architecture for both hotels is contemporary and uses frequent changes in wall planes designed to create shadowing and add horizontal interest. The materials and color schemes chosen are muted and feature sandstone, trendstone with exposed aggregate, six shades of earth-toned stucco, and anodized aluminium accents. All four sides of the buildings have been treated with the full range of materials and feature variation in parapet height to break up the roof form and highlight the verticality of the buildings. Three colors of glass have been provided to provide additional variety.

The restaurants and retail buildings will be required to utilize the colors and materials from the materials palette submitted and approved. These future phases will be expected to incorporate the themes of the first phase. Mr. Galica noted that this PAD was approved when the City preferred earth tone colors.

Staff finds that the site plan meets all required findings and recommends approval with 21 stipulations. The majority of the stipulations are standard, and several pertain to the phasing of the project. Mr. Galica pointed out that the applicant and City Traffic Engineer are still working to resolve some minor issues with the project's traffic study. It is anticipated that these required revisions will not have any major impact to the design of the site as presented. Stipulation No. 21 requires that the revisions be completed and approved by the City Engineer prior to Council approval.

Chairperson Iwanski invited questions and comments. He stated he always makes sure bus bays and bus shelters are provided, and he thanked the City Engineer, as he sees one is provided at the main entrance.

Vice Chair Demlong asked if all roadway landscaping would be required in phase one. Mr. Galica replied that everything adjacent to a public right-of-way will be required as part of phase one.

Vice Chair Demlong asked how the ground would be treated for the future phases. Mr. Galica stated it has not been stipulated that the ground be treated with decomposed granite. Staff has heard several times that that is an undue cost to the applicants. Therefore Staff has not broached this topic with this application. The Commission can add a stipulation regarding ground treatment if they desire. Vice Chair Demlong stated in other requests he has seen the requirements for screened gravel on all phases to be developed in the future; otherwise, it becomes a tumbleweed and dust trap. Mr. Galica explained that Staff is trying something new in response to comments heard previously by the Commission. He reiterated that the Commission can add that stipulation and Staff would support that.

Vice Chair Demlong asked if the height of the sign pylon is less than or equal to the height of the highest hotel. Mr. Galica responded that the freeway pylon sign of 65' is allowed by the PAD. Vice Chair Demlong asked how that sign height compares with the auto dealer across the street. Mr. Galica replied the Auto Mall has a 75' freeway pylon sign.

Vice Chair Demlong voiced a concern about traffic problems on the site, but stated if Staff assures him everything is under control, he will trust Staff.

Commissioner Cotera stated she was concerned about adding another signal light on McDowell Road so close to 103rd Avenue. It takes a long time to drive down McDowell Road because there are lights every 10 car lengths. She does not think the parking lot in the extreme northwest area of the property is convenient, and asked if the planners really think that parking lot will be utilized. She asked what restaurants are expected. Mr. Galica replied that staff had not been made aware if any tenants were lined up at this time. The restaurants are shown as full service, non-drive-through restaurants. In response to Commissioner Cotera's question regarding the parking area on the northwest quadrant of the site, Mr. Galica reported that there is something in the works on the property to the west which will share this parking area that Commissioner Cotera is concerned about.

Kelly LaRosa, Traffic Engineering Department, reported that the traffic signal warrant analysis has been completed. Because so much traffic will be generated on the site, a traffic signal is required. Without the signal, all of the traffic that would want to turn left out of the site would have to use 103rd Avenue, and the stacking on 103rd Avenue would be so long as to be inefficient. The developer has agreed to fully fund the signal.

Commissioner Cotera asked if there would be a timing analysis done after the traffic light is installed. She noted that with more lights, people tend to cut through properties. She hopes that the timing of the new signal will be such that one can drive down McDowell Road without having to stop every 40 feet for 5 minutes.

Commissioner Meringer asked if the interior roadway coming out at 103rd Avenue will go to Gateway Crossing. Mr. Galica reported that the roadway will not go to Gateway Crossing, but eventually that connection may exist through the property to the east.

Chairperson Iwanski invited the applicant to address the Commission.

Bill Lalley, Withey Morris, PLC, described the project and showed the Commission slides. He reported that the PAD was approved about three years ago. The owner of the property has been very patient, and over the last three years he has assembled a very high-end team of consultants and architects to make sure that the design reflects what was anticipated in the original PAD. He stated they would continue to work with Staff. He noted they are providing three times the amount of landscaping required and they will bring in the type of quality that everyone envisions. They are happy to have the Hyatt name brand and Hyatt loves the plan. He stated the comprehensive sign package is consistent with the original PAD and the 65' freeway pylon is consistent with the original PAD. Their hope is that once they have master site plan approval, all of the phases will follow in close succession, but there may be vacant lots for a time. They hope to attract high quality, sit-down restaurants. They will make sure that the remainder of the site looks good. They request to work with Staff on the stipulations. Mr. Lalley assured the Commissioners that they take pride in the site and the undeveloped parcels will look as good as they can in between development phases. He pointed out that the traffic lights and location of spine roads are major issues that have driven the timing of the project. He noted for the Commission that they are very close to potentially losing the Hyatt, and they want to make sure that the hotels stay on the property. They are confident they can work with Staff on any minor traffic issues.

Chairperson Iwanski invited questions. He asked with the hotels planned, is there a specific customer demographic the applicant is looking for, such as business travelers, families, etc. Mr. Lalley replied that it is hard to speak on behalf of Hyatt, but he knows the location of the project is very important to them and they have taken into account the customer demographics. They expect a lot of business travel being close to the freeway, the airport, and spring training. The Hyatt brand name has been known for a higher quality product and he believes the hotels will cater to a higher quality demographic.

Commissioner Meringer stated that attendees of PIR twice a year would fill the hotels. He thinks it would be really nice to have the Hyatt to compliment the Hiltons across the freeway. He does not know what the

City Center Plan will have as far as hotels, but he believes the hotels will be greatly appreciated in this location.

Vice Chair Demlong stated it is wonderful to have this high quality product and thanked the applicant for choosing Avondale. He asked what percentage of the 16.5 acres will have concrete, asphalt or planters. Mr. Lalley stated he did not know off the top of his head, but could say they are providing triple the amount of landscaping and that has eaten up a lot of surface area.

Vice Chair Demlong asked if all the parking lots and planters would be developed in phase one. Mr. Lalley stated that phase one will include Hyatt Summerfield Suites, and the drive aisles will be included, as well as the landscaping and sidewalks adjacent to the drive aisles. The remaining phases that are not part of the specific site plan request tonight will have to come back for administrative review. The phasing will be consistent with the City's vision for making sure that there is dual access, proper landscaping, and nothing that looks unfinished or half done.

Vice Chair Demlong stated his concern is having dirt lots with tumbleweeds. He thanked the applicant for bringing the project to Avondale.

Chairperson Iwanski invited further questions, and hearing none, called for a motion.

Vice Chair Demlong **MOVED** that the Planning Commission accept the findings and recommend approval of application DR-07-37, a request for master and final site plan approval for the Park 10 development, subject to the stipulations recommended by Staff. Commissioner Meringer **SECONDED** the motion.

1. Development shall be in general conformance with the Project Narrative and Photometric Plan date stamped May 23, 2008, and Site Plan, Landscape Plan, Elevations, Materials Boards, and Comprehensive Sign Plan date stamped June 24, 2008, except as modified by these stipulations.
2. The plan approval expires in one year from date of approval unless a building permit has been issued.
3. Prior to issuance of the first civil permit, the developer shall provide a contribution for traffic medians in McDowell Road. The amount of the contribution shall be based upon the developer's estimate and confirmed by the City Engineer.
4. A final plat for Park 10 must be approved by City Council and recorded prior to issuance of a Certificate of Completion or Certificate of Occupancy for any building on site. The plat will create the subject parcel and dedicate all required right-of-way.
5. To the extent allowed by law, all Type 1 and Irrigation Grandfathered Groundwater Rights appurtenant to the property shall be properly extinguished and the resulting Assured Water Supply credits pledged to the City of Avondale's account at the Arizona Department of Water Resources prior to recordation of the final plat.
6. All off-site improvements, including landscaping within the right-of-way, shall occur as part of the first phase.
7. Prior to the issuance of a Certificate of Occupancy for the first retail or restaurant building, the following improvements shall be completed:
 - The east-west spine road west of the phase 1 construction line.
 - The westernmost drive aisle between McDowell Road and the east-west spine road.
 - All improvements associated with the above-mentioned two drive aisles, including, but not limited to, landscaping, lighting, and pedestrian pathways.
8. All development shall be completed in accordance with the City of Avondale General Engineering Requirements Manual.

9. Signing & Striping Plans will be required to be submitted with Civil Improvement plans. Plantings shall be coordinated with the signing and striping plans so as not to block visibility of traffic control devices.
10. 103rd Avenue south of the primary entrance shall be barricaded until the Hyatt Place is completed or the project to the west develops, whichever occurs first. The method of barricading shall be approved by the City Engineer.
11. The east/west spine road shall be barricaded immediately west of the primary entrance to the Hyatt Summerfield until the remaining portion of the spine road is complete. The method of barricading shall be approved by the City Engineer.
12. The portion of the east-west spine road not completed during the first phase and the westernmost drive aisle shall be constructed with the first retail or restaurant building within the master site plan area. A Certificate of Occupancy shall not be issued until those internal drive aisles and associated improvements (landscaping, etc.) have been completed.
13. The landscape median at the primary McDowell Road entrance shall be widened to a minimum of ten feet. Trees shall be planted within the median to match the plantings on the east and west sides of that drive aisle.
14. Final landscape documents reviewed with construction plans must indicate the location of berms along McDowell Road.
15. Hydro-seeding of turfing areas shall be prohibited.
16. The decorative paving pattern used throughout the site shall be approved administratively at the time of construction plan approval.
17. Canopies with a minimum projection of 4 feet shall be provided over all exterior doorways in the Hyatt Summerfield and Hyatt Place buildings. The basis for the design of said canopies shall be the porte-cochere feature for each particular hotel. These canopies shall be shown on the final construction documents.
18. Final site plans for retail and restaurant buildings shall determine the final design of the publicly accessible pedestrian plazas. At a minimum, the plazas must contain the following items: pedestrian seating, trash receptacles, pedestrian lighting, canopied trees, and drinking fountains.
19. Two water features will be required in the pedestrian plaza area adjacent to the retail buildings. The final design of these features shall be approved with final site plans for the retail portions of the site.
20. Accessible pedestrian connections from the transit stop into the site shall be provided on the final plans.
21. The traffic study must be revised and approved by the City Engineer prior to City Council approval.

Chairperson Iwanski invited further discussion.

Vice Chair Demlong stated he purposely did not put in a stipulation about dust control because he is depending on Staff to work on this issue. He does not know if the City wants to let the County dictate what is done with untreated lots, or if the City will be more aggressive and go back to covering the areas with screened gravel. He would like to see the City go back to the more aggressive approach and he does not care if it is a foot of mulch or screened granite.

Vice Chair Demlong stated the issue of dust control is something that Staff and the Commission needs to work on. Mr. Galica replied that Staff will monitor this issue over time and over time will come to a better assessment.

Chairperson Iwanski stated Vice Chair Demlong has a good point.

Chris Schmaltz, City Attorney, interjected that the PM10 ordinance that all communities were required to adopt goes into effect later this year. In the future there may be application with regard to the dust control ordinance at the City level that would require some kind of dust control mitigation. Staff can certainly look at that and how it affects projects that are phased, and how dust control can be mitigated under the terms of the dust control ordinance.

Chairperson Iwanski called for a vote.

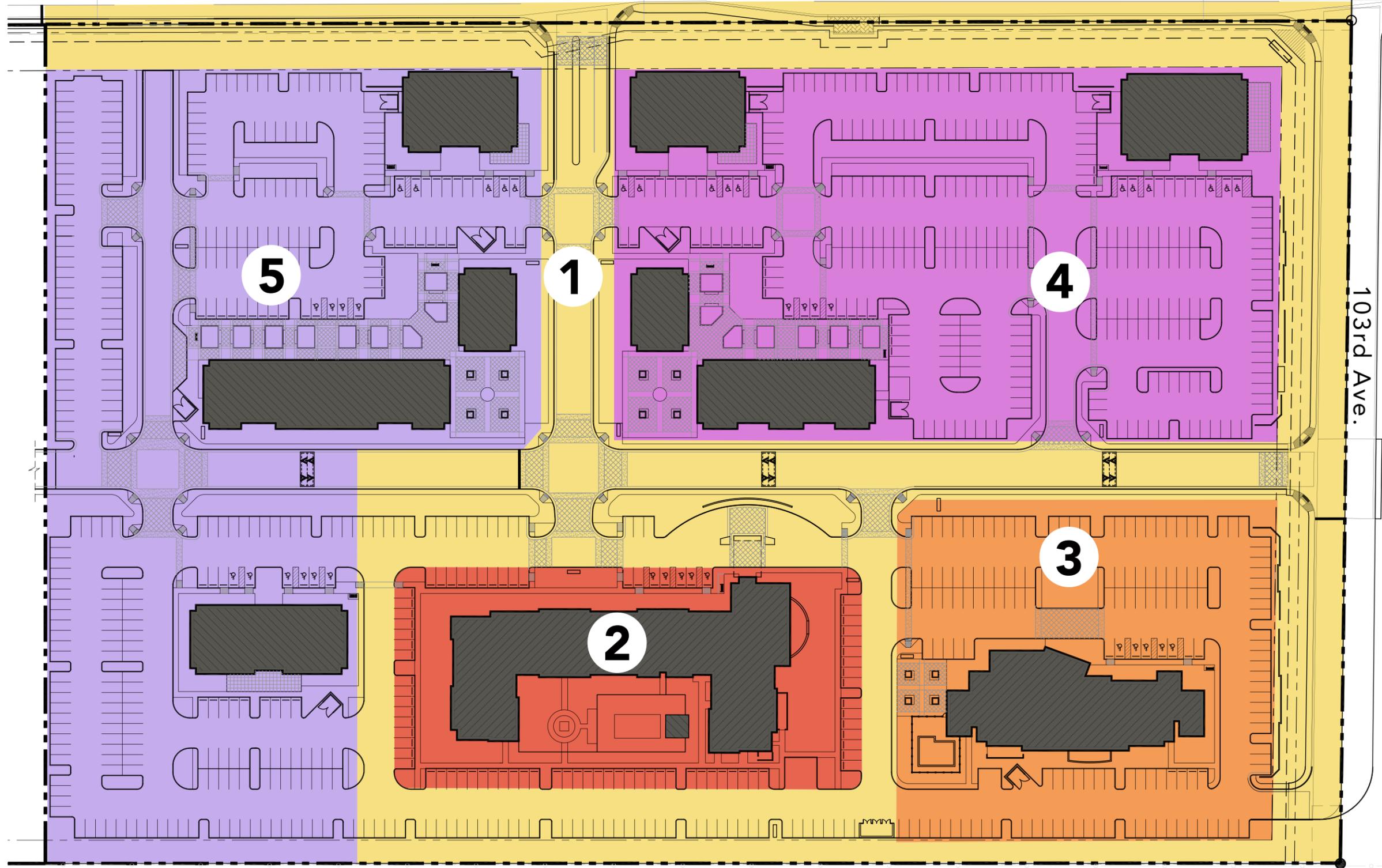
ROLL CALL VOTE

Chairperson Iwanski	Aye
Vice Chair Demlong	Aye
Commissioner Lageschulte	Aye
Chairperson Meringer	Aye
Commissioner Cotera	Aye
Commissioner Webster	Aye

THE MOTION PASSED UNANIMOUSLY.

Exhibit M

McDowell Road



P A R K 1 0
Avondale, Arizona



25' 0 25' 50'
SCALE: 1"=50'-0"

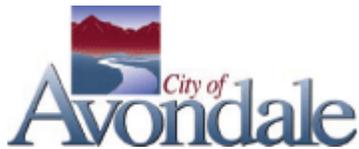
PHASING PLAN A
(1ST PHASE INFRASTRUCTURE)

July 23, 2008
JOB NO. 075-10101-000

Parkland Development
10320 W. McDowell Rd., Suite B2008
Avondale, Arizona 85392

PRELIMINARY DESIGN - NOT FOR CONSTRUCTION
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LEO A DALY
ARCHITECTURE | PLANNING | ENGINEERING | INTERIORS
SUITE 200, 3344 E CAMELBACK RD
PHOENIX, ARIZONA 85018
602.954.0818



DEVELOPMENT SERVICES

SUBJECT:
Master Site Plan Approval for Avondale Gateway
Offices – Parcel One

MEETING DATE:
August 4, 2008

TO: Mayor and Council
FROM: Brian Berndt, Development Services Director (623) 333-4011
THROUGH: Charlie McClendon, City Manager (623) 333-1015

REQUEST: Master Site Plan approval for Avondale Gateway Offices – Parcel One

PARCEL SIZE: 9.7 Net Acres

LOCATION: Northeast corner of Roosevelt Street and Hilton Way (Exhibits A and B)

APPLICANT: Mr. Mike Edwards

OWNER: Cavan Real Estate Investments

BACKGROUND:

The property was annexed into the City of Avondale on April 20, 1987 and zoned R-1 (One Family Residence). It was rezoned to PAD (Planned Area Development) on March 21, 1988, as part of a project called Tierra Business Park. The Tierra Business Park PAD development plan expired on March 21, 1990. A new development plan was approved for the property, now called Avondale Gateway, on June 20, 2005. The Avondale Gateway PAD (Exhibits J and K) allows for a mix of uses within its various sub-areas. The subject property is located within the Business Park sub-area which calls for office and enclosed industrial uses.

A development agreement to share infrastructure costs for Roosevelt Street was approved for Avondale Gateway in 2005 and amended in 2006. The terms of the development agreement have been satisfied.

Portions of the Avondale Gateway PAD have been master site planned and developed, including the Hilton and Homewood Suites hotels and the Ruby Tuesday restaurant. The subject parcel was not included in these previous master plans.

SUMMARY OF REQUEST:

1. The applicant is requesting master and final site plan approval for an office development on a 9.7 acre parcel located at the northeast corner of Roosevelt Street and Hilton Way. The property is located within the Business Park sub-area of the Avondale Gateway Planned Area Development.
2. The proposed site plan (Exhibit E) includes two Class A office buildings totaling 150,000 square feet in floor area. Specific information on each building is as follows:
 - Office A is a two-story, 60,000 square foot L-shaped building located at the northwest corner of the property. The building is 40'-8" tall at its highest point (150' maximum permitted). The building is designed so that it may be used by a single corporate tenant or several small to medium size tenants.

- Office B is a three-story, 90,000 square foot building located at the northeast corner of the property. The building is 54'-2" tall at its highest point (150' maximum permitted). Likewise, the building is designed to accommodate several small to medium size office tenants or a single, large-scale corporate user.

3. The lot development standards contained within the Avondale Gateway PAD require a minimum setback for buildings and parking areas of 20 feet. Additionally, the PAD does not limit lot coverage provided that the site plan meets all requirements for parking, landscaping, and setbacks. The proposed master site plan is in conformance with all applicable lot development standards.

4. Primary access to the development will be obtained via a private boulevard which bisects the site connecting Gateway Boulevard to Roosevelt Street. Secondary access to the site is provided by driveways located off of Hilton Way and 111th Avenue. All four access points will provide for full turning movements. The site offers two-way circulation throughout and is designed to accommodate fire trucks and other service vehicles.

5. The proposed site plan provides a total of 661 parking spaces of which 281 stalls are designated for the 60,000 square foot "Office A" and 380 stalls are designated for the 90,000 square foot "Office B". Of this total, fourteen are ADA accessible stalls and 228 are covered spaces. The proposal exceeds minimum Zoning Ordinance parking requirements for general office uses (1 space per 250 square feet of building) by 61 spaces and meets all applicable ADA requirements. Parking lot lighting is provided via 25 foot tall pole mounted fixtures. The parking area is screened by a combination of a three foot screen wall required to match the screen wall approved within the PAD and hedgerows. The hedgerows will be required to be three foot at the time of installation and will immediately function as a screening device.

6. The proposed architecture is contemporary and utilizes materials and colors traditional to the southwest (Exhibits G and H). The materials and subtle color scheme chosen provide visual interest while maintaining the professional, refined look expected of Class A office buildings. Building elements include Arizona Sandstone columns, complementary shades of earth toned stucco (3 colors), and anodized aluminum accents for further articulation used near the entrances to the building and over the main lobbies. The architect has chosen a blue glass which tastefully adds desired color to the project.

7. All four sides of the buildings have been treated architecturally with the full range of materials used for this project and also incorporate substantial changes in wall plane to create shadowing and to add additional horizontal interest. The architect has also provided significant variation in the heights of the parapets to break up the roof form and highlight the verticality of the buildings.

8. The proposed site plan features dual trash enclosures near the southeast and southwest corners of the site. The enclosures are designed to match the enclosures constructed on the Hilton site as required by the PAD. Enhanced landscaping is provided in these areas to further screen the trash enclosures from view.

9. The landscape plan (Exhibit F) features a mix of Acacias, Palo Verdes, Chitalpas, and Palm trees. Additionally, seven varieties of shrubs and sixteen types of accents/groundcover are provided. The applicant has provided 302 trees on the site, 224 of which are 24 inch box size or larger (75 Percent). The Zoning Ordinance requires 25 percent of all trees be 24 inch box or larger. The project meets or exceeds all landscaping requirements in the Avondale Gateway PAD and Zoning Ordinance.

10. Several pedestrian amenities and hardscape features are included in the proposal, as follows:

- The site will include two lunch patios, one per office building. These patios are approximately

400 square feet in area and will include stone tables and benches, trash receptacles, decorative paving, landscaping for shade, as well as pedestrian lighting to ensure that they remain usable in the early evening hours.

- The site plan also provides two smokers' refuge areas, one per office building, located in the parking lots just east/west of the respective buildings. These areas are roughly 150 square feet in size and will include seating, decorative paving, trash receptacles and ash urns, enhanced landscaping, and pedestrian lighting.
- The main entry plazas to each of the two office buildings include decorative paving, pedestrian lighting, enhanced landscaping, flag poles, and benches near the entry doors.
- Decorative paving is utilized at each driveway entrance for aesthetic benefit.
- Pedestrian sidewalks interior to the project are provided to ensure safe navigation. Trees are provided in proximity to the sidewalks for the benefit of shading. Additionally, decorative paving is utilized for all pedestrian crossings within the parking lot.

11. Storm water retention required for this site is accommodated by a combination of landscaped surface basins and underground pipe. Surface basins have a shallow, contoured design to add to the appearance of the site perimeter.

12. A comprehensive sign plan (Exhibit I) has been submitted for the development. Multi-tenant signs are provided at the northeast and southwest corners of the site and also adjacent to the entry boulevard. The sign program includes elevations and details of these proposed freestanding signs; for continuity, all freestanding signage utilizes the same colors, materials, and architectural themes as the buildings themselves. All wall signage will be brushed aluminum reverse pan channel letters with halo illumination.

13. The development of the site will occur in two phases. The first phase will include construction of Office A and the surrounding parking area, all required off-site infrastructure improvements to 111th Avenue (Half Street), Gateway Boulevard (Full Street), Roosevelt Street (Half Street), and Hilton Way (Half Street), right-of-way landscaping, and retention. Phase two will include Office B and the surrounding parking area.

14. A re-plat of Avondale Gateway will be required to create this parcel and dedicate all necessary right-of-way.

PARTICIPATION:

A letter of notification and a copy of the site plan were mailed on March 17, 2008 to property owners within 500 feet of the property. No comments have been received to date.

PLANNING COMMISSION ACTION:

The Planning Commission conducted a public hearing on July 17, 2008, and voted 6-0 to recommend **APPROVAL** of this request subject to the following stipulations (Exhibit L):

1. Development shall be in conformance with the Site Plan, Landscape Plan, Grading and Drainage Plan, Utility Plan, and Photometric Plan date stamped June 12, 2008, project narrative and Colors/Materials Palette date stamped March 14, 2008 and building elevations and comprehensive sign package date stamped May 9, 2008, except as modified by these stipulations.
2. The plan approval expires in one year from date of approval unless a building permit has been issued.
3. A re-plat for Avondale Gateway must be approved by City Council and recorded prior to issuance of a certificate of completion or certificate of occupancy for any building on site. The plat will create the subject parcel and dedicate all required right-of-way.
4. The Final Plat shall show a Roadway Easement onto the subject property which would allow for

the temporary construction of a eastbound left turn lane into Driveway 1 from Roosevelt Street. This temporary alignment shall only be used if determined necessary by the City Engineer. Said easement may be abandoned following construction of the south half of Roosevelt Street when the property to the south develops.

5. To the extent allowed by law, all Type 1 and Irrigation Grandfathered Groundwater Rights appurtenant to the property shall be properly extinguished and the resulting Assured Water Supply credits pledged to the City of Avondale's account at the Arizona Department of Water Resources prior to recordation of the final plat.
6. All off-site improvements including landscaping within the right-of-way shall occur as part of the first phase.
7. All development shall be completed in accordance with the City of Avondale General Engineering Requirements Manual.
8. Signing & Striping Plans will be required to be submitted with Civil Improvement plans. Plantings shall be coordinated with the signing and striping plans so as not to block visibility of traffic control devices.
9. The base of the multi-tenant monument signs shall be Arizona Sandstone to match the buildings.
10. Pedestrian scale lighting shall be provided in the vicinity of pedestrian refuge areas. Said lighting must be shown on final construction plans.
11. All parking lot light pole bases shall be located in landscape islands or landscape areas.
12. Landscape material adjacent to the property line shall not impede the pedestrian or fire lane access routes.

ANALYSIS:

General Plan and Freeway Corridor Specific Plan

- The General Plan Land Use Map designates this property as Employment. Both the Avondale Gateway PAD and the proposed development are consistent with this General Plan designation.
- The subject property falls within the "Freeway Frontage" sub-area of the Freeway Corridor Specific Plan. According to the Specific Plan, the subject property is "well suited for certain types of commercial and commerce park uses which desire high visibility and are not impacted by freeway noise." The location of multi-story office buildings along the Interstate frontage takes advantage of the prominent freeway location.
- The Freeway Corridor Specific Plan identifies a maximum height of ten stories for development on this property. The proposal conforms to the maximum height limit imposed by the Freeway Corridor Plan.
- All buildings have consistent architectural treatment on each side of the building and give the appearance of fronting on the freeway, as required by the Freeway Corridor Specific Plan.

Access, Circulation, and Parking

- Roosevelt Street, Hilton Way, Gateway Boulevard, and 111th Avenue will be required to be built prior to issuance of a Certificate of Completion for the first building on site.
- Ingress/Egress to the site will be adequately served by four full access driveways.
- The proposed configuration of the site allows for sufficient on-site vehicle circulation within the proposed development. Ample turning radius is provided for delivery trucks, garbage trucks,

and fire vehicles.

- The site includes shaded pedestrian sidewalks which connect Office A to Office B as well as shaded sidewalks which are located throughout the parking areas to allow a visitor safe access from their vehicles to the entrances of the buildings. Shading will be provided by full canopied Palo Brea trees.
- To increase pedestrian safety, all instances where sidewalks cross vehicular driveways or aisles have been clearly defined by the use of stamped, colored concrete.
- Parking in excess of the minimum Zoning Ordinance requirements for general office use is provided to serve the site.
- All parking areas are screened from view from all streets by a combination of three foot screen wall and three foot hedgerows.
- Parking lot lighting meets all Zoning Ordinance and Design Manual requirements.

Landscaping and Retention

- The applicant is proposing landscaping throughout the site in excess of the minimum requirements. A total of 302 trees are provided on the site, 224 of which are 24-inch box or 36-inch box size. In addition, 2,500 shrubs and/or accent plants will be used on the site. The proposed landscape plan exceeds Zoning Ordinance minimum landscaping requirements by 87 trees and over 2000 shrubs/accent plants.
- Enhanced landscaping and larger trees are used strategically at important locations to add emphasis, as follows: (a) Palm trees are provided within the landscape median along the boulevard entry drive to distinguish the primary entry to the site. (b) Large, 48 inch box Palo Brea trees are used in a planter beds directly adjacent to the primary building entrances. (c) 24 inch box Chitalpa trees, which produce pink flowers similar to an Azalea, are used at the corners of the site. (d) 24 inch box Sweet Acacia trees are used throughout the parking areas and along pedestrian sidewalks to provide shading. All parking lot landscaping requirements are exceeded in this proposal.
- The Zoning Ordinance requires 33 percent of all visible building frontages to be landscaped. Except for necessary gaps for building entrances, both buildings are entirely surrounded by a combination of trees and shrubs. The Zoning Ordinance requirement has been significantly exceeded.
- Surface storm water retention is accommodated in shallow, contoured basins on the perimeter of the site designed to have a natural appearance. The depth of the basins rolls between 1 and 3 feet with a maximum grade of 4:1. The basins are fully landscaped with a combination of trees, shrubs, and other plants. Additional retention is provided underground.
- All landscaping improvements in the right-of-way will be required as part of the first phase of this project.

Signage

- The applicant proposes to use halo-illuminated and/or non-illuminated reverse pan channel wall signage. To present a consistent appearance, all letter faces and returns are required to be brushed aluminum in color.
- Wall signage will be located in the space between window and top of parapet on each building. Wall signage will only be allowed on the lower levels of the building if the upper sign field has been filled and the aggregate signage does not exceed maximum requirements or first floor end suites which have exterior access.
- Four 10' multi-tenant monument signs are proposed for the project, one each at the southwest and northeast corners of the project and one each adjacent to the northern and southern entrances to the boulevard entry aisle. The monument signs identify seven tenants and are designed to complement the architecture of the office buildings. Staff has recommended a stipulation requiring the base of the signs be Arizona Sandstone to match the materials used on the buildings.

Elevations

- The proposed buildings feature consistent architectural variety and interest on all four sides. The use of blue glass, metal accents, sandstone columns, varying wall planes and parapet heights all add visual interest to the building.
- A color and materials palette was submitted in conjunction with the site plan. The elevations propose a mix of reds, blue, and earthy browns designed to create interest while maintaining a professional office feel. Additional color will be provided by the extensive foundation landscaping.

FINDINGS:

The proposed site plan meets the following findings:

- The site plan is in conformance with the General Plan and Freeway Corridor Specific Plan.
- The site plan is in conformance with the Avondale Gateway PAD.
- The site plan is in conformance with the Avondale Zoning Ordinance.

RECOMMENDATION:

Staff recommends that the City Council **APPROVE** application DR-08-2, a request for master site plan approval, subject to the 12 stipulations recommended by the Planning Commission.

PROPOSED MOTION:

I move that the City Council accept the findings and **APPROVE** application DR-08-2, a request for master and final site plan approval for the Avondale Gateway Office Parcel One development, subject to the 12 recommended stipulations.

ATTACHMENTS:

Click to download

 [Exhibits A-L](#)

FULL SIZE COPIES (Council Only):

Bound Packets containing Site Plan, Elevations, Perspectives, Landscape Plan, and Hardscape Plan; Comprehensive Sign Program

PROJECT MANAGER:

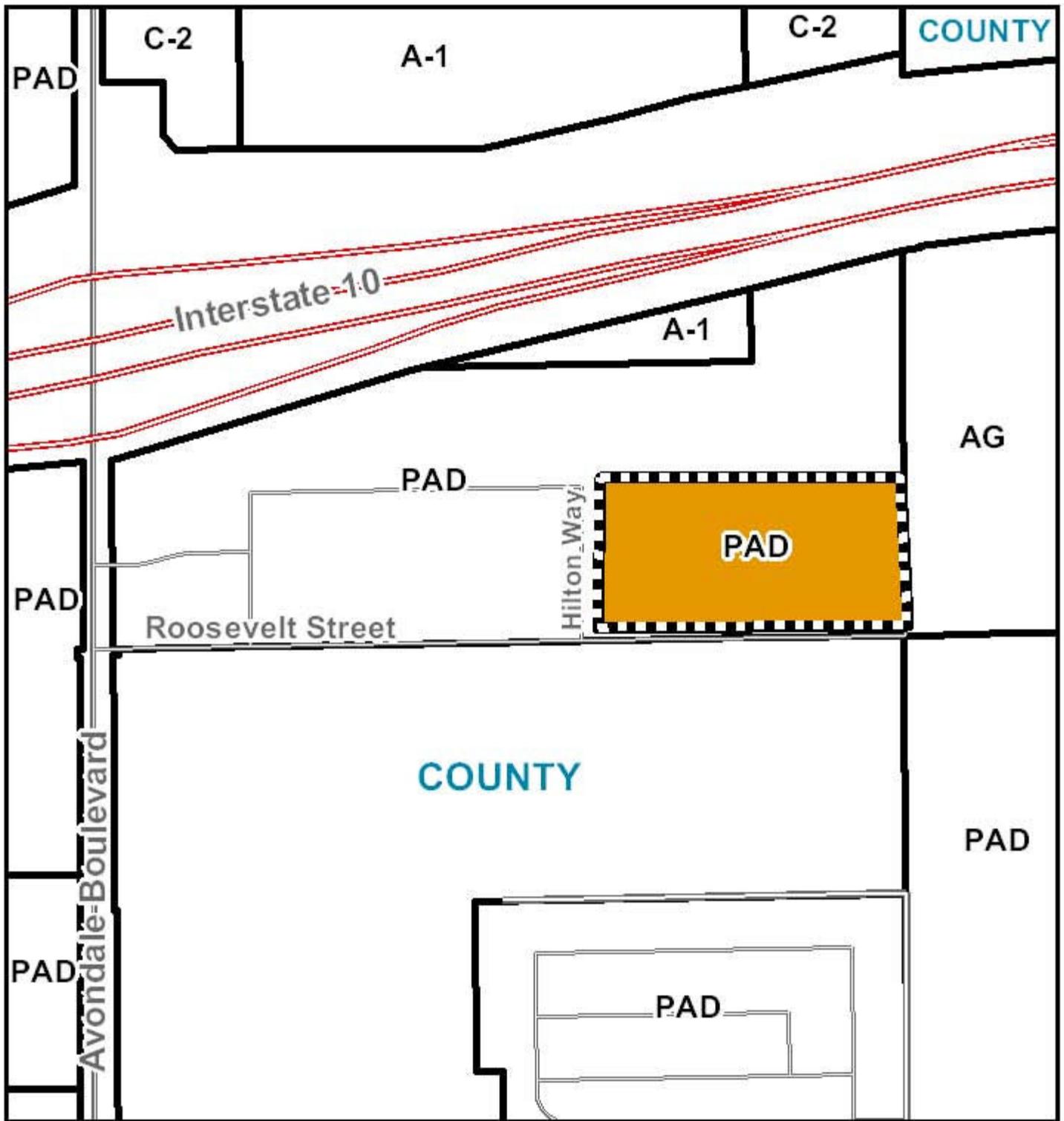
Ken Galica, Planner II (623) 333-4019

ATTACHMENTS

Exhibit A	Zoning Vicinity Map
Exhibit B	Aerial Photo 2008
Exhibit C	Summary of Related Facts
Exhibit D	Project Narrative, date stamped March 14, 2008
Exhibit E	Site Plan, date stamped June 12, 2008
Exhibit F	Landscape/Hardscape Plan, date stamped June 12, 2008
Exhibit G	Building Elevations and Perspectives, date stamped May 9, 2008
Exhibit H	Photograph of Colors/Materials Palette
Exhibit I	Comprehensive Sign Program, date stamped May 9, 2008
Exhibit J	Approved Avondale Gateway PAD Narrative
Exhibit K	PAD Approval Letter, dated June 23, 2005
Exhibit L	Draft Planning Commission Meeting Minutes from July 17, 2008

FULL SIZE EXHIBITS:

1. 11x17 bound packet containing site plan, elevations, building perspectives, and landscape/hardscape plan
2. Comprehensive Sign Program



Zoning Vicinity Map



Subject Property





2008 Aerial Photo

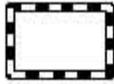
  Subject Property 

EXHIBIT C*SUMMARY OF RELATED FACTS
APPLICATION DR-08-2*

<i>THE PROPERTY</i>	
PARCEL SIZE	9.7 Net Acres
LOCATION	Northeast Corner of Roosevelt Street and Hilton Way
PHYSICAL CHARACTERISTICS	None
EXISTING LAND USE	Vacant
EXISTING ZONING	Avondale Gateway PAD (Planned Area Development) – Business Park Subarea
ZONING HISTORY	Rezoned from R-1 (One Family Residence) to PAD (Planned Area Development) on March 21, 1988 – this project was called Tierra Business Park. A new PAD development plan (Avondale Gateway) was approved for property on June 20, 2005.
DEVELOPMENT AGREEMENT	A development agreement for the Avondale Gateway PAD was approved by the City Council in April 2005 and amended in April 2006. The agreement specified the infrastructure improvements that would be completed by the developer and the improvements which would be completed by the City. The terms of that agreement have been satisfied.

<i>SURROUNDING ZONING AND LAND USE</i>	
NORTH	PAD (Planned Area Development) - Avondale Gateway Business Park subarea
EAST	AG (Agricultural); Proposed change to PAD (Case Z-07-16) on July 17, 2008 Planning Commission agenda
SOUTH	Maricopa County RR-43 (Rural Residential)
WEST	PAD (Planned Area Development) – Avondale Gateway Mixed Use/Office Sub-Area

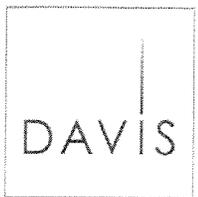
<i>GENERAL PLAN</i>	
Designated by General Plan land use map as Employment; subject parcel also falls within the boundaries of the Freeway Corridor Specific Plan.	

<i>PUBLIC SCHOOLS</i>	
SCHOOL DISTRICT(S)	Littleton Elementary School District, Tolleson Union High School District
ELEMENTARY SCHOOL	Littleton Elementary
HIGH SCHOOL	Westview High School

ADJACENT STREETS

Roosevelt Street (Northern Half)	
Classification	Minor Collector
Existing half street ROW	40 Feet
Standard half street ROW	40 Feet
Existing half street improvements	None
Standard half street improvements	1 travel lane w/ median, bike lane, curb and gutter, sidewalks, street lights and landscaping.
Hilton Way (Eastern Half)	
Classification	Local
Existing half street ROW	30 Feet
Standard half street ROW	30 Feet
Existing half street improvements	None
Standard half street improvements	1 travel lane, curb and gutter, sidewalks, street lights and landscaping.
Gateway Boulevard (Full Street)	
Classification	Minor Collector
Existing ROW	None
Standard ROW	80 Feet
Existing street improvements	None
Standard street improvements	2 travel lanes turn lane, bike lane, curb and gutter, sidewalks, street lights and landscaping.
111th Avenue (Western Half)	
Classification	Minor Collector
Existing ROW	30 Feet with turnaround ending south of planned Gateway Boulevard
Standard street ROW	40 Feet
Existing street improvements	None
Standard street improvements	1.5 travel lanes, bike lane, curb and gutter, sidewalks, street lights and landscaping.

<i>Utilities</i>
There is an existing 12” waterline and 8” sewer line in in Roosevelt Street and an existing 8” waterline and 8” sewer line in Hilton Way.



March 14, 2008

Ken Galica
City of Avondale
Development Services Department
 11465 W. Civic Drive, Suite 110
 Avondale, AZ 85323
623-333-4000

Re: **Avondale Gateway Parcel One – Project Narrative**
 Davis Project No. 07290.000

Dear Mr. Galica:

The 9.71 acre parcel at the NWC of 111th Ave. & Roosevelt St is proposed to be two class A office buildings with all of the surface parking concentrated between the buildings and to the south. Vehicular access to the site can be gained from all four perimeter streets. This parcel is phase one of an overall PAD masterplan.

Office building A, located at the NWC of the site, will contain 60,000 gsf in two-stories. Office building B, located at the NEC of the site, will contain 90,000 gsf in three-stories. The buildings are situated on the site to maximize visibility from adjacent streets. Their interplay anchors the gate to this site.

The architecture could be classified as soft contemporary with traditional details. As appropriate to the region, we have implemented the use of sandstone complimented by a color palette that highlights various aspects of the stone. The repetition of the stone pilasters anchors the project and provides an overall organizing element. The glass entrance expression stands in contrast to the flanking architectural language juxtaposing contemporary elements to traditional detailing. The blue glass and metal fins reinforce the projects unique architectural language.

Landscape for the project will consist of plants from the Avondale Gateway PAD master plant list. This list consists of vegetation found on the Arizona Department of Water Resources Low Water Use Plant List. The project site will include enhanced plantings at the property corners as well as the main entries; this will be done with a combination of colorful groundcover, textural accent plants, specimen trees and palms. Perimeter planting will compliment and unify the overall development with colorful plantings that provide a reflection of the architectural character, height, and density of the buildings. Open space areas within the site consist of a pedestrian refuge area and lunch patio at each building, as well as a decoratively paved entry plaza. Pedestrian circulation will be provided between buildings with tree shaded sidewalks. These walkways will also extend into the parking lots and to the perimeter of the site.

Sincerely,

Davis

Ted Wright

Site Data

Parcel # 102-56-021 / 102-56-022
 Zoning PAD
 Site Area 12.31 Gross Acres (536,241 GSF)
 9.71 Net Acres (423,351 NSF)
 Total Building Area 150,000 gsf
 Building A Area 60,000 gsf
 Building B Area 90,000 gsf
 Coverage N/A *
 * Structure = 14%
 * Parking Canopy = 8%
 * Total = 22%

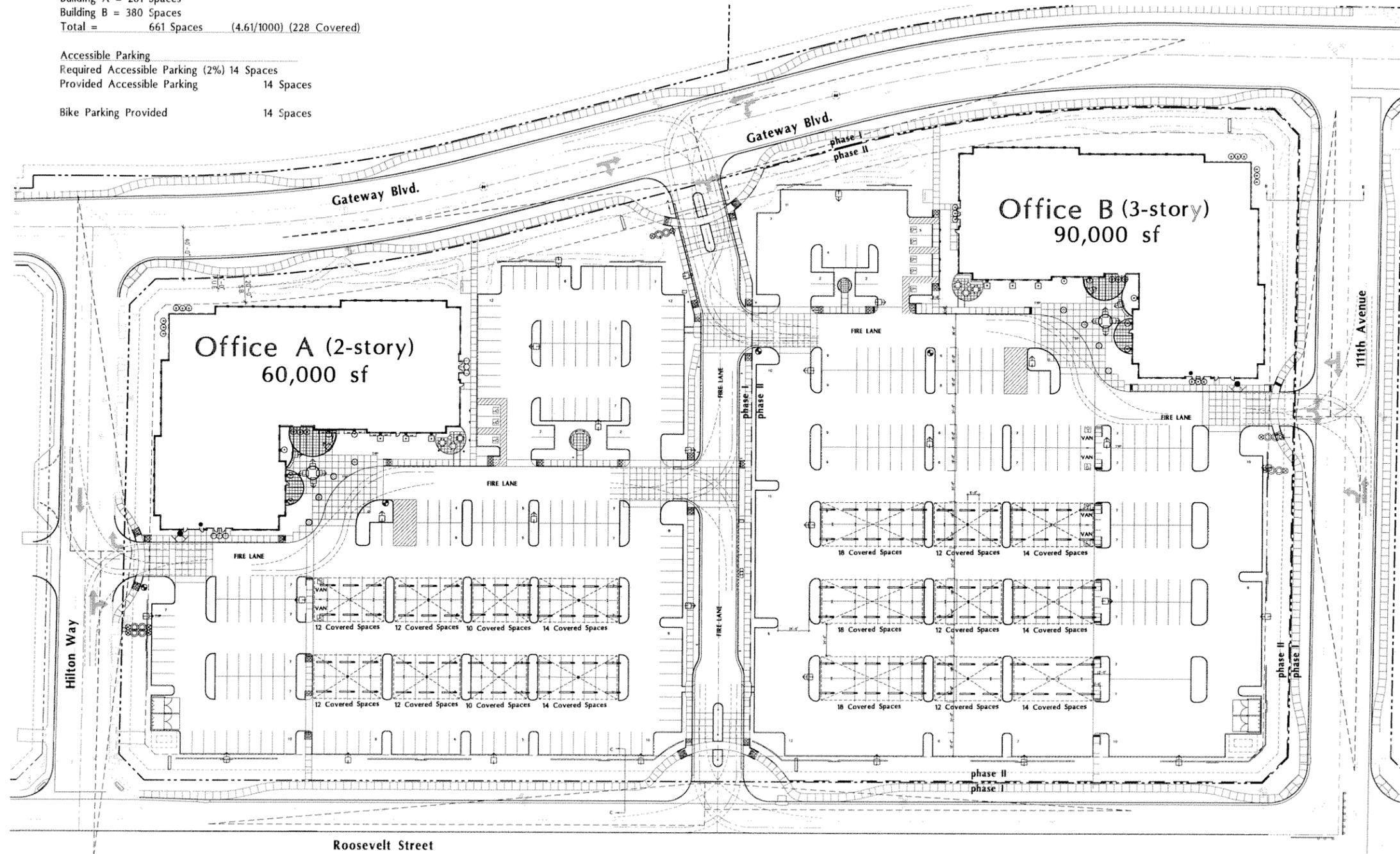
Parking Data

Parking Required
 Building A = 240 Spaces (1 per 250 gsf)
 Building B = 360 Spaces (1 per 250 gsf)
 Total = 600 Spaces

Parking Provided
 Building A = 281 Spaces
 Building B = 380 Spaces
 Total = 661 Spaces (4.61/1000) (228 Covered)

Accessible Parking
 Required Accessible Parking (2%) 14 Spaces
 Provided Accessible Parking 14 Spaces

Bike Parking Provided 14 Spaces



CITY OF AVONDALE
 JUN 12 2008
 ENGINEERING SERVICES

DAVIS
 architecture
 interior architecture
 space planning
 facilities management
 land planning
 landscape architecture
 graphic design

BUILDING A - SITE PLAN

0' 40' 80' 120' 160'

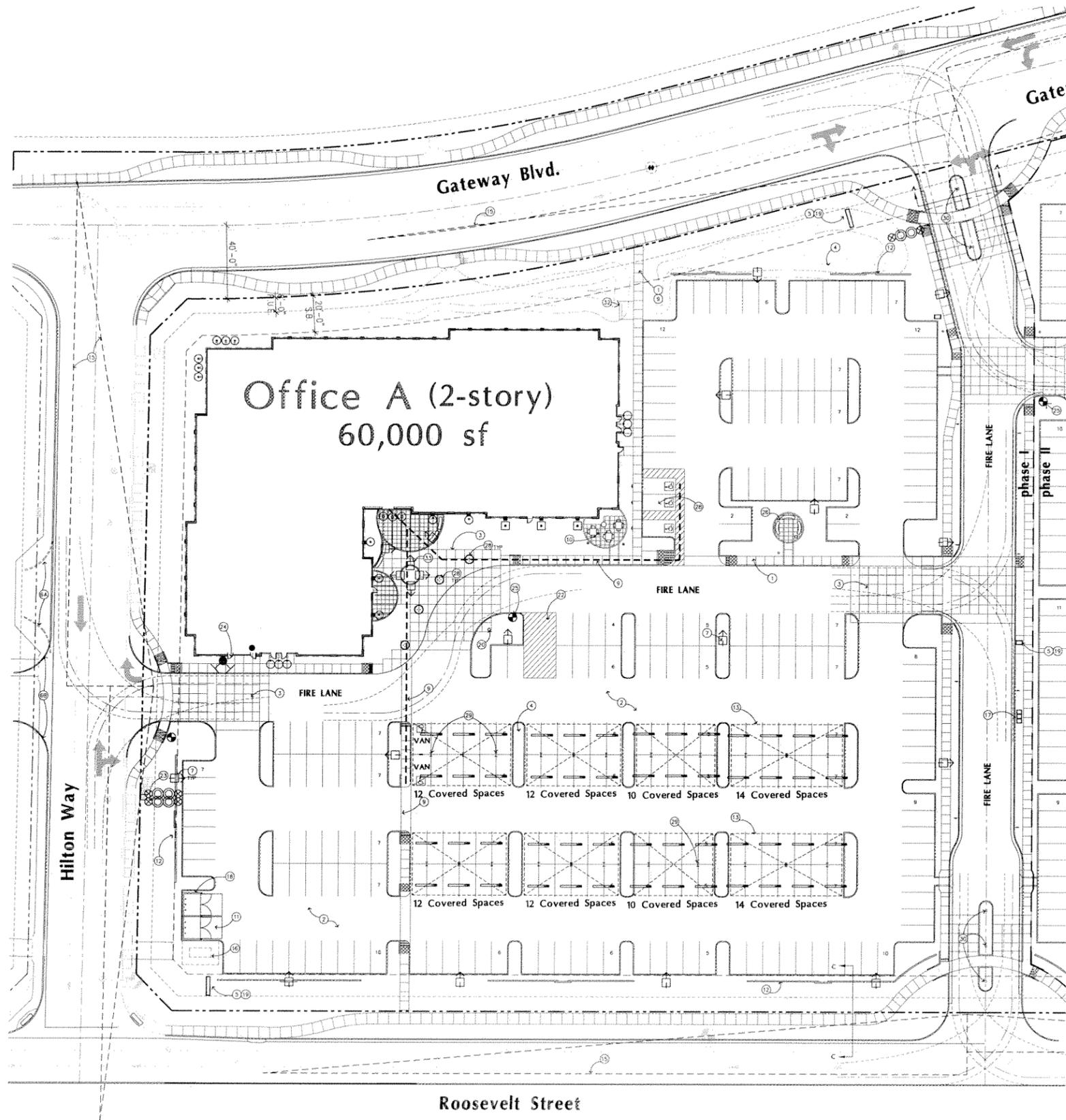
AVONDALE GATEWAY
 Avondale, AZ

07290
 10 JUN 08

BUCK & YEE
 ARCHITECTS
 31 DEC 2010

A101

All calculations are approximate and subject to change.



GENERAL NOTES:

A. WHERE PARKING SPACES ARE ADJACENT TO SIDEWALKS, CURB STOPS WILL BE EMPLOYED

KEYED NOTES:

1. NEW CONCRETE SIDEWALK
2. ASPHALT DRIVE AISLE
3. DECORATIVE FINISH. SEE HARDSCAPE SHEETS
4. LANDSCAPING. SEE LANDSCAPE SHEETS
5. MONUMENT SIGNS. SEE SIGN PACKAGE
6. 6A--EXISTING CURB CUT TO BE ABANDONED
6B--FUTURE CURB CUT TO ALIGN WITH AVONDALE GATEWAY CURB CUT.
7. LIGHT POLE. SEE LIGHTING SHEETS
8. NOT USED
9. ACCESSIBLE ROUTE
10. EMPLOYEE LUNCH AREA WITH TABLES AND SEATING
11. REFUSE ENCLOSURE WITH METAL GATE AND HOSE BIBB. SEE DETAIL SHEET.
12. PARKING SCREEN WALL
13. PARKING CANOPY
14. BIKE RACK 6 SPACES
15. VISIBILITY TRIANGLE
16. FUTURE GENERATOR LOCATION -- UNDERGROUND CONDUIT CONNECTING TO BUILDING STUB UP
17. EXPRESS MAIL DROP BOX PEDISTALS
18. 6" HIGH WALL
19. POWER PROVIDED TO MONUMENT SIGNS
20. FLAG POLE
21. NOT USED
22. LOADING ZONE
23. BACKFLOW PREVENTION EQ.
24. FDC
25. FIRE HYDRANT
26. SMOKER'S AREA WITH SEATING
27. ACCESSIBLE PARKING WITH SIGNAGE
28. DECORATIVE PLANTER--SEE A104/E
29. PARKING CANOPY STRUCTURE
30. CONVENIENCE OUTLET
31. RECESSED WALL LIGHT



BUILDING A - SITE PLAN

architecture
interior architecture
space planning
facilities management
land planning
landscape architecture
graphic design

0' 40' 80' 120' 160'

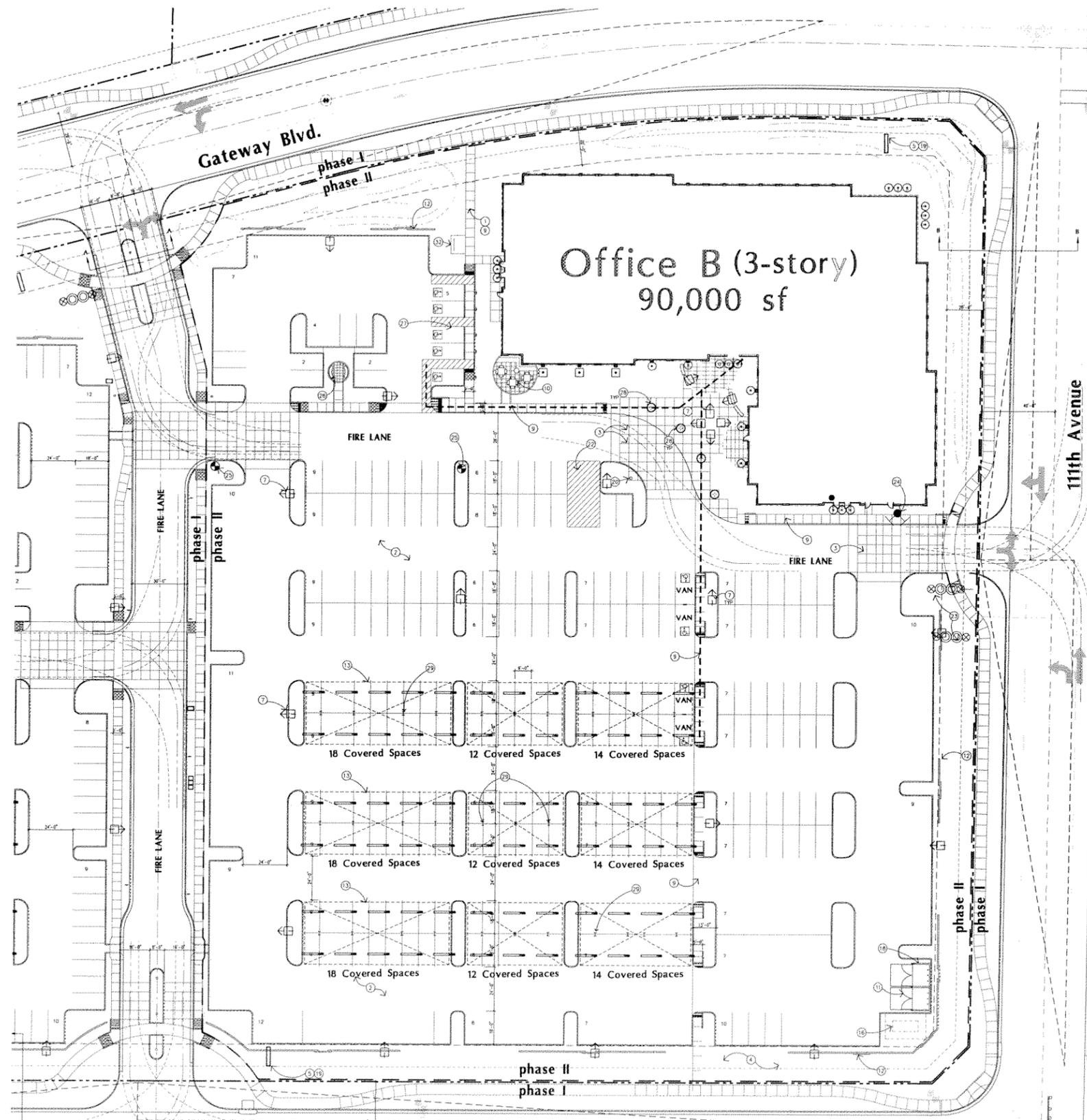
AVONDALE GATEWAY
Avondale, AZ

07290
10 JUN 08



A102A

31 DEC 2010



GENERAL NOTES:

A. WHERE PARKING SPACES ARE ADJACENT TO SIDEWALKS, CURB STOPS WILL BE EMPLOYED

KEYED NOTES:

1. NEW CONCRETE SIDEWALK
2. ASPHALT DRIVE ASILE
3. DECORATIVE FINISH. SEE HARDSCAPE SHEETS
4. LANDSCAPING. SEE LANDSCAPE SHEETS
5. MONUMENT SIGNS. SEE SIGN PACKAGE
6. 6A-EXISTING CURB CUT TO BE ABANDONED
- 6B-FUTURE CURB CUT TO ALIGN WITH AVONDALE GATEWAY CURB CUT.
7. LIGHT POLE. SEE LIGHTING SHEETS
8. NOT USED
9. ACCESSIBLE ROUTE
10. EMPLOYEE LUNCH AREA WITH TABLES AND SEATING
11. REFUSE ENCLOSURE WITH METAL GATE AND HOSE BIBB. SEE DETAIL SHEET.
12. PARKING SCREEN WALL
13. PARKING CANOPY
14. BIKE RACK 6 SPACES
15. VISIBILITY TRIANGLE
16. FUTURE GENERATOR LOCATION - UNDERGROUND CONDUIT CONNECTING TO BUILDING STUB UP
17. EXPRESS MAIL DROP BOX PEDISTALS
18. 6" HIGH WALL
19. POWER PROVIDED TO MONUMENT SIGNS
20. FLAG POLE
21. NOT USED
22. LOADING ZONE
23. BACKFLOW PREVENTION EQ.
24. FDC
25. FIRE HYDRANT
26. SMOKER'S AREA WITH SEATING
27. ACCESSIBLE PARKING WITH SIGNAGE
28. DECORATIVE PLANTER-SEE A104/E
29. PARKING CANOPY STRUCTURE
30. CONVENIENCE GUTLET
31. RECESSED WALL LIGHT



BUILDING B - SITE PLAN



architecture
interior architecture
space planning
facilities management
land planning
landscape architecture
graphic design

AVONDALE GATEWAY
Avondale, AZ

07290
10.JUN.08

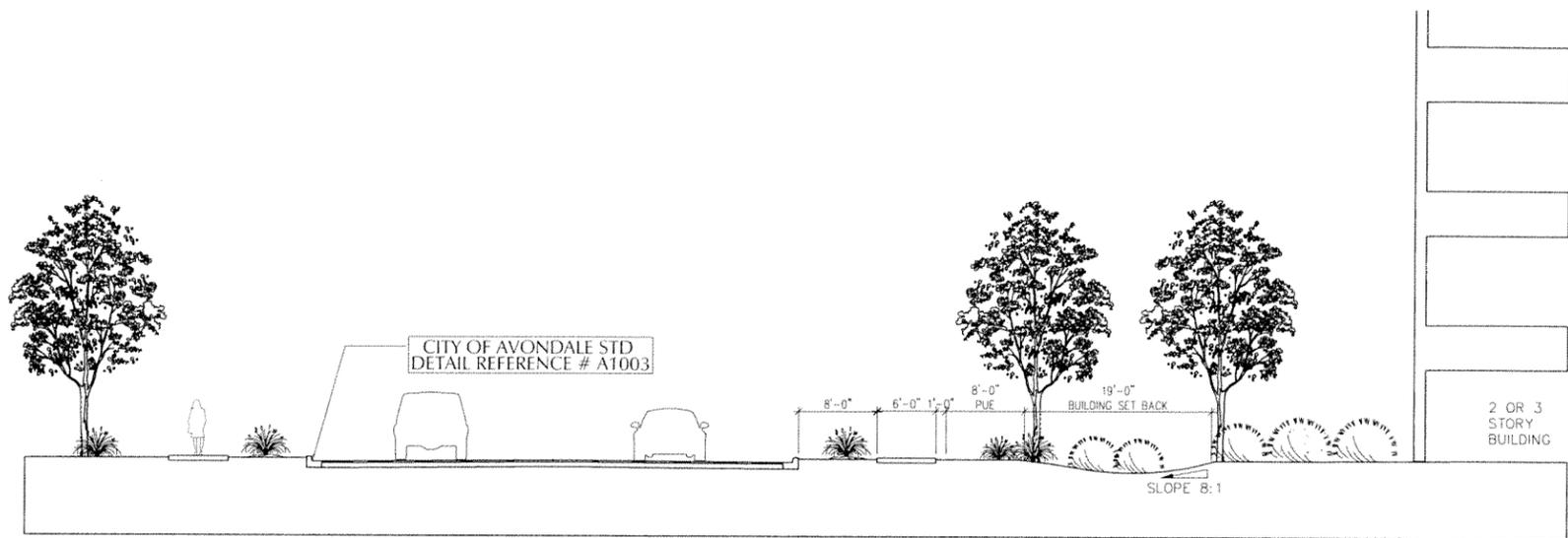


A102B

31 DEC 2010

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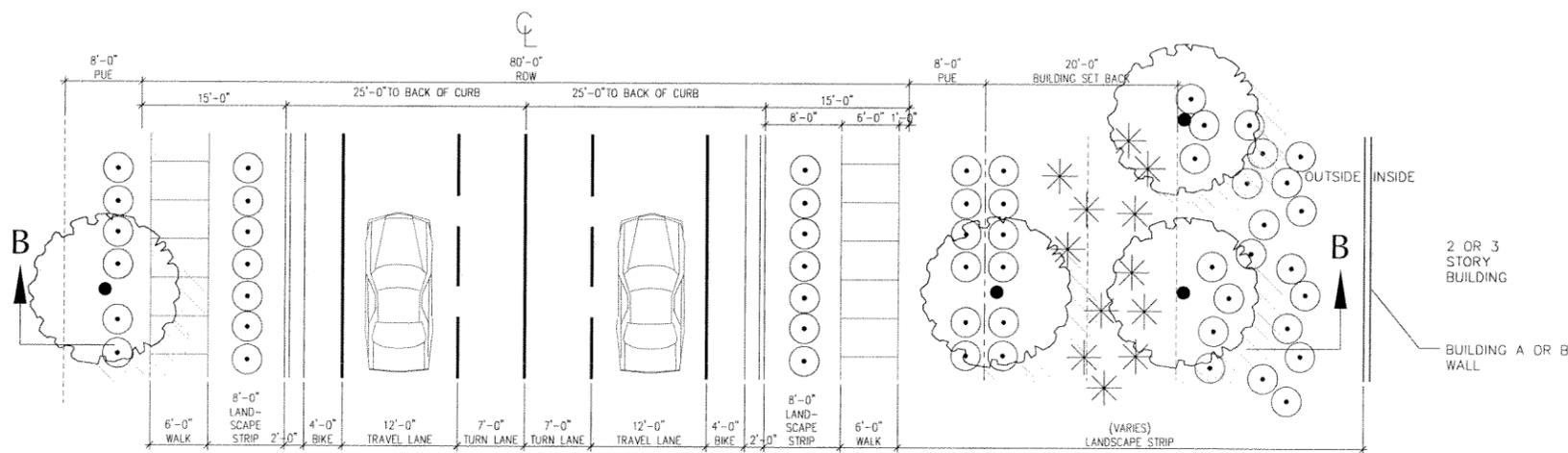
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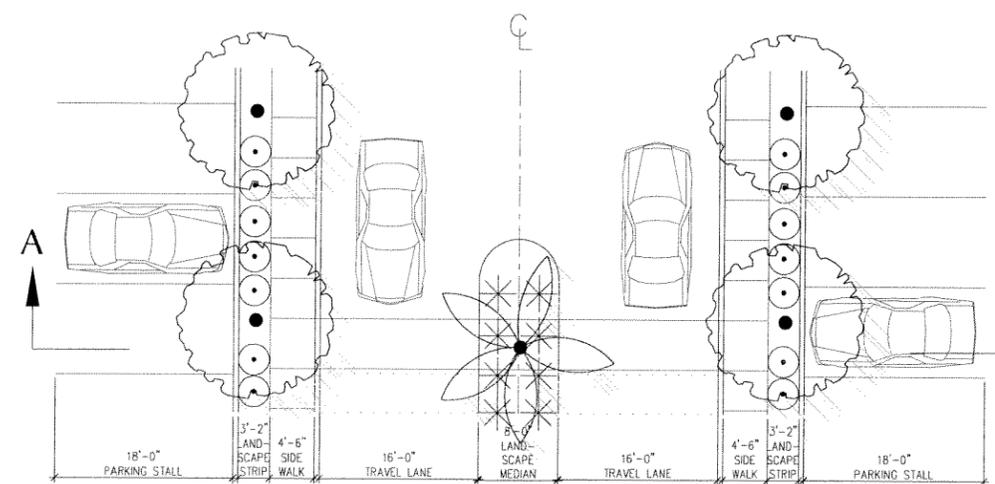
Section BB - Gateway Blvd. / 11TH AVE



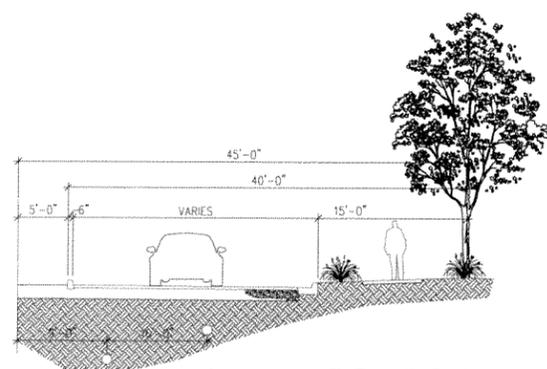
Section AA - Internal Entrance Drive



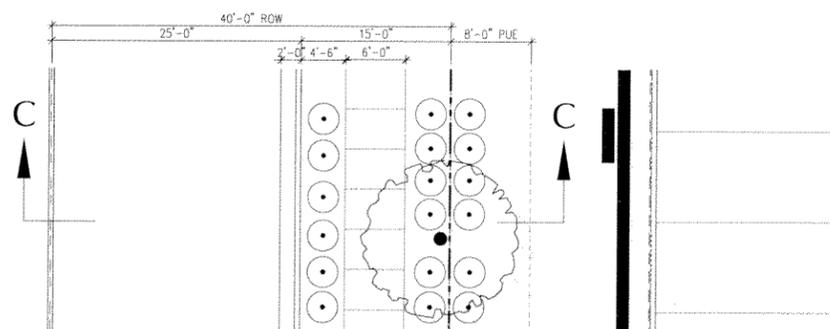
Partial Plan - Gateway Blvd. / 11TH AVE



Partial Plan - Internal Entrance Drive



Section CC - ROOSEVELT



Partial Plan - ROOSEVELT



architecture
interior architecture
space planning
facilities management
food planning
landscape architecture
graphic design

0' 8' 16' 24' 32' All calculations are approximate and subject to change.

Avondale Gateway
Avondale, Arizona

07290
11.JUN.08



A 103

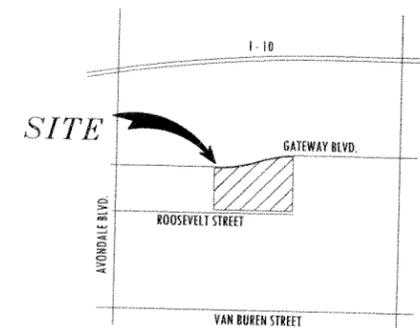


AVONDALE GATEWAY

OFFICE A/B
AVONDALE, ARIZONA

CONCEPTUAL LANDSCAPE PLANS

Exhibit G



vicinity map



planting list

SYMBOL	BOTANICAL/COMMON NAME	SIZE/REMARKS	QTY.	CALLIPERS	HEIGHTS
TREES					
○	ACACIA SMALLII SWEET ACACIA	24" MULTI-TRUNK MATCHED	22	2.00	8'
○	ACACIA STENOPHYLLA SHOESTRING ACACIA	24" MULTI-TRUNK MATCHED	44	2.00	9'
○	CERCIDIUM SPP. "DESERT MUSEUM" DESERT MUSEUM HYBRID	15 GAL/24" BOX, MULTI-TRUNK	78/81	1.5/2.0	6'/8'
○	CERCIDIUM PRAECOX PAID BREA	24"/36"/48" BOX, MULTI-TRUNK	16/18/2	2/2.5/3.5	8'/10'/11'
○	CHITALPA X TASHKENTENSIS CHITALPA	24" BOX, MULTI-TRUNK	41	2.00	8'
○	PALM SP. PALM	20" RT.	26		
SHRUBS					
○	CAESALPINIA MEXICANA MEXICAN BIRD OF PARADISE	15 GAL	25		
○	CAESALPINIA PULCHERRIMA RED BIRD OF PARADISE	5 GAL	24		
○	EREMOPHILA MACULATA "VALENTINE" VALENTINE BUSH	5 GAL	159		
○	LEUCOPHYLLUM LAEVIGATUM CRISPIANUS SAGE	5 GAL	145		
○	LEUCOPHYLLUM LANGMANIAE "RED BRAVO" SAGE	5 GAL	450		
○	NERIUM OLEANDER "PETITE PINK" PINK OLEANDER	5 GAL	700		
○	RUPELLIA BRITTONIANA BRITISH RUPELLIA	1 GAL	535		
ACCENTS/ VINES					
○	AGAVE DESMETTIANA JACOB'S AGAVE	5 GAL	256		
○	AGAVE VILMOXIANA OCTOPUS AGAVE	5 GAL	15		
○	ALOE X "BLUE ELLI" ALOE	1 GAL	25		
○	CEREUS SPP. CEREUS	15 GAL	6		
○	DASTYLION WHEELERI DESERT SPOON	1 GAL	155		
○	ENCHINOCEBUS GRUSONII GOLDEN BARREL	5 GAL	118		
○	HESPERALOE FUNIFERA GIANT HESPERALOE	5 GAL	140		
○	HESPERALOE PARVIFLORA RED YUCCA	1 GAL	725		
○	MIMULANBEGIA CAPILLARIS REGAL MIST	1 GAL	40		
GROUND COVER					
○	ACACIA REGULENS "DESERT CARPET" TRAILING ACACIA	1 GAL @ 5' O.C.	185		
○	CONVOLVULUS CNEORUM BUSH MORNING GLORY	1 GAL @ 3' O.C.	375		
○	HYMENOXIS ACARIS "ANGELITA DAISY"	1 GAL @ 2' O.C.	300		
○	LANTANA "NEW GOLD" "NEW GOLD" LANTANA	1 GAL @ 3' O.C.	923		
○	LANTANA MONTEVIDENSIS PURPLE TRAILING LANTANA	1 GAL @ 4' O.C.	181		
○	PENSTEMON PARBYI/EATONI PARBYI'S FIRECRACKER PENSTEMON	1 GAL PER PLAN	50		
○	RUPELLIA "KATIE" RUPELLIA	1 GAL @ 3' O.C.	193		
INERT MATERIAL					
○	WEATHERED GRANITE BOULDERS MATCH D.G.	1/2 - 2 TON 1 TON AVG.		NATURAL DARK FINISH	
○	RIP RAP: 4" - 8" ANGULAR RIP RAP MATCH D.G. COLOR		4,300 SF		
○	DECOMPOSED GRANITE 1/2" SCREENED, SADDLEBACK BROWN, IN ALL PLANTING AREAS.	2" MIN. DEPTH	90 SF		

planting data



PLANTING DATA SHEET

(Table and notes must be present on plans)

LANDSCAPE AREAS COMMERCIAL ONLY	REQUIRED	PROVIDED
A. On-Site landscape area Commercial: 10% of net site area Industrial: 5% of net site area	42,335 sq. ft.	110,200 sq. ft.
B. Residential buffer landscape area 10 ft. from all residential boundaries	n/a sq. ft.	n/a sq. ft.
C. Parking landscape area minimum 5% of parking lot area	5 %	7 %
D. Parking islands 1 per 12 consecutive parking spaces minimum 5 ft. wide minimum 50 sq. ft.	(3) 300 sq. ft.	(3) 300 sq. ft.
E. Foundation planting 33% of building frontage for any elevation adjacent to a public street or drive stile	33 %	80 %

LANDSCAPE PLANTINGS	REQUIRED	PROVIDED
Right of way landscape plantings		
F. Trees: 1 per 20 ft. of street frontage	131 Trees	131 Trees
G. Shrubs: 2 per 20 ft. of street frontage	262 Shrubs	350 Shrubs
H. Shrub and Groundcover area 25%	5,750 sq. ft.	10,000 sq. ft.
I. Trees: 1 per 8 parking spaces	84 Trees	112 Trees
J. Residential buffer plantings	n/a	n/a
K. Trees: 1 per 20 feet of residential boundaries	n/a	n/a
L. Special planting requirements (PAD, Zoning, etc.)	none	none

TOTALS	REQUIRED	PROVIDED
Total on site landscape area	42,335 sq. ft.	110,200 sq. ft.
Total right-of-way landscape area	5,750 sq. ft.	10,000 sq. ft.
Total useable open space percent (PAD only)	20 %	25 %
Total Trees	215 Trees	302 Trees
Total 24" box trees (25% of total trees)	54 Trees	224 Trees
Total shrubs	262 Shrubs	2,500 Shrubs
Total Groundcover	n/a sq. ft.	n/a sq. ft.

- GENERAL NOTES**
- Twenty-four inch box trees shall have a minimum trunk height of eight feet with a minimum 2-inch caliper measured 4 feet above the ground. Fifteen gallon trees shall have a minimum trunk height of 6 feet with a minimum 1 1/2" caliper measured 4 feet above the ground.
 - The property owner and/or lessee shall be responsible to install/maintain all landscaping within the right-of-way measure.
 - A 3-foot clear space is required around all fire suppression equipment. No plants may be installed that will encroach when mature.
 - Plantings within the Sight Visibility Triangle Line shall be maintained so that no limbs hang lower than seven (7) feet and shrubs or other plants planted within the Sight Visibility Triangle Line shall be no taller than two (2) feet at full growth.

NOTE: All construction shall be in accordance with the City of Avondale Construction Specifications currently on file and available at the City of Avondale Engineering Department.

Development Services Department

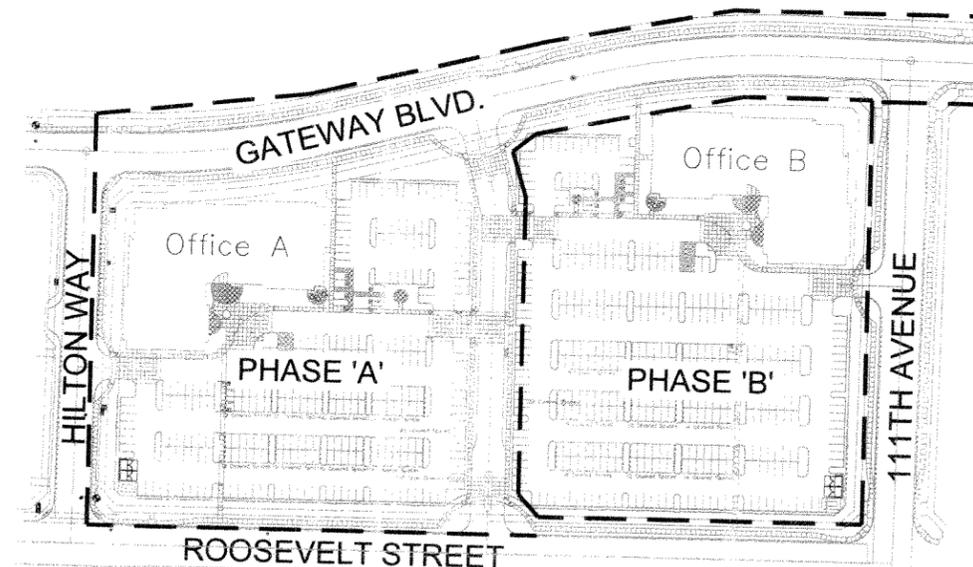
11495 W. Civic Center Drive, #110, Avondale, AZ 85323 • Phone (623) 333-4000 • Fax (623) 333-0400 • TDD (623) 333-6010
www.avondaleaz.gov/development-services

Page 6 of 11

Updated 02/13/08

general notes

- ALL PLANTING AREAS ARE TO HAVE DECOMPOSED GRANITE TOP DRESSING. ALL GRANITE IS TO BE 2" DEPTH, COLOR AS SPECIFIED BY OWNER, TYP.
- NO PLANT SUBSTITUTIONS ALLOWED UNLESS APPROVED IN WRITING BY LANDSCAPE ARCHITECT AND CONFORMING TO LOCAL AGENCY'S APPROVED PLANT LIST.
- LANDSCAPE ARCHITECT IS TO APPROVE ALL PLANT MATERIAL PRIOR TO DELIVERY TO SITE. ONE WEEK MINIMUM NOTICE.
- LANDSCAPE CONTRACTOR IS RESPONSIBLE TO VERIFY ALL CONDITIONS ON SITE PRIOR TO PROJECT START-UP.
- LANDSCAPE CONTRACTOR IS RESPONSIBLE TO REPAIR ANY DAMAGES MADE TO EXISTING LANDSCAPING, UNDERGROUND UTILITIES, IRRIGATION LINES, ELECTRICAL LINES, ETC., AT HIS EXPENSE.
- ANY PLANT MATERIAL NOT SHOWN TO REMAIN ON PLAN IS TO BE REMOVED.
- A MINIMUM OF 25 PERCENT OF TREES ON SITE ARE TO BE 2" CALIPER, 8' VARIETY.
- CONTRACTOR IS TO VERIFY LOCATIONS OF ALL UNDERGROUND UTILITIES PRIOR TO ANY SITE WORK BEING EXECUTED.
- QUANTITIES ON PLAN ARE PROVIDED FOR BIDDING PURPOSES ONLY. LANDSCAPE CONTRACTOR IS RESPONSIBLE TO VERIFY ALL QUANTITIES PRIOR TO CONSTRUCTION.
- ALL AREAS DISTURBED DURING CONSTRUCTION ARE TO BE FINE GRADED AND TREATED TO BLEND EVENLY WITH ALL NEWLY CONSTRUCTED AREAS.
- LANDSCAPE ARCHITECT / OWNERS REPRESENTATIVE RESERVES THE RIGHT TO REJECT ANY PLANT MATERIAL THAT IS DETERMINED TO NOT SATISFY THE DESIGN INTENT OF THE LANDSCAPE PLAN BASED ON SIZE, SHAPE, APPEARANCE, HEALTH, OR IMPROPER CARE.
- ALL BOULDERS ARE TO BE GRANITE SURFACE SELECT, SIZE PER PLAN. ALL BOULDERS ARE TO BE BURIED 1/3 IN SOIL.
- ALL SWALE CHANNELS ARE TO HAVE 6" - 8" FRACTURED GRANITE OR OTHER APPROVED STONE MATERIAL INSTALLED TO PREVENT EROSION.
- ALL DOWNSPOUTS / SCUPPERS ARE TO HAVE 3'x3', 3" - 6" FRACTURED GRANITE OR OTHER APPROVED STONE MATERIAL INSTALLED TO PREVENT EROSION.
- ALL BERM CONTOUR INTERVALS ARE AT 1'-0", SLOPES NOT TO EXCEED 4:1.
- CONTRACTOR TO ENSURE THAT SLEEVING FOR IRRIGATION GOES UNDER EVERY DRIVEWAY AS SHOWN ON PLANS.
- ANY PORTION OF THE SITE NOT PART OF THE FIRST PHASE WILL BE REQUIRED TO BE COVERED WITH 2" MINUS DECOMPOSED GRANITE WITH A MINIMUM DEPTH OF 2 INCHES. THIS IS A ZONING ORDINANCE REQUIREMENT ENFORCED FOR DUST CONTROL PURPOSES.



site plan



contact information

OWNER:	CAVAN REAL ESTATE INVESTMENTS 15333 N. PIMA RD., #305 SCOTTSDALE, AZ LUGI BENVIN (480) 627-7000	ENGINEER:	ERICKSON & MEEKS ENGINEERING 13444 N. 32ND ST., #6 PHOENIX, AZ JEFF ERICKSON (602) 569-6593
LANDSCAPE ARCHITECT:	LVA URBAN DESIGN STUDIO 120 S. ASH AVENUE TEMPE, AZ ED LORDEN (480) 994-0994	ARCHITECT:	DAVIS 60 E. RIO SALADO PKWY., #200 TEMPE, AZ MIKE EDWARDS (480) 638-1188

sheet index

LC	COVER SHEET / NOTES
OFFICE A	
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L2.1 - 2.4	PLANTING PLANS
L3.1 - 3.4	IRRIGATION PLANS
L4.1 to L4.2	HARDSCAPE DETAILS
L4.3	PLANTING/ IRRIGATION DETAILS
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OFFICE B	
L1.1 - 1.3	HARDSCAPE PLANS
L2.1 - 2.2	LANDSCAPE PLANS
L3.1 - 3.2	IRRIGATION PLANS
L4.1 - 4.2	HARDSCAPE DETAILS
L4.3	PLANTING/ IRRIGATION DETAILS
L5.1 - 5.2	SPECIFICATIONS

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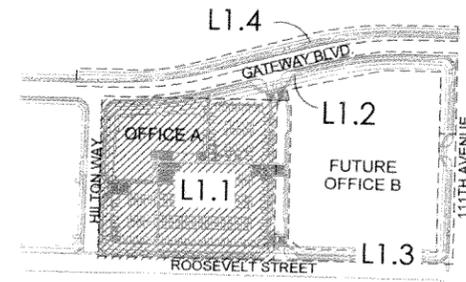
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MATCHLINE - SEE SHEET L1.2

Office A (2-story)
60,000 sf



sheet key

NO SCALE

hardscape key

- ① - SIDEWALK. (NATURAL GREY COLOR) SEE DETAIL 1/ L4. 1.
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- ⑭ - (R.O.W.) RIGHT-OF-WAY.
- ⑮ - STONE BENCH. SEE DETAIL 5/ L4.1.
- ⑯ - LANDSCAPED AREA. SEE PLANTING SHEETS.
- ⑰ - LANDSCAPE EASEMENT.
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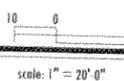
MATCHLINE - SEE SHEET L1.3

CONTACT: PHOENIX PRECAST
FOR SITE FURNITURE (602) 569-6090
CONTACT: DAVE BANG ASSOCIATES INC.
FOR AMENITIES. (480) 892-2266

open space calculations

- a. Total Open Space (includes landscape and hardscape)
104,550 s.f. for total site
- b. Total pedestrian areas- 6,600 s.f.

hardscape plan



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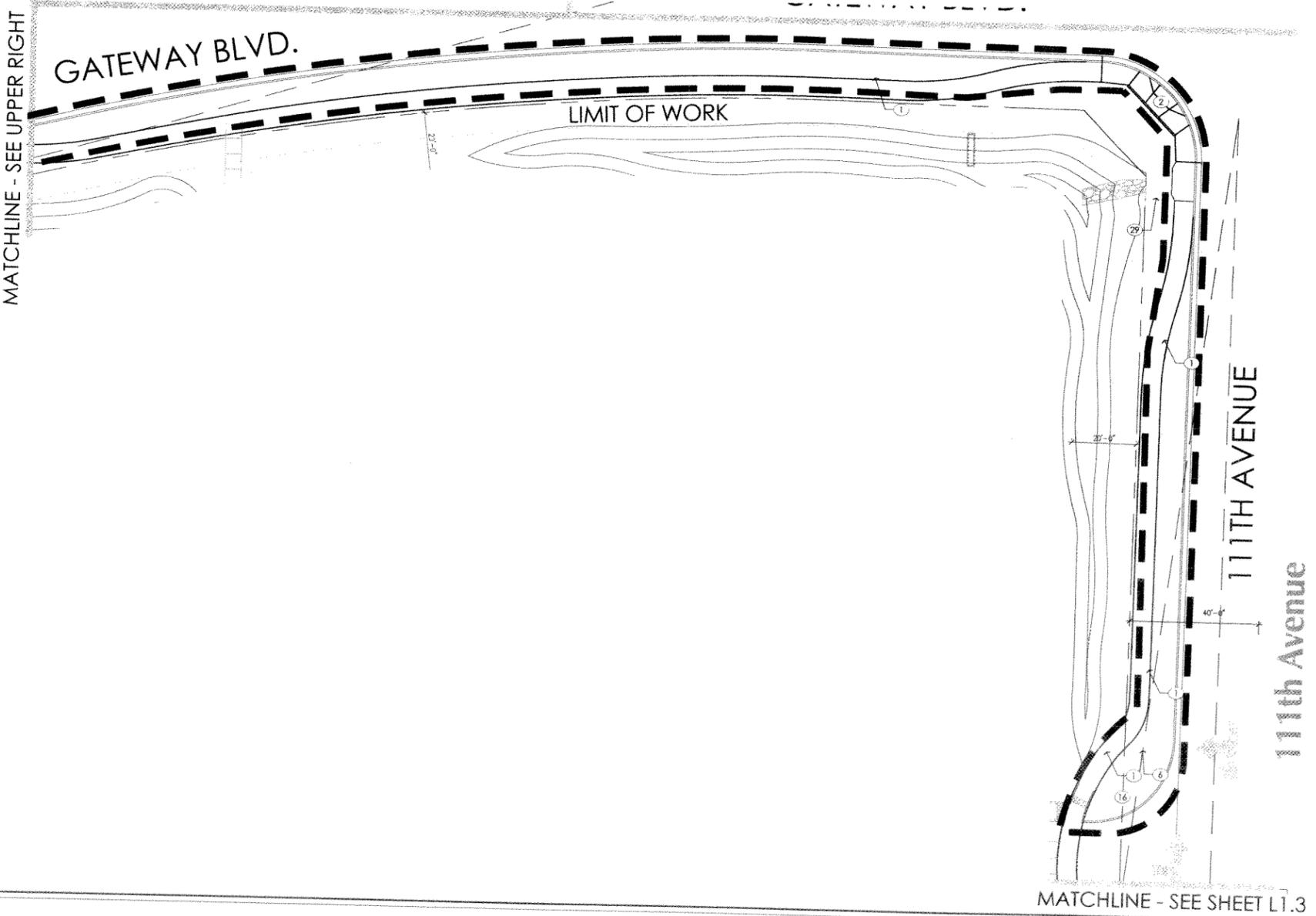
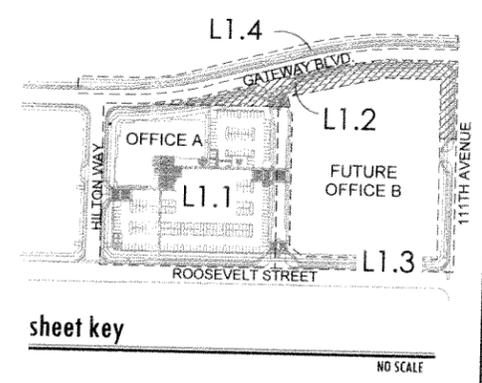
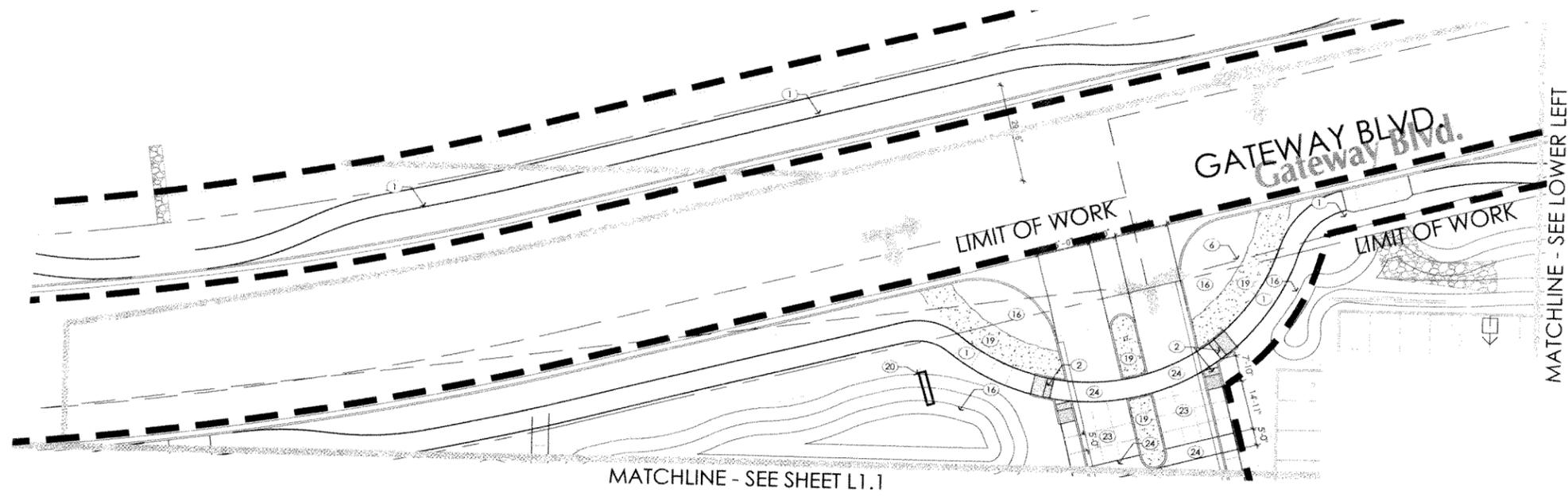
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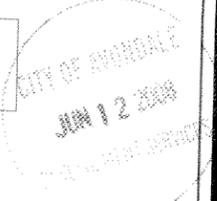
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job no.: 0712.1
drawn: STAFF
sheet #: **L1.1**
2 of 19



hardscape key

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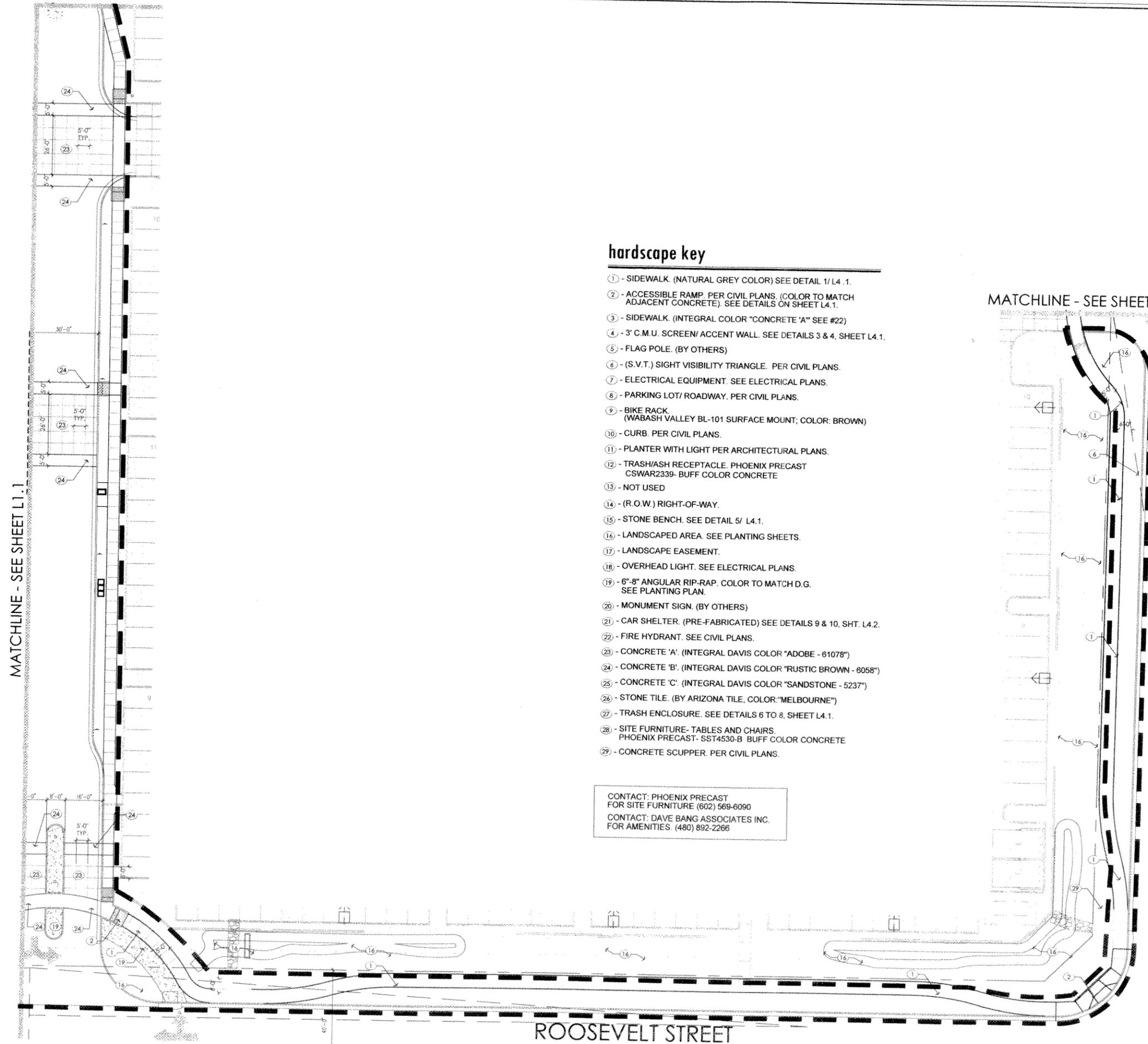
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AVONDALE, AZ
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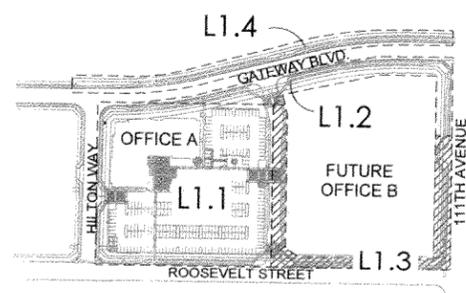
MATCHLINE - SEE SHEET L1.1

MATCHLINE - SEE SHEET L1.2

hardscape key

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CONTACT: DAVE BANG ASSOCIATES INC.
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sheet key

NO SCALE

111TH AVENUE

ROOSEVELT STREET

hardscape plan

scale: 1" = 20'-0"



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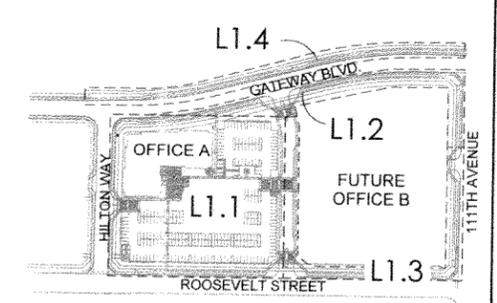
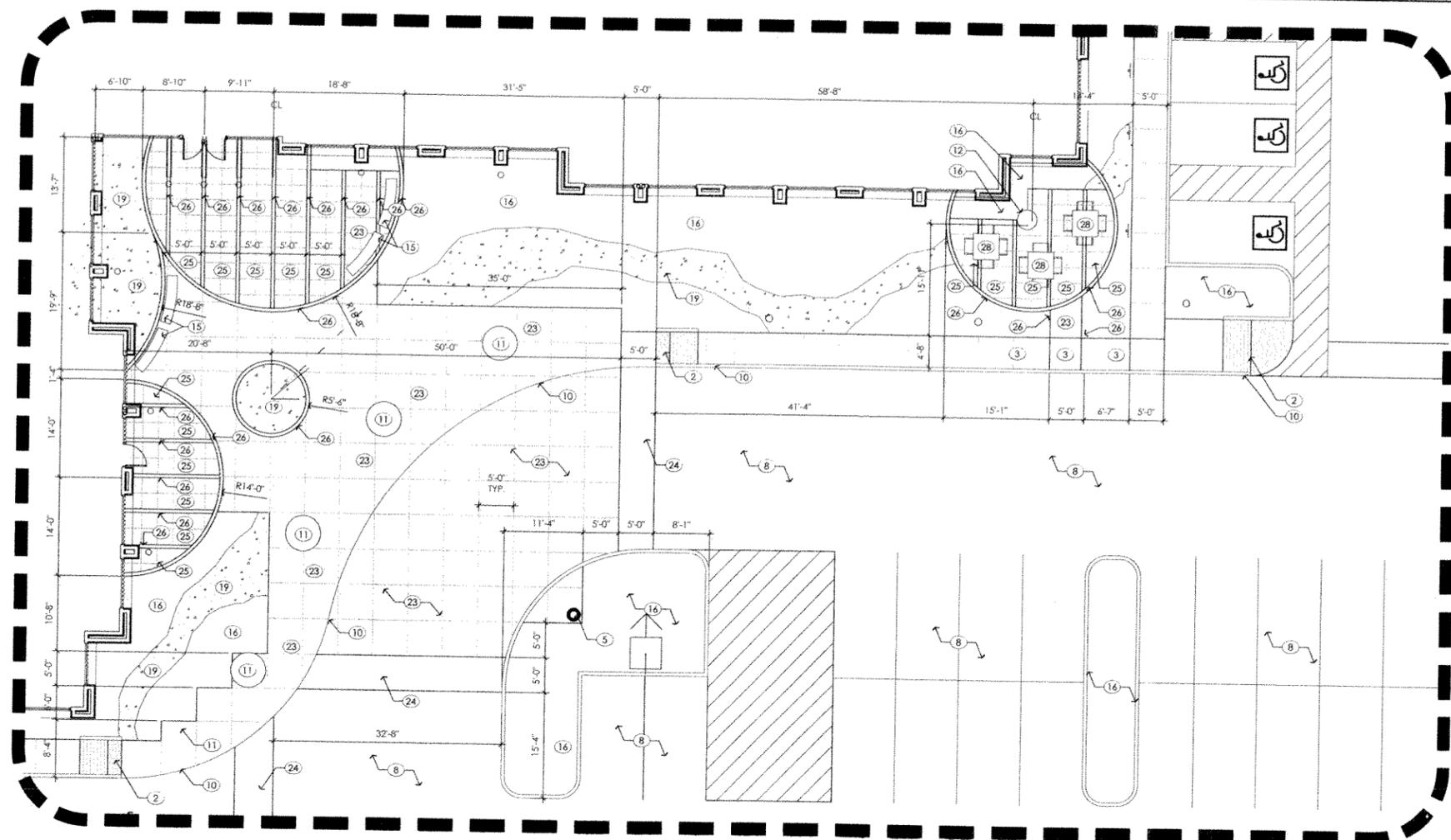
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L1.3
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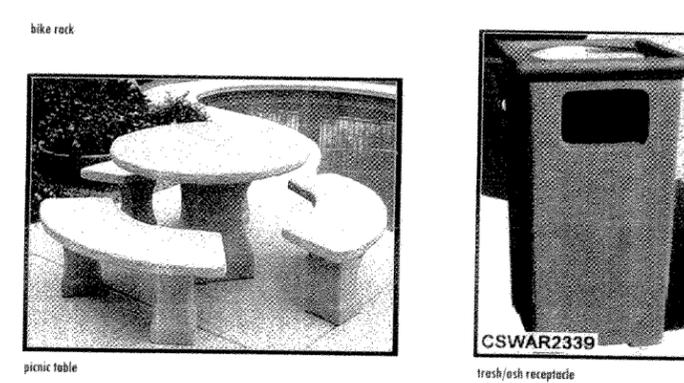


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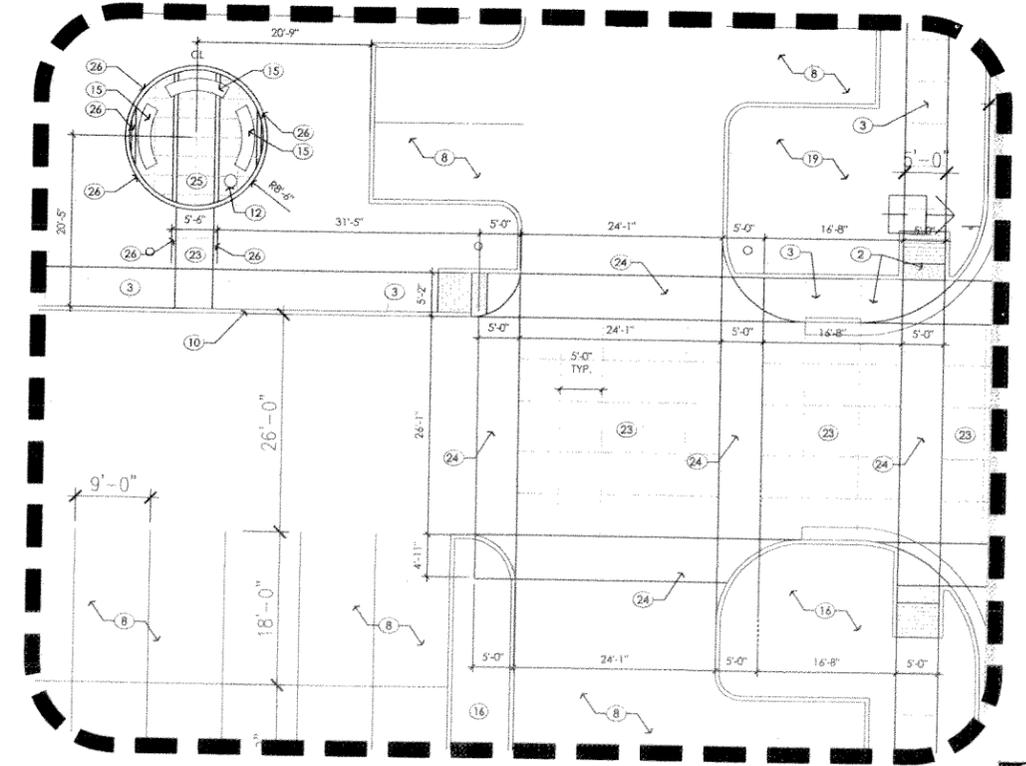
hardscape key

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- 29 - CONCRETE SCUPPER. PER CIVIL PLANS.

Hardscape Enlargement #1
scale: 1" = 10'-0"



Site Amenities (SEE HARDSCAPE KEY FOR MODEL AND COLOR)



Hardscape Enlargement #2
scale: 1" = 10'-0"

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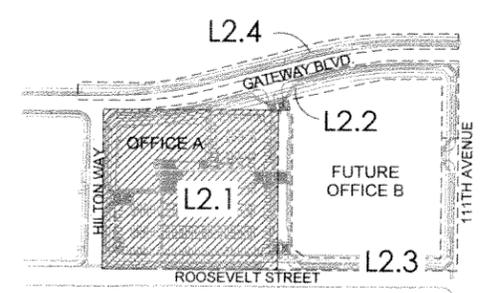
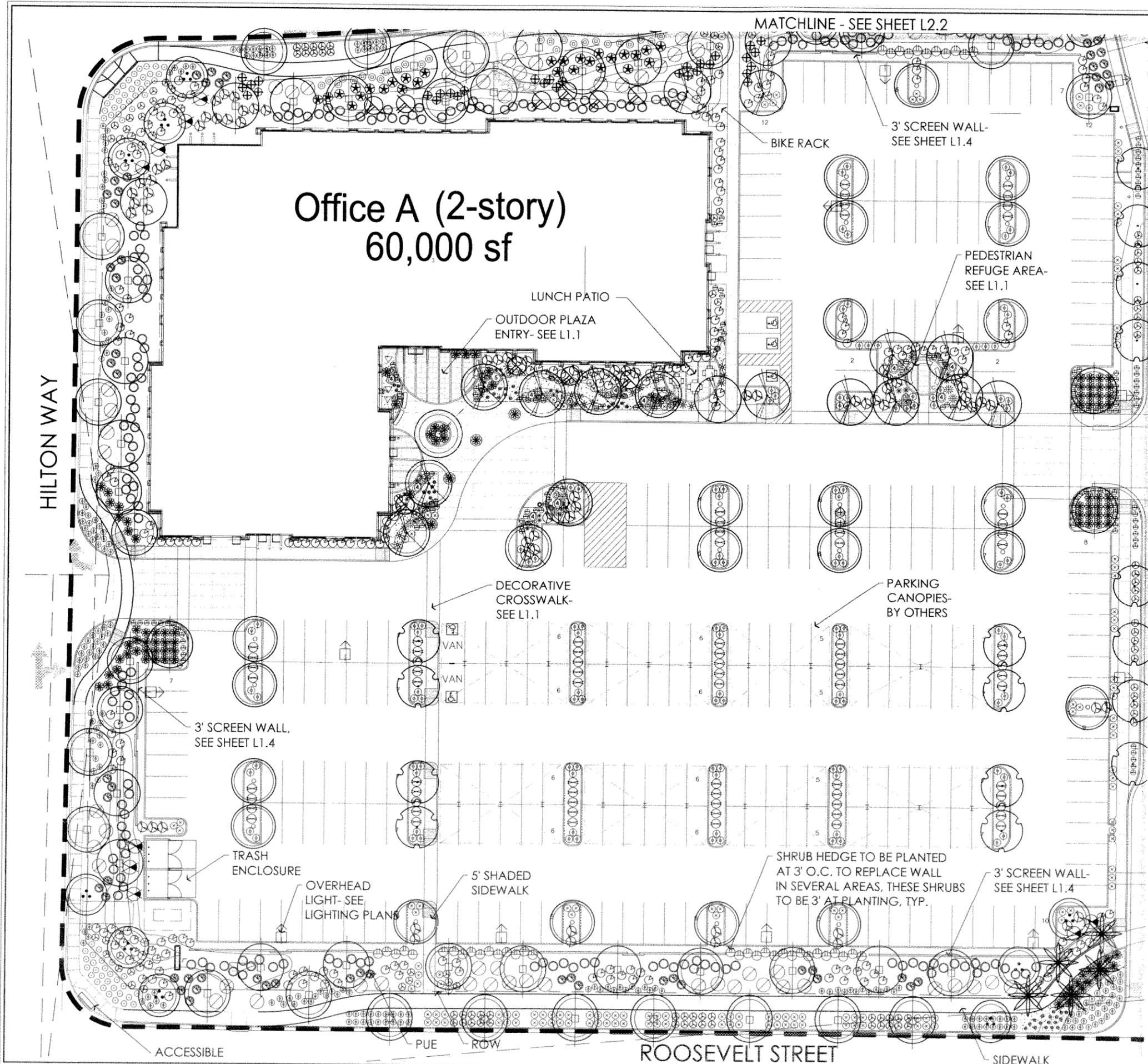
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AVONDALE, ARIZONA, U.S.A.
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sheet key
NO SCALE

PLANT LIST

SYMBOL	BOTANICAL/COMMON NAME	SIZE/REMARKS
(*) = NOT ON DROUGHT TOLERANT PLANT LIST. DO NOT USE IN RIGHT-OF-WAY.		
TREES		
○	ACACIA SMALL/ SWEET ACACIA	24" MULTI-TRUNK MATCHED
○	ACACIA STENOXYLLA SHOESTRING ACACIA	24" MULTI-TRUNK MATCHED
○	CERCIDIMUM SPP. 'DESERT MUSEUM' DESERT MUSEUM HYBRID	15 GAL/ 24" BOX, MULTI-TRUNK
○	CERCIDIMUM PRAECOX PALO BREA	24"/36"/48" BOX, MULTI-TRUNK
○	CHITALPA X TASHKENTENSIS CHITALPA	24" BOX, MULTI-TRUNK
○	PALM SP PALM	20" HT.
SHRUBS		
○	CAESALPINIA MEXICANA MEXICAN BIRD OF PARADISE	15 GAL
○	CAESALPINIA PULCHERRIMA RED BIRD OF PARADISE	5 GAL
○	EREMOPHILA MACULATA VALENTINE VALENTINE BUSH	5 GAL
○	LEUCOPHYLLUM LAEVIGATUM CHIHUAHUA SAGE	5 GAL
○	LEUCOPHYLLUM LANGMANIAE RIO BRAVO SAGE	5 GAL/15 GAL
○	NERARIUM OLEANDER 'PETITE PINK' PINK OLEANDER	5 GAL
○	RUELLIA BRITTONIANA BRITISH RUELLIA	1 GAL
ACCENTS/ VINES		
○	AGAVE DESMETIANA JACOB'S AGAVE	5 GAL
○	AGAVE VILMORIANA OCTOPUS AGAVE	5 GAL
○	ALOE X 'BLUE ELF' ALOE	1 GAL
○	CEREUS SPP CEREUS	15 GAL
○	DASYLIRION WHEELERI DESERT SPOON	1 GAL
○	ENCHINOCEBUS GRUSONII GOLDEN BARREL	5 GAL
○	HESPERALOE FUNIFERA GIANT HESPERALOE	5 GAL
○	HESPERALOE PARVIFLORA RED YUCCA	1 GAL
○	MUHLENBERGIA CAPILLARIS REGAL MIST	1 GAL
GROUNDCOVER		
○	ACACIA REDOLENS 'DESERT CARPET' TRAILING ACACIA	1 GAL @ 5' O.C.
○	CONVOLVULUS CNEORUM BUSH MORNING GLORY	1 GAL @ 3' O.C.
○	HYMENOXIS ACAULIS ANGELITA DAISY	1 GAL @ 2' O.C.
○	LANTANA 'NEW GOLD' 'NEW GOLD' LANTANA	1 GAL @ 3' O.C.
○	LANTANA MONTEVIDENSIS PURPLE TRAILING LANTANA	1 GAL @ 4' O.C.
○	PENSTEMON PARRYI PARRYI	1 GAL PER PLAN
○	PARRYI FIRECRACKER PENSTEMON	1 GAL @ 3' O.C.
○	RUELLIA 'KATIE' RUELLIA	1 GAL @ 3' O.C.
○	SHRUB MATERIAL WEATHERED GRANITE BOULDERS MATCH D.G.	12- 2 TON 1 TON AVG.
○	RIIP RAP, 6"- 8" ANGULAR RIIP RAP MATCH D.G. COLOR	2" MIN. DEPTH
○	DECOMPOSED GRANITE 1/2" SCREENED SADDLEBACK BROWN, IN ALL PLANTING AREAS	

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37964
JOSEPH M. YOUNG
LANDSCAPE ARCHITECT
KALIFORNIA, U.S.A.

Expires: 9/30/08

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PLANTING PLAN

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L2.1

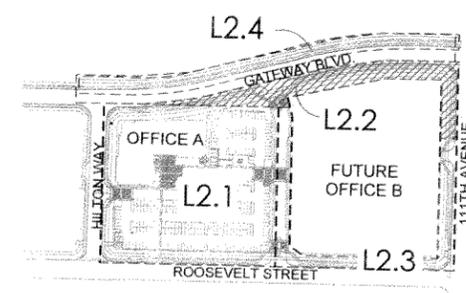
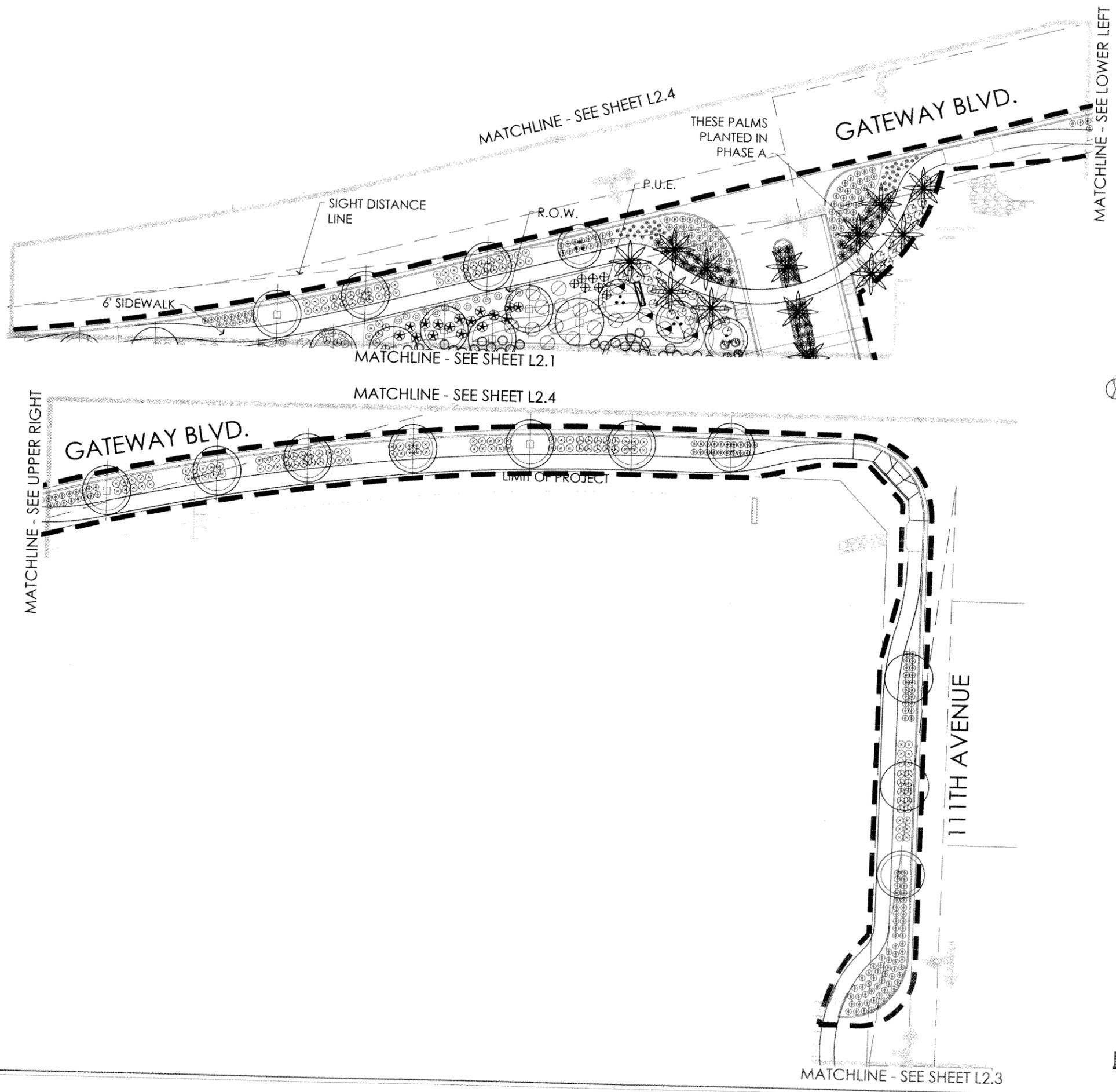
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planting plan

scale: 1" = 20'-0"

10 0 20





sheet key

NO SCALE

PLANT LIST
 SYMBOL BOTANICAL/COMMON NAME SIZE/REMARKS
 (*) = NOT ON DROUGHT TOLERANT PLANT LIST. DO NOT USE IN RIGHT-OF-WAY

- | SYMBOL | BOTANICAL/COMMON NAME | SIZE/REMARKS |
|-----------------------|--|------------------------------|
| TREES | | |
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| ⊙ | PALM SP. PALM | 20" HT. |
| SHRUBS | | |
| ⊙ | CAESALPINIA MEXICANA MEXICAN BIRD OF PARADISE | 15 GAL |
| ⊙ | CAESALPINIA FULCHERRIMA RED BIRD OF PARADISE | 5 GAL |
| ⊙ | EREMOPHILA MACULATA VALENTINE VALENTINE BUSH | 5 GAL |
| ⊙ | LEUCOPHYLLUM LAEVIGATUM CHIHUAHUA SAGE | 5 GAL |
| ⊙ | LEUCOPHYLLUM LANGMANIAE 'TRIO BRAVO' SAGE | 5 GAL/15 GAL |
| ⊙ | NERIUM OLEANDER 'PETITE PINK' PINK OLEANDER | 5 GAL |
| ⊙ | RUPELLIA BRITTONIANA BRITISH RUPELLIA | 1 GAL |
| ACCENTS/ VINES | | |
| ⊙ | AGAVE DESMETTIANA JACOBS AGAVE | 5 GAL |
| ⊙ | AGAVE VILMORIANA OCTOPUS AGAVE | 5 GAL |
| ⊙ | ALOE X 'BLUE ELF' ALOE | 1 GAL |
| ⊙ | CEREUS SPP. CEREUS | 15 GAL |
| ⊙ | DASYLIRION WHEELERI DESERT SPOON | 1 GAL |
| ⊙ | ENCHINOCEREUS GRUSONII GOLDEN BARREL | 5 GAL |
| ⊙ | HESPERALOE FUNIFERA GIANT HESPERALOE | 5 GAL |
| ⊙ | HESPERALOE PARVIFLORA RED YUCCA | 1 GAL |
| ⊙ | MULLENBERGIA CAPILLARIS REGAL MIST | 1 GAL |
| GROUNDCOVER | | |
| ⊙ | ACACIA REDOLENS 'DESERT CARPET' TRAILING ACACIA | 1 GAL @ 5' O.C. |
| ⊙ | CONVOLVULUS CNEORUM BUSH MORNING GLORY | 1 GAL @ 3' O.C. |
| ⊙ | HYMENOXIS ACALUIS * ANGELITA DAISY | 1 GAL @ 2' O.C. |
| ⊙ | LANTANA 'NEW GOLD' 'NEW GOLD' LANTANA | 1 GAL @ 3' O.C. |
| ⊙ | LANTANA MONTEVIDENSIS PURPLE TRAILING LANTANA | 1 GAL @ 4' O.C. |
| ⊙ | PENSTEMON PARRY/EAATON PARRY'S FIRECRACKER PENSTEMON | 1 GAL PER PLAN |
| ⊙ | RUPELLIA 'KATIE' RUPELLIA | 1 GAL @ 3' O.C. |
| INERT MATERIAL | | |
| ⊙ | WEATHERED GRANITE BOULDERS MATCH D.G. | 1/2- 2 TON
1 TON AVG. |
| ⊙ | 6" RIP RAP- 6"-8" ANGULAR RIP RAP MATCH D.G. COLOR | |
| ⊙ | DECOMPOSED GRANITE 1/2" SCREENED, SADDLEBACK BROWN. IN ALL PLANTING AREAS. | 2" MIN. DEPTH |

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 AVONDALE, AZ**

PLANTING PLAN

CAVAN

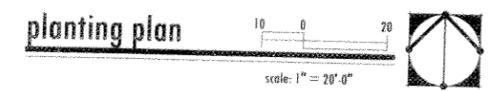
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 8 of 19



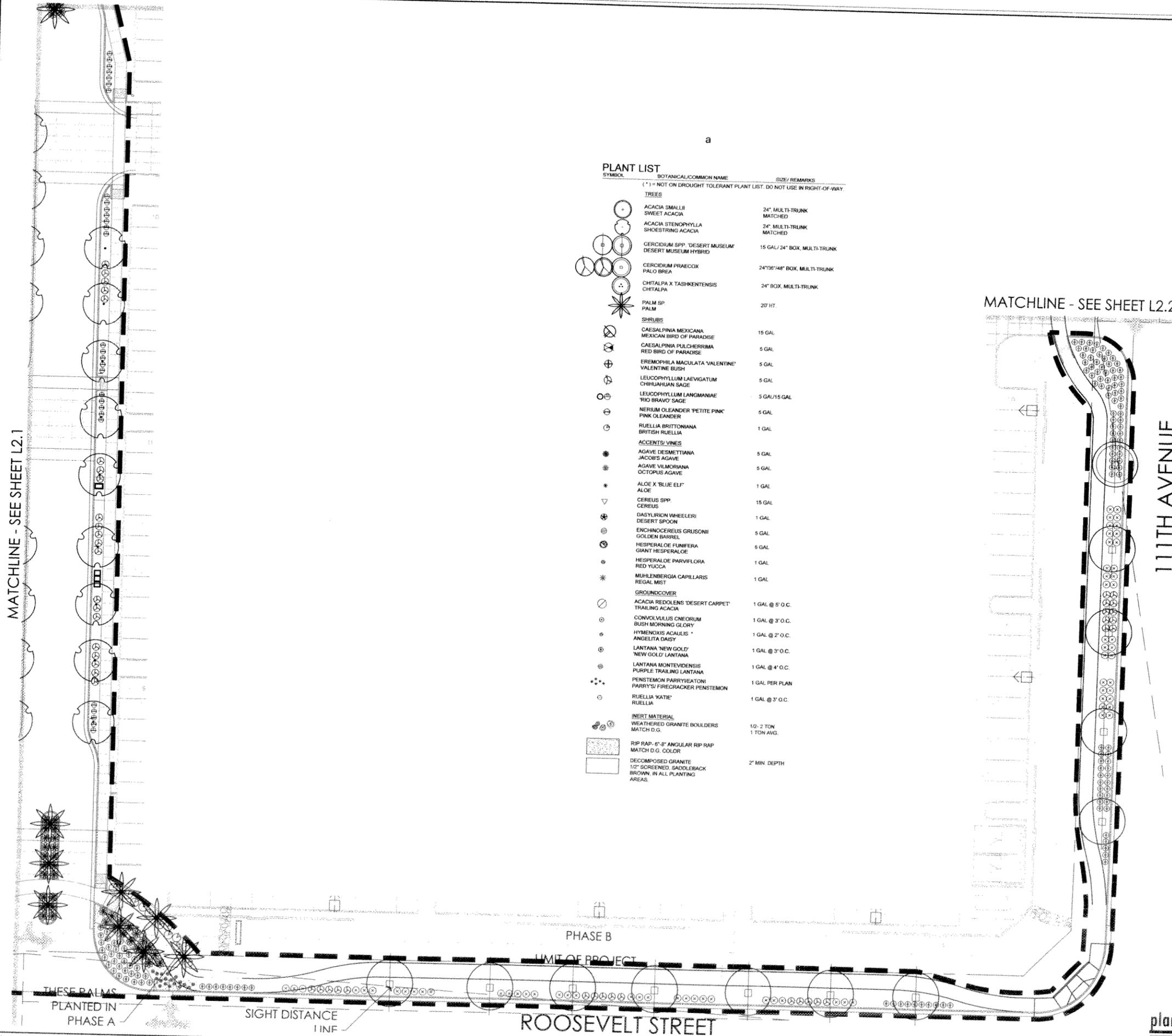
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MATCHLINE - SEE SHEET L2.1



PLANT LIST

SYMBOL BOTANICAL/Common Name SIZE/REMARKS
 (*) = NOT ON DROUGHT TOLERANT PLANT LIST. DO NOT USE IN RIGHT-OF-WAY.

TREES

- ACACIA SMALLII SWEET ACACIA 24" MULTI-TRUNK MATCHED
- ACACIA STENOPHYLLA SHOESTRING ACACIA 24" MULTI-TRUNK MATCHED
- ⊙ CERCIDIUM SPP. 'DESERT MUSEUM' DESERT MUSEUM HYBRID 15 GAL/ 24" BOX, MULTI-TRUNK
- ⊙ CERCIDIUM PRAECOX PALO BRISA 24" 756"/48" BOX, MULTI-TRUNK
- ⊙ CHITALPA X TASHKENTENSIS CHITALPA 24" BOX, MULTI-TRUNK
- ✱ PALM SP. PALM 20' HT.

SHRUBS

- ⊗ CAESALPINIA MEXICANA MEXICAN BIRD OF PARADISE 15 GAL
- ⊗ CAESALPINIA PULCHERRIMA RED BIRD OF PARADISE 5 GAL
- ⊕ EREMOPHILA MACULATA 'VALENTINE' VALENTINE BUSH 5 GAL
- ⊕ LEUCOPHYLLUM LAEVIGATUM CHIHUAHUA SAGE 5 GAL
- ⊕ LEUCOPHYLLUM LANGMANIAE 'RIO BRAVO' SAGE 5 GAL/15 GAL
- ⊕ NEROLIUM OLEANDER 'PETITE PINK' PINK OLEANDER 5 GAL
- ⊕ RUELLIA BRITTONIANA BRITISH RUELLIA 1 GAL

ACCENTS/ VINES

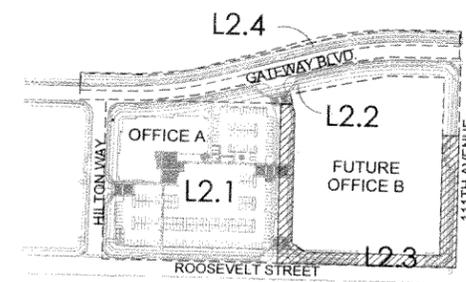
- AGAVE DESMETTIANA JACOBS AGAVE 5 GAL
- AGAVE VILCORNIANA OCTOPUS AGAVE 5 GAL
- ✱ ALOE X 'BLUE ELF' ALOE 1 GAL
- ▽ CEREUS SPP. CEREUS 15 GAL
- ⊕ DASYLIRON WHEELERI DESERT SPOON 1 GAL
- ⊕ ENCHINOCEBUS GRUSONII GOLDEN BARRREL 5 GAL
- ⊕ HESPERALOE FUNIFERA GIANT HESPERALOE 5 GAL
- ⊕ HESPERALOE PARVIFLORA RED YUCCA 1 GAL
- ✱ MUELENBERGIA CAPILLARIS REGAL MIST 1 GAL

GROUNDCOVER

- ACACIA REDOLENS 'DESERT CARPET' TRAILING ACACIA 1 GAL @ 5' O.C.
- CONVULVULUS CNEORUM BUSH MORNING GLORY 1 GAL @ 3' O.C.
- HYMENOXIS ACALUIS 'ANGELITA DAISY' 1 GAL @ 2' O.C.
- LANTANA 'NEW GOLD' 'NEW GOLD' LANTANA 1 GAL @ 3' O.C.
- LANTANA MONTEVIDENSIS PURPLE TRAILING LANTANA 1 GAL @ 4' O.C.
- ⊙ PENSTEMON PARRYVEATONI PARRY'S FIRECRACKER PENSTEMON 1 GAL PER PLAN
- RUELLIA 'KATIE' RUELLIA 1 GAL @ 3' O.C.

INERT MATERIAL

- ⊙ WEATHERED GRANITE BOULDERS MATCH D.G. 1/2- 2 TON 1 TON AVG.
- ⊙ RIP RAP- 6"-8" ANGULAR RIP RAP MATCH D.G. COLOR
- ⊙ DECOMPOSED GRANITE 1/2" SCREENED, SADDLEBACK BROWN, IN ALL PLANTING AREAS. 2" MIN DEPTH



sheet key

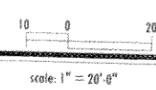
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MATCHLINE - SEE SHEET L2.2

111TH AVENUE

ROOSEVELT STREET

planting plan



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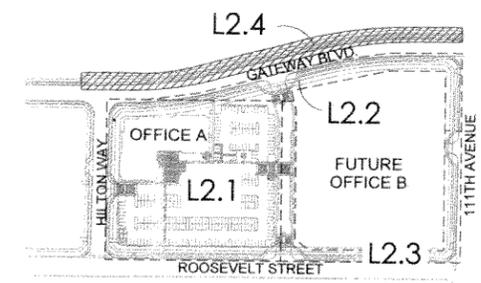
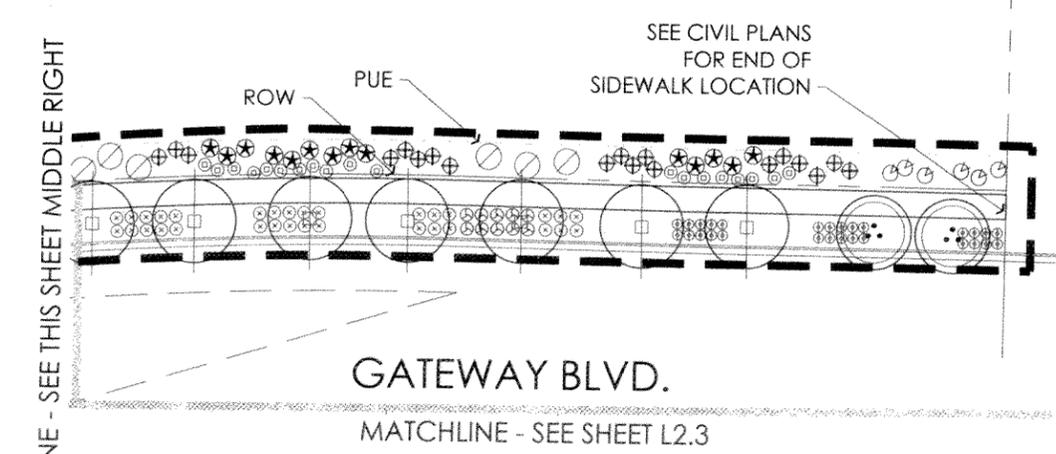
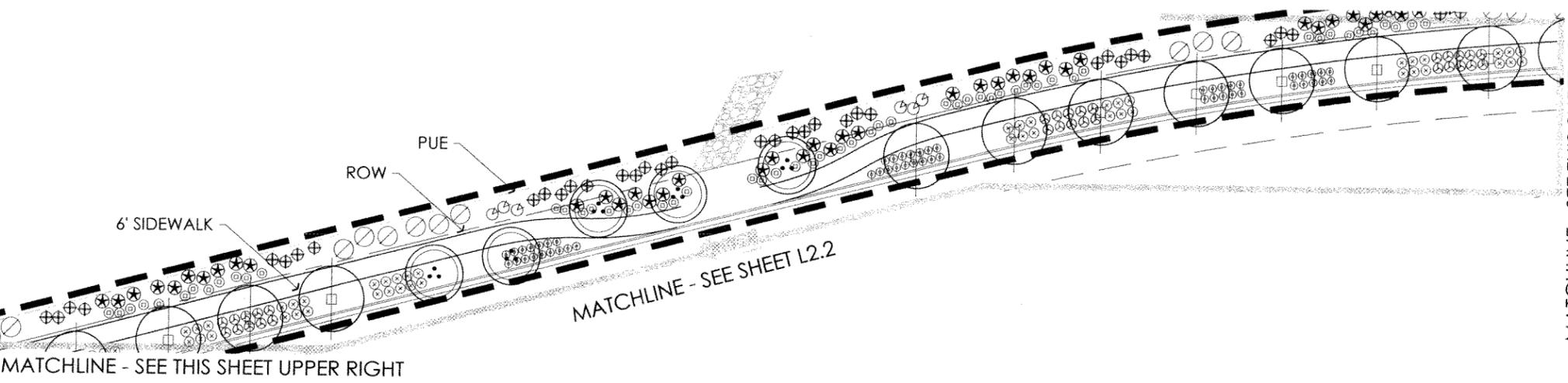
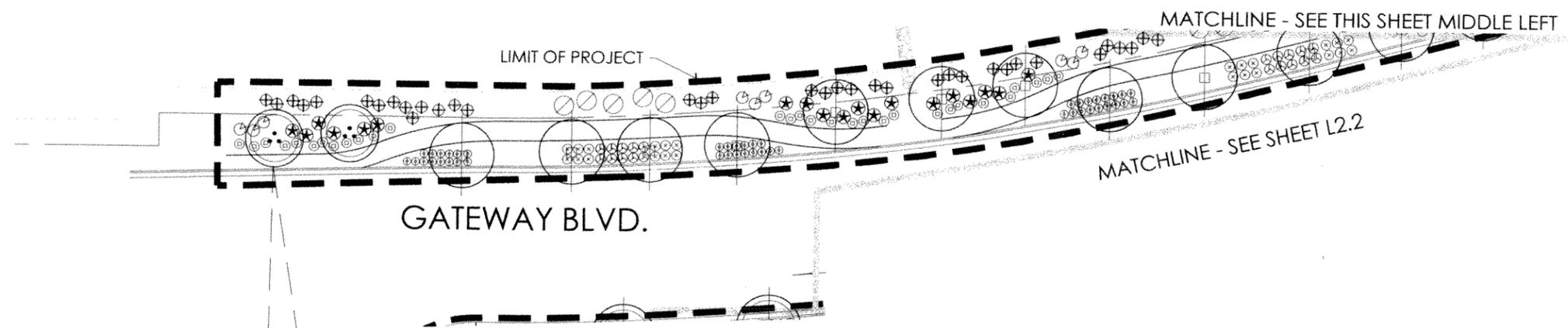
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 LANDSCAPE ARCHITECT
 ARIZONA U.S.A.
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 9 of 19



sheet key

NO SCALE

PLANT LIST

SYMBOL BOTANICAL/Common Name SIZE/REMARKS

(*) = NOT ON DROUGHT TOLERANT PLANT LIST. DO NOT USE IN RIGHT-OF-WAY

TREES

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CERCIDRUM PRAECOX PALO BREA 24"/36"/48" BOX, MULTI-TRUNK

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NERIUM OLEANDER 'PETITE PINK' PINK OLEANDER 5 GAL

RUELLIA BRITTONIANA BRITISH RUELLIA 1 GAL

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AGAVE DESMETTIANA JACOBS AGAVE 5 GAL

AGAVE VILMORIANA OCTOPUS AGAVE 5 GAL

ALOE X 'BLUE ELF' ALOE 1 GAL

CEREUS SPP. CEREUS 15 GAL

DASYLIRION WHEELERI DESERT SPOON 1 GAL

ENCHINOCEBUS GRISONII GOLDEN BARREL 5 GAL

HEPERALOE FUNIFERA GIANT HESPERALOE 5 GAL

HEPERALOE PARVIFLORA RED YUCCA 1 GAL

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INERT MATERIAL

WEATHERED GRANITE BOULDERS MATCH D.G. 1/2-2 TON 1 TON AVG.

RIP RAP- 6"-8" ANGULAR RIP RAP MATCH D.G. COLOR

DECOMPOSED GRANITE 1/2" SCREENED, SHADE/BACK BROWN, IN ALL PLANTING AREAS. 2" MIN. DEPTH

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PLANTING PLAN

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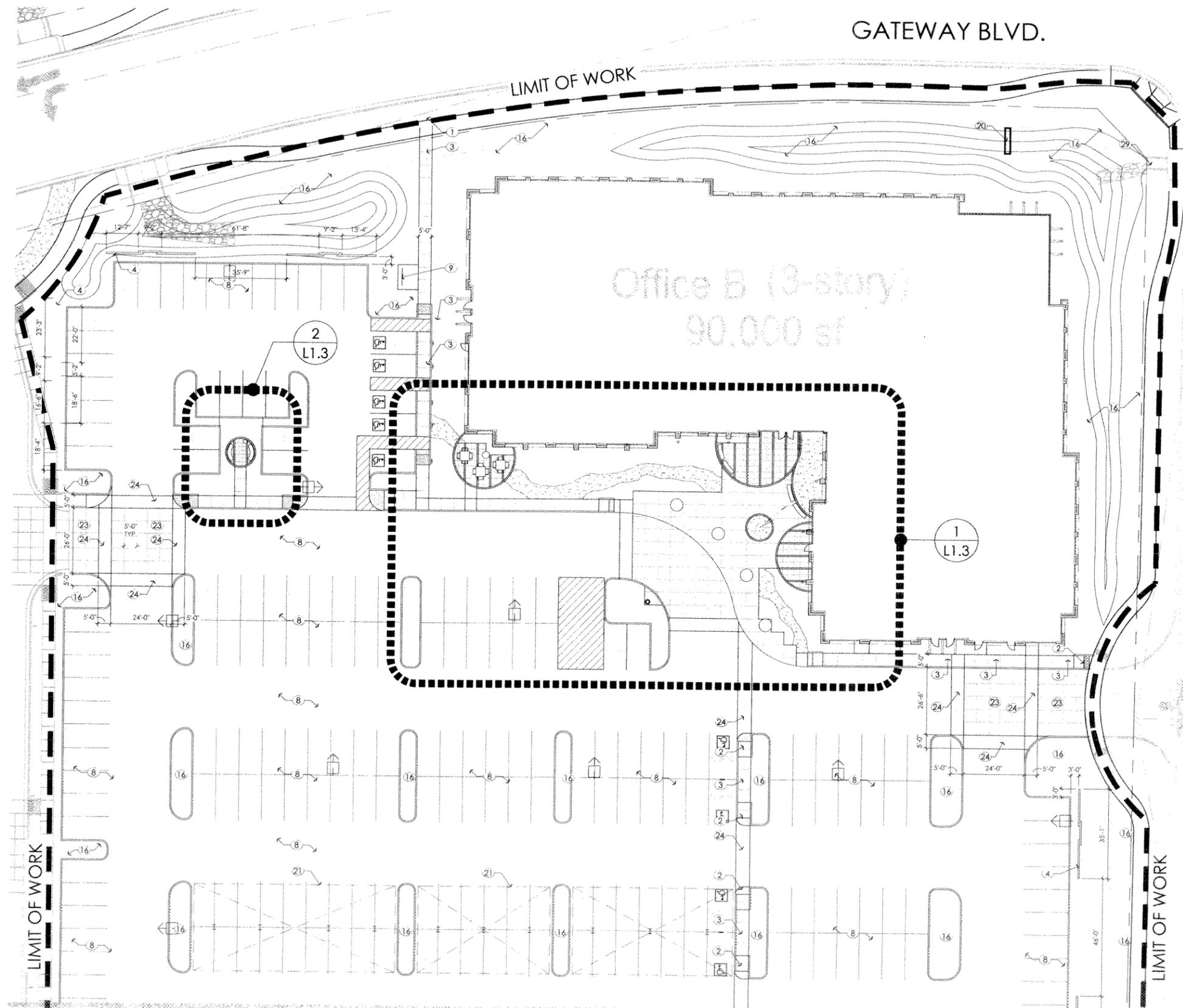
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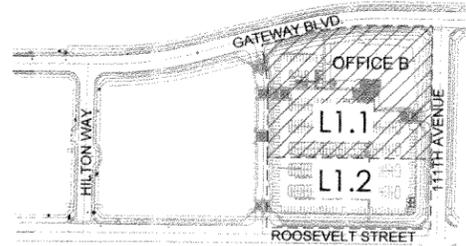
planting plan

scale: 1" = 20'-0"





GATEWAY BLVD.



sheet key
NO SCALE

hardscape key

- 1 - SIDEWALK. (NATURAL GREY COLOR) SEE DETAIL 1/ L4. 1.
- 2 - ACCESSIBLE RAMP. PER CIVIL PLANS. (COLOR TO MATCH ADJACENT CONCRETE). SEE DETAILS ON SHEET L4.1.
- 3 - SIDEWALK. (INTEGRAL COLOR "CONCRETE 'A'" SEE #22)
- 4 - 3' C.M.U. SCREEN/ ACCENT WALL. SEE DETAILS 3 & 4, SHEET #22.
- 5 - FLAG POLE. (BY OTHERS)
- 6 - (S.V.T.) SIGHT VISIBILITY TRIANGLE. PER CIVIL PLANS.
- 7 - ELECTRICAL EQUIPMENT. SEE ELECTRICAL PLANS.
- 8 - PARKING LOT/ ROADWAY. PER CIVIL PLANS.
- 9 - BIKE RACK (WABASH VALLEY BL-101 SURFACE MOUNT; COLOR: BROWN)
- 10 - CURB. PER CIVIL PLANS.
- 11 - PLANTER WITH LIGHT PER ARCHITECTURAL PLANS.
- 12 - TRASH/ASH RECEPTACLE. PHOENIX PRECAST CSWAR2339- BUFF COLOR CONCRETE
- 13 - NOT USED
- 14 - (R.O.W.) RIGHT-OF-WAY.
- 15 - STONE BENCH. SEE DETAIL 5/ L4. 1.
- 16 - LANDSCAPED AREA. SEE PLANTING SHEETS.
- 17 - LANDSCAPE EASEMENT.
- 18 - OVERHEAD LIGHT. SEE ELECTRICAL PLANS.
- 19 - 6"-8" ANGULAR RIP-RAP. COLOR TO MATCH D.G. SEE PLANTING PLAN.
- 20 - MONUMENT SIGN. (BY OTHERS)
- 21 - CAR SHELTER. (PRE-FABRICATED) SEE DETAILS 9 & 10, SHT. L4. 2.
- 22 - FIRE HYDRANT. SEE CIVIL PLANS.
- 23 - CONCRETE 'A'. (INTEGRAL DAVIS COLOR "ADOBE - 61078")
- 24 - CONCRETE 'B'. (INTEGRAL DAVIS COLOR "RUSTIC BROWN - 6058")
- 25 - CONCRETE 'C'. (INTEGRAL DAVIS COLOR "SANDSTONE - 5237")
- 26 - STONE TILE. (BY ARIZONA TILE, COLOR:"MELBOURNE")
- 27 - TRASH ENCLOSURE. SEE DETAILS 6 TO 8, SHEET L4. 1.
- 28 - SITE FURNITURE- TABLES AND CHAIRS. PHOENIX PRECAST- SST4530-B BUFF COLOR CONCRETE
- 29 - CONCRETE SCUPPER. PER CIVIL PLANS.

CONTACT: PHOENIX PRECAST
FOR SITE FURNITURE (602) 569-6090
CONTACT: DAVE BANG ASSOCIATES INC.
FOR AMENITIES. (480) 892-2266

open space calculations

- a. Total Open Space (includes landscape and hardscape)
104,550 s.f. For total site
- b. Total pedestrian areas: 6,600 s.f.
(entry plaza, lunch patio, refuge area)

11TH AVENUE

MATCHLINE - SEE SHEET L1.2

hardscape plan
scale: 1" = 20'-0"

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landscape architecture
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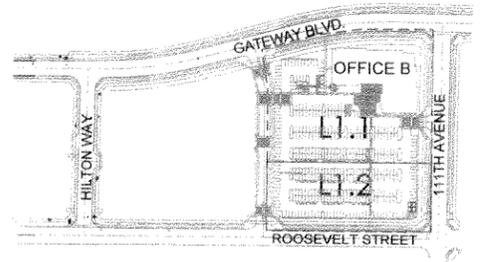
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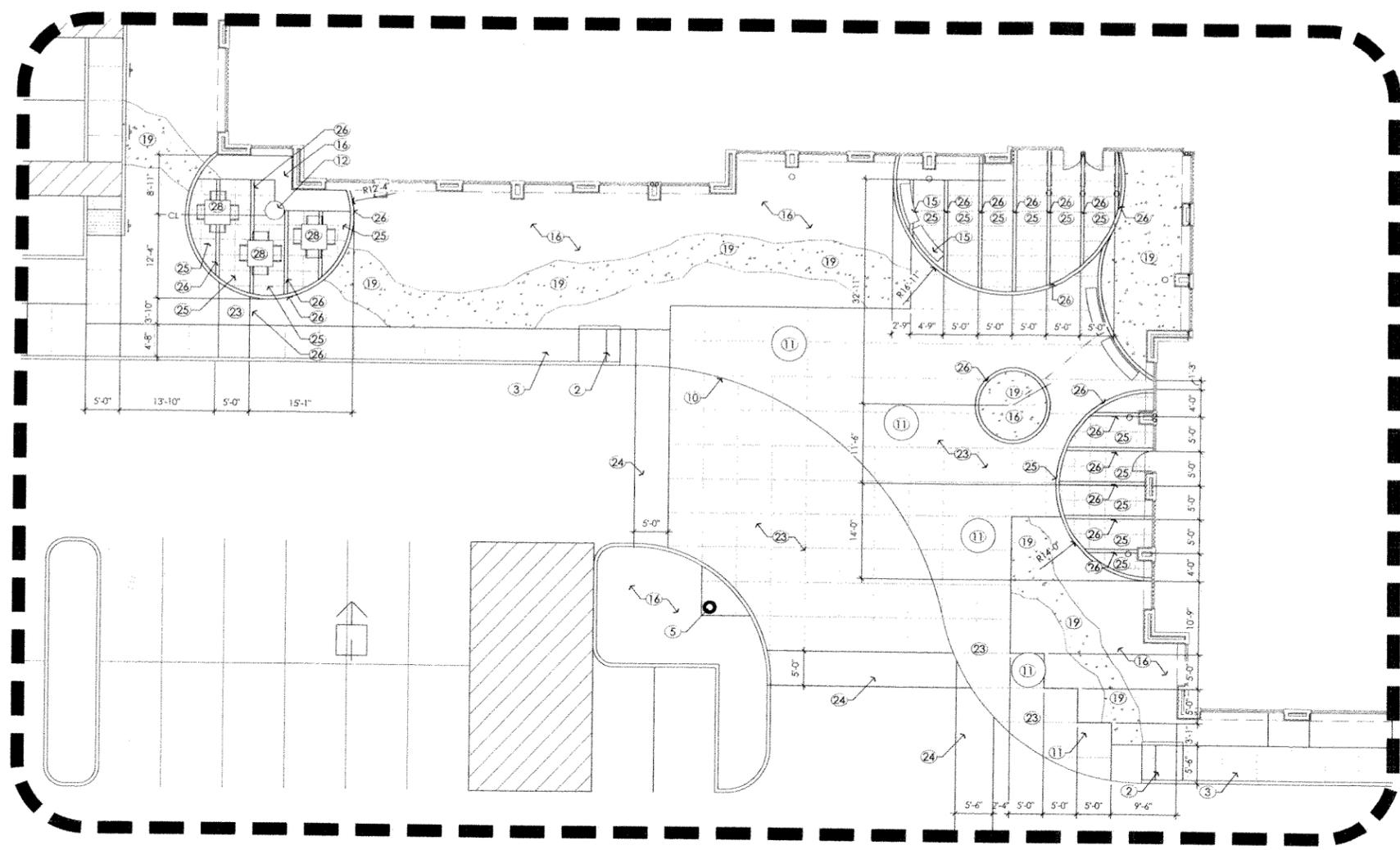


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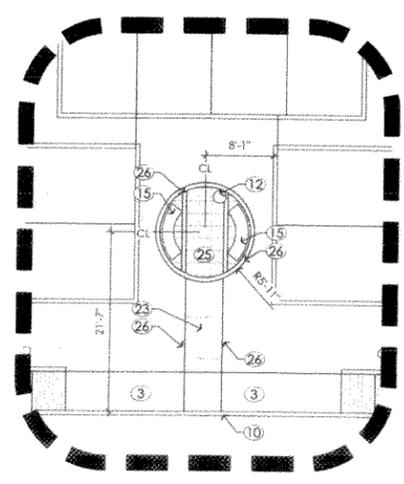
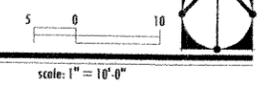
hardscape key

- ① - SIDEWALK. (NATURAL GREY COLOR) SEE DETAIL 1/ L4. 1.
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- ㉒ - FIRE HYDRANT. SEE CIVIL PLANS.
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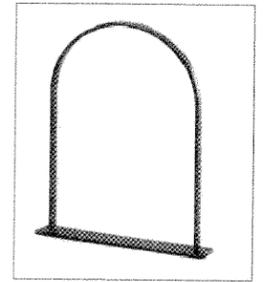
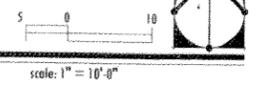
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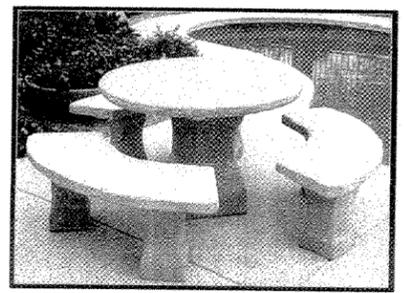
Hardscape Enlargement #1



Hardscape Enlargement #2



bike rack



picnic table



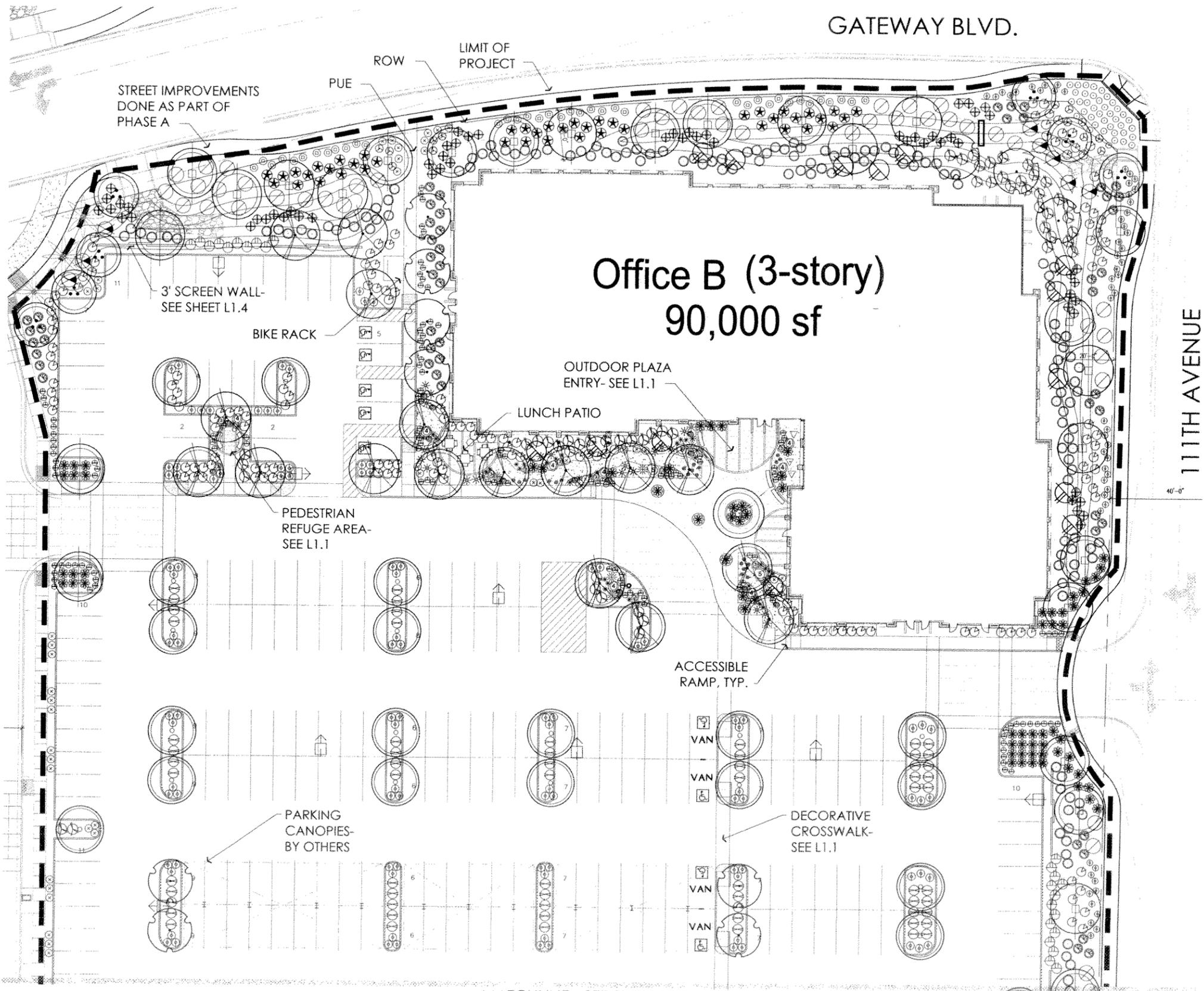
CSWAR2339

trash/ash receptacle

Site Amenities (SEE HARDSCAPE KEY FOR MODEL AND COLOR)



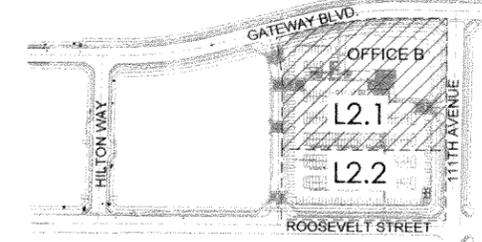
GATEWAY BLVD.



Office B (3-story)
90,000 sf

111TH AVENUE

MATCHLINE - SEE SHEET L2.2



sheet key

NO SCALE

PLANT LIST

SYMBOL	BOTANICAL/COMMON NAME	SIZE/REMARKS
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○	DECOMPOSED GRANITE 1/2" SCREENED, SADDLEBACK BROWN, IN ALL PLANTING AREAS	2" MIN. DEPTH

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REGISTERED LANDSCAPE ARCHITECT

37964
JOSEPH M. YOUNG

Arizona, U.S.A.

Expires: 9/30/08

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PLANTING PLAN

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1-800-STAKE-IT
(Sherida Maricopa County)

revision	date

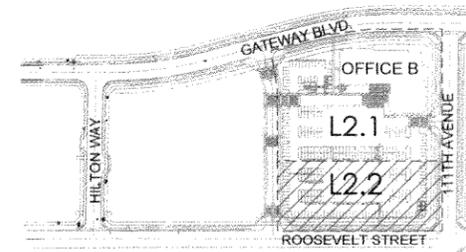
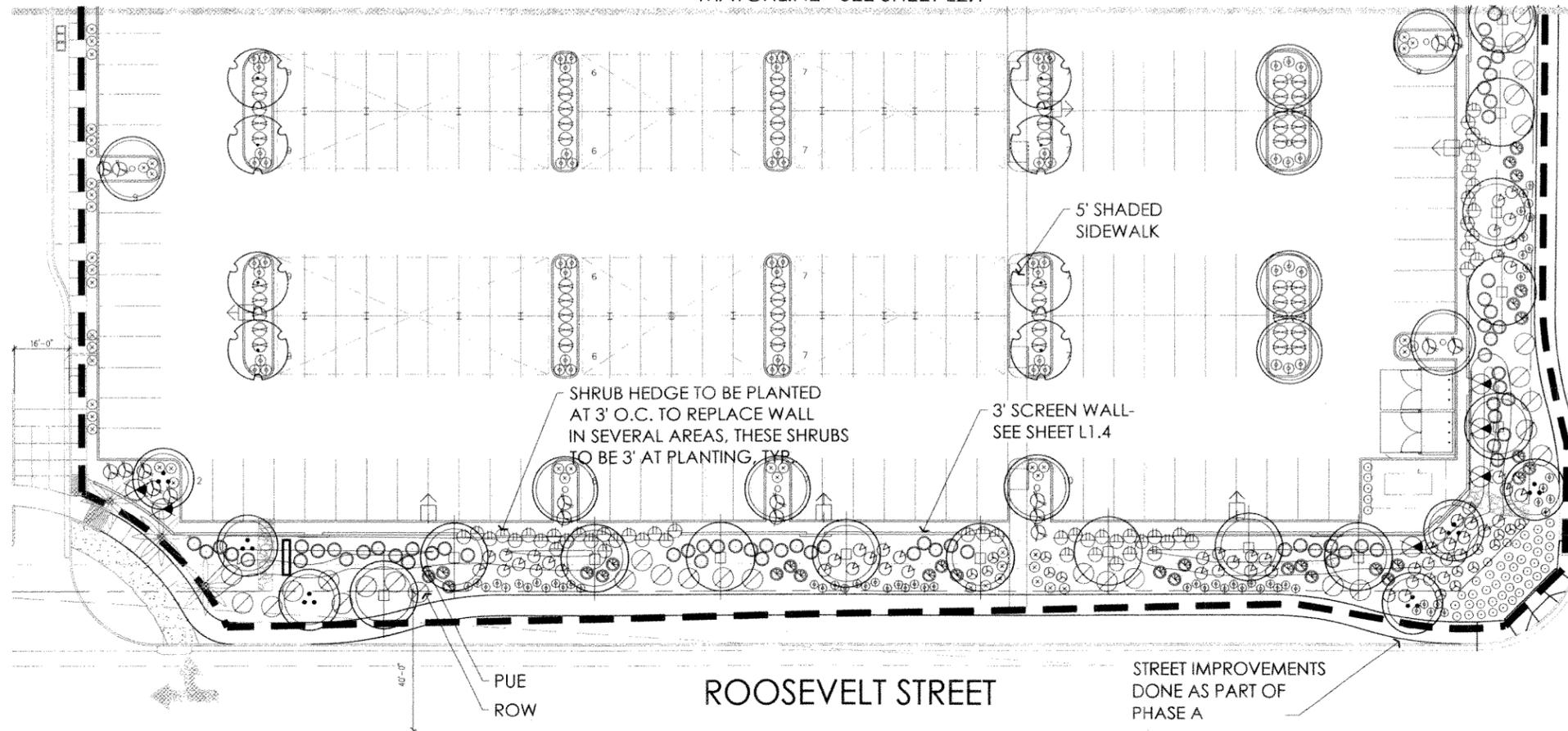
date: 04/18/08
job no.: 0712.1
drawn: STAFF
sheet #

L2.1
5 of 13

planting plan

scale: 1" = 20'-0"

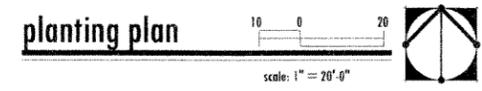
MATCHLINE - SEE SHEET L2.1



sheet key
NO SCALE

PLANT LIST
SYMBOL BOTANICAL/COMMON NAME SIZE/REMARKS
(*) = NOT ON DROUGHT TOLERANT PLANT LIST. DO NOT USE IN RIGHT-OF-WAY

SYMBOL	BOTANICAL/COMMON NAME	SIZE/REMARKS
TREES		
(Symbol)	ACACIA SMALL/ SWEET ACACIA	24" MULTI-TRUNK MATCHED
(Symbol)	ACACIA STENOPHYLLA SHOESTRING ACACIA	24" MULTI-TRUNK MATCHED
(Symbol)	CERODIUM SPP. 'DESERT MUSEUM' DESERT MUSEUM HYBRID	15 GAL/ 24" BOX, MULTI-TRUNK
(Symbol)	CERODIUM PRAECOX PALO BREA	24"/50"/48" BOX, MULTI-TRUNK
(Symbol)	CHITALPA X TASHKENTENSIS CHITALPA	24" BOX, MULTI-TRUNK
SHRUBS		
(Symbol)	CAESALPINIA MEXICANA MEXICAN BIRD OF PARADISE	15 GAL
(Symbol)	CAESALPINIA PULCHERRIMA RED BIRD OF PARADISE	5 GAL
(Symbol)	EREMOPHILA MACULATA 'VALENTINE' VALENTINE BUSH	5 GAL
(Symbol)	LEUCOPHYLLUM LAEVIGATUM CHIHUAHUAN SAGE	5 GAL
(Symbol)	LEUCOPHYLLUM LANGMANIAE 'RIO BRAVO' SAGE	5 GAL/15 GAL
(Symbol)	NERIUM OLEANDER 'PETITE PINK' PINK OLEANDER	5 GAL
(Symbol)	RUPELLIA BRITTONIANA BRITISH RUPELLIA	1 GAL
ACCENTS/ VINES		
(Symbol)	AGAVE DESMETIANA JACOBS AGAVE	5 GAL
(Symbol)	AGAVE VILMORIANA OCTOPUS AGAVE	5 GAL
(Symbol)	ALOE X 'BLUE ELF' AL OE	1 GAL
(Symbol)	CEREUS SPP. CEREUS	15 GAL
(Symbol)	DASYLIRION WHEELERI DESERT SPOON	1 GAL
(Symbol)	ENCHINOCEBUS GRUSONII GOLDEN BARREL	5 GAL
(Symbol)	HESPERALOE FUNIFERA GIANT HESPERALOE	5 GAL
(Symbol)	HESPERALOE PARVIFLORA RED YUCCA	1 GAL
(Symbol)	MUHLENBERGIA CAPILLARIS REGAL MIST	1 GAL
GROUNDCOVER		
(Symbol)	ACACIA REDOLENS 'DESERT CARPET' TRAILING ACACIA	1 GAL @ 5' O.C.
(Symbol)	CONVOLVULUS OMBRUM BUSH MORNING GLORY	1 GAL @ 3' O.C.
(Symbol)	HYMENOXIS ACALILIS 'ANGELITA DAISY'	1 GAL @ 2' O.C.
(Symbol)	LANTANA 'NEW GOLD' 'NEW GOLD' LANTANA	1 GAL @ 3' O.C.
(Symbol)	LANTANA MONTEVIDENSIS PURPLE TRAILING LANTANA	1 GAL @ 4' O.C.
(Symbol)	PENSTEMON PARRYSEATONI PARRY'S FIRECRACKER PENSTEMON	1 GAL PER PLAN
(Symbol)	RUPELLIA 'KATIE' RUPELLIA	1 GAL @ 3' O.C.
INERT MATERIAL		
(Symbol)	WEATHERED GRANITE BOULDERS MATCH D.G.	1/2- 2 TON 1 TON AVG.
(Symbol)	RIIP RAP- 6"-8" ANGULAR RIIP RAP MATCH D.G. COLOR	
(Symbol)	DECOMPOSED GRANITE 1/2" SCREENED, SADDLEBACK BROWN, IN ALL PLANTING AREAS	2" MIN. DEPTH



111TH AVENUE

ROOSEVELT STREET

STREET IMPROVEMENTS DONE AS PART OF PHASE A

LVA urban design studio
landscape architecture
120 South 4th Avenue, Suite 203, Phoenix, AZ 85004
Phone: 480.944.9894 Fax: 480.944.3332



AVONDALE GATEWAY - OFFICE B
LANDSCAPE IMPROVEMENT PLANS
AVONDALE, AZ
PLANTING PLAN
CAVAN
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Call Two Working Boys Before You Dig
602-263-1100
1-800-STAKE-IT
(Excludes Message Costs)

revision	date

date: 04/18/08
job no.: 0712.1
drawn: STAFF
sheet # **L2.2**
6 of 13



SECTION - NORTH SIDE - 1/10/08



CAVAN

Architect: Cavan
 1517
 Building Consultant



CITY OF AVONDALE
MAY 9 2008
DEVELOPMENT SERVICES

CAVAN

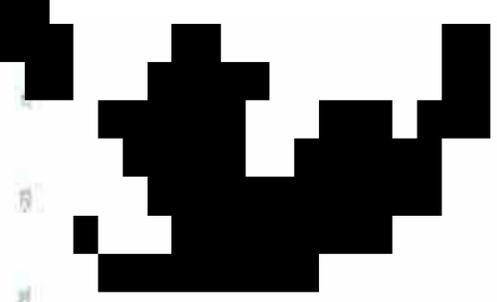
Avondale Property & City
15115
15115
15115



CITY OF AVONDALE
 MAY 9 2008
 DEVELOPMENT SERVICES

CAVAN

AVONDALE CITY CLERK
 J. J. J. BUILDING DEPARTMENT



- 40'-0"
- 38'-0" Floor
- 34'-0"
- 32'-0" Floor
- 27'-0" Floor
- Roof

CITY OF AVONDALE
 MAY 9 2008
 DEVELOPMENT SERVICES

CAVAN

AVONDALE BUILDING A DIV
 OF THE CITY OF AVONDALE





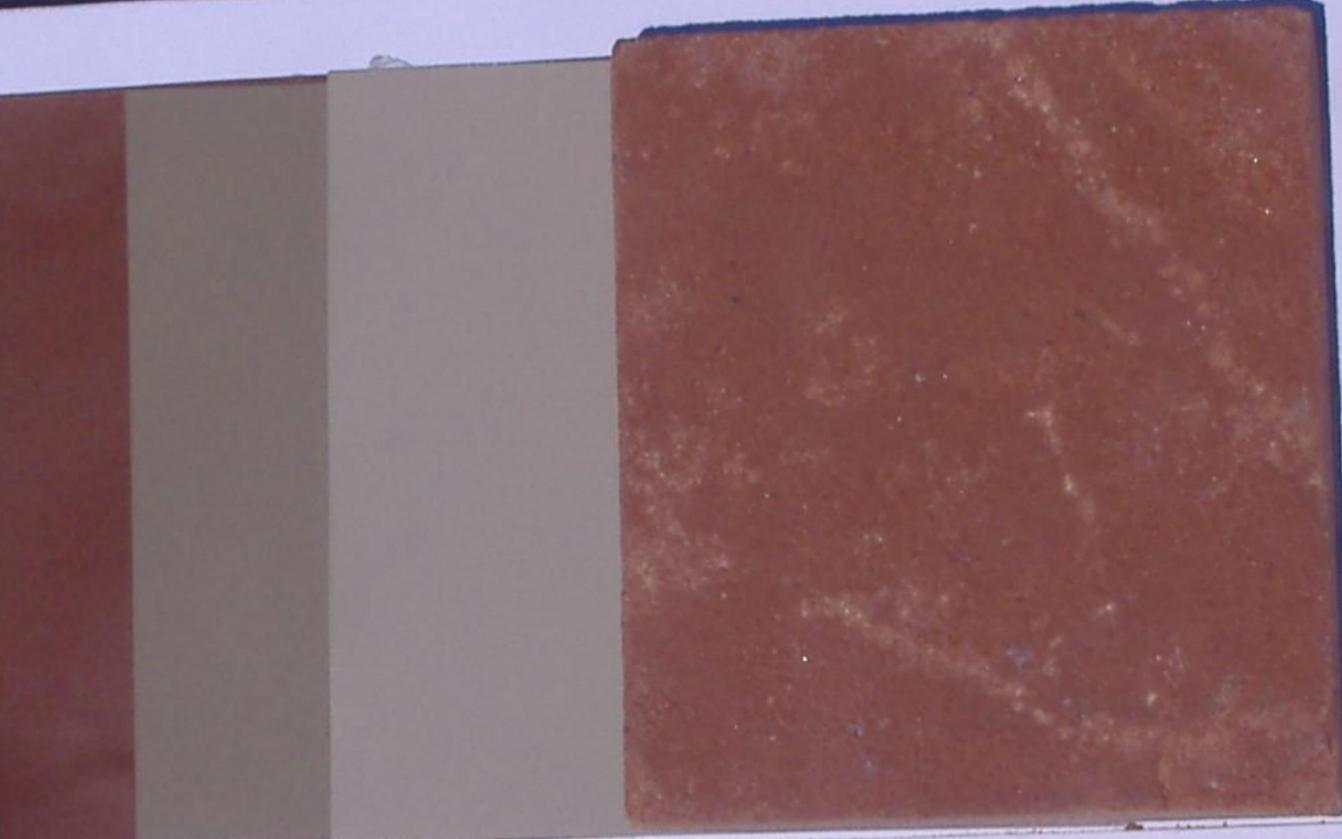
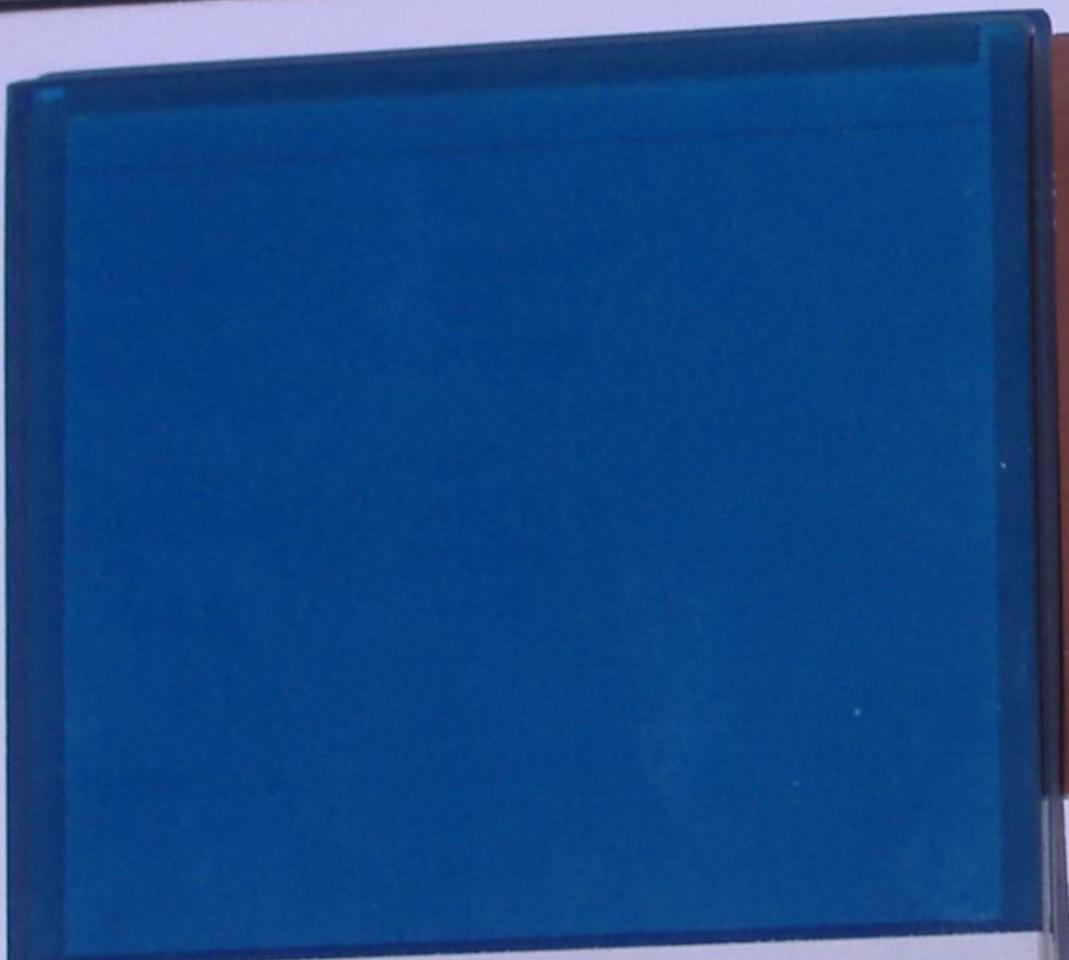








Exhibit H



(1) COATED*

1/4" (6mm) ACH Versalux Blue 2000 T Subdued Silver Reflectance		1" Insulated Unit With Clear	
1/4" Monolithic			
Shading Coefficient	0.45	0.34	
% Visible Light Transmittance	29	26	
LSG Ratio	0.74	0.90	
U-Values Summer	0.92	0.50	
U-Values Winter	1.02	0.47	

Versalux
 FLOAT GLASS - ACH
 More information available at
www.visteon.com/floatglass or
 1-800-331-2607
 *Performance values for product
 glazed coated side to exterior (1)
 Data Generated by LBNL
 Window 5.2 v.5.2.17 Analysis



GL-1

MT-2

Avondale

GATEWAY CENTER

PARCEL I

COMPREHENSIVE SIGN PROGRAM

May 5, 2008

Prepared for:

Cavan Real

Estate Investments

15333 North Pima Road, Suite 305

Scottsdale, Arizona 85260

Designed and Prepared by:



JRC DESIGN

4634 North 44th Street

Phoenix, Arizona 85018



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Introduction

Avondale Gateway Center is located between Avondale Boulevard and 107th Avenue, just south of the I-10 freeway. It is a Mixed-Use development including a variety of commercial uses including office, hotel, restaurant, and retail. The project is zoned PAD.

This Comprehensive Sign Program has been established for Parcel 1 of this project, totaling approximately 9.8 acres of area. The sign program contained herein has been developed with the purpose of assuring an outstanding experience to the mutual benefit of the general public and all Avondale Gateway Center Parcel 1 tenants.

Properly adhered to, the criteria will ensure that project and tenant identification is consistent in quality, and is compatible with the overall architectural character of the project and surrounding neighborhoods.

Owner:

Avondale Gateway Center
c/o Cavan Real Estate Investments
15333 North Pima Road, Suite 305
Scottsdale, Arizona 85260
p: 480.627.7000
f: 480.627.7010

Contact:

Luigi Benvin



Colors and Materials

The sign system is derived from the architecture creating a cohesive design package throughout the project.

The project colors used in the architectural package will also be the basis for the colors used throughout the signage package to unify the signage within the site.



FRAZEE 8776N
"Blacksmith"



METAL PANEL & ACCENTS
Brushed Aluminum Finish



METAL PANEL
"Light Champagne"



ELDORADO STONE
"Castaway"

Freestanding Sign Matrix

User Type	Type	Quantity	Maximum Height	Maximum Area	Description	Location
Master Development Signs	Freeway Pylon (office and commercial use)	Two (2)	75 Feet	Total Signage, per face, not to exceed 45% of the gross sign area	Six (6) tenant panels and Identification of Master Development	Adjacent to Interstate 10 Freeway as per plans.
	Entrance Monuments	Two (2)	8 feet	60 square feet	Identification of Master Development Only	NW and SW corner of 107th Avenue and Gateway Boulevard.
	On-site Campus Directories	As required to provide safe traffic flow	8 feet	32 square feet	Directional information to buildings, facilities, etc.	As per plans
	On-site Directionals	As required to provide safe traffic flow	4 feet	12 square feet	Information for private, public, delivery entrances and exits.	As per plans
Employment/ Commercial	Multi-Tenant Monument	Two (2)	14 feet	80 square feet	Up to six (6) tenant panels and identification of project	As per plans
	Single-Tenant Monument (banks, restaurants and fuel stations)	One per street frontage	8 feet	60 square feet	Identification of tenant	As per plans
Office Park (Single building development)	Single-Tenant Building Monument	One (1) per street frontage	6 feet	60 square feet	Identification of tenant	As per plans
	Multi-Tenant Building Monument	One (1) per street frontage	10 feet	80 square feet	Up to six (6) tenant panels and may contain identification of project (if applicable)	As per plans
Office Park (Multi-building development)	Multi-Tenant Monument	Two (2) per street frontage	10 feet	80 square feet	Up to eight (8) tenant panels and identification of project (if applicable)	As per plans
Business Park	Single-Tenant Building Monument	One (1) per street frontage	6 feet	60 square feet	Identification of tenant	As per plans
	Multi-Tenant Building Monument	One (1) per street frontage	10 feet	80 square feet	Up to six (6) tenant identification panels	As per plans
Hotel (if applicable)	Hotel Primary Identification Monument	One (1) per primary entrance	8 feet	60 square feet	Identification of hotel user	As per plans
	Hotel Secondary Identification Monument	One (1) per secondary entrance	4 feet	30 square feet	Identification of hotel user	As per plans
	Hotel Directional Signs	As approved by staff at time of sign permit, maximum of two signs per hotel site	4 feet	7 square feet	No identification or logos, for navigation only	As per plans

Sign Types addressed in this Comprehensive Sign Program are highlighted and shown in bold.

Sign locations must be delineated at time of Final Site Plan review.

For all multi-tenant freestanding signs, a landscaped area shall be provided, on-premise at the street frontage at the base of the sign, which shall extend a minimum of four (4) feet beyond the perimeter section of the sign structure at its widest point.

Setbacks

No signs shall be located in any public right of way but may be located at the property line with the leading edge of the sign.

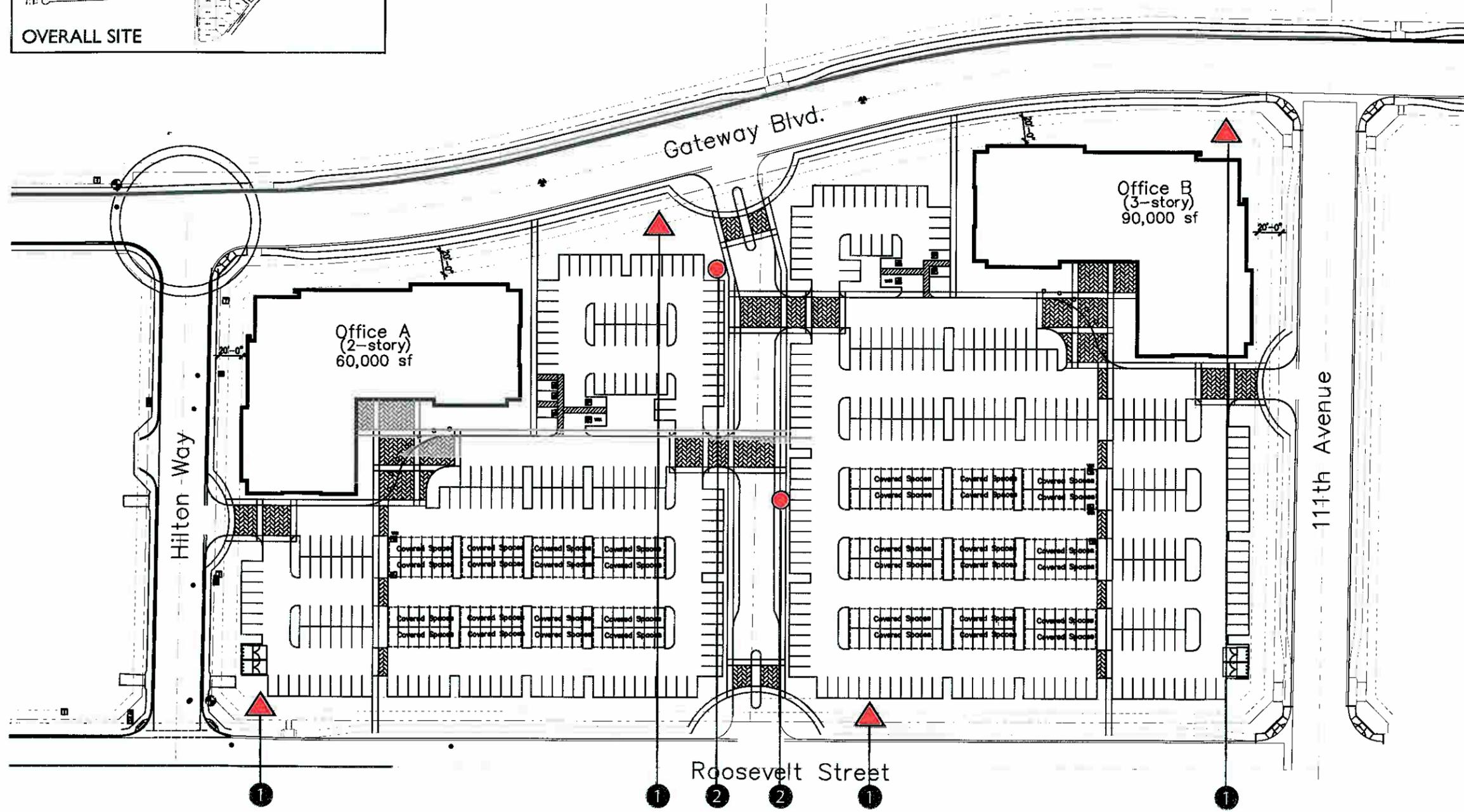
No signs shall be located in any public utility easement.

Sign Location Plan



▲ SIGN TYPE 1 - MULTI-TENANT MONUMENT

● SIGN TYPE 2 - VEHICULAR DIRECTIONAL



Sign Type I

Multi-Tenant Monument

Parcel I of the Avondale Gateway Center sits in between what will eventually be two fairly major collector roadways: Gateway Boulevard to the north, and Roosevelt street to the south. It is key for tenants to have their identification on these thoroughfares.

Two (2) signs will be placed along each of these roadways, essentially one (1) for each of the buildings on site.

Sizes

Height: 10'-0"
 Base: 1'-6"
 Tenant Panels: 6'-0" x 1'-0" – 6 s.f. each
 42 total tenant s.f.

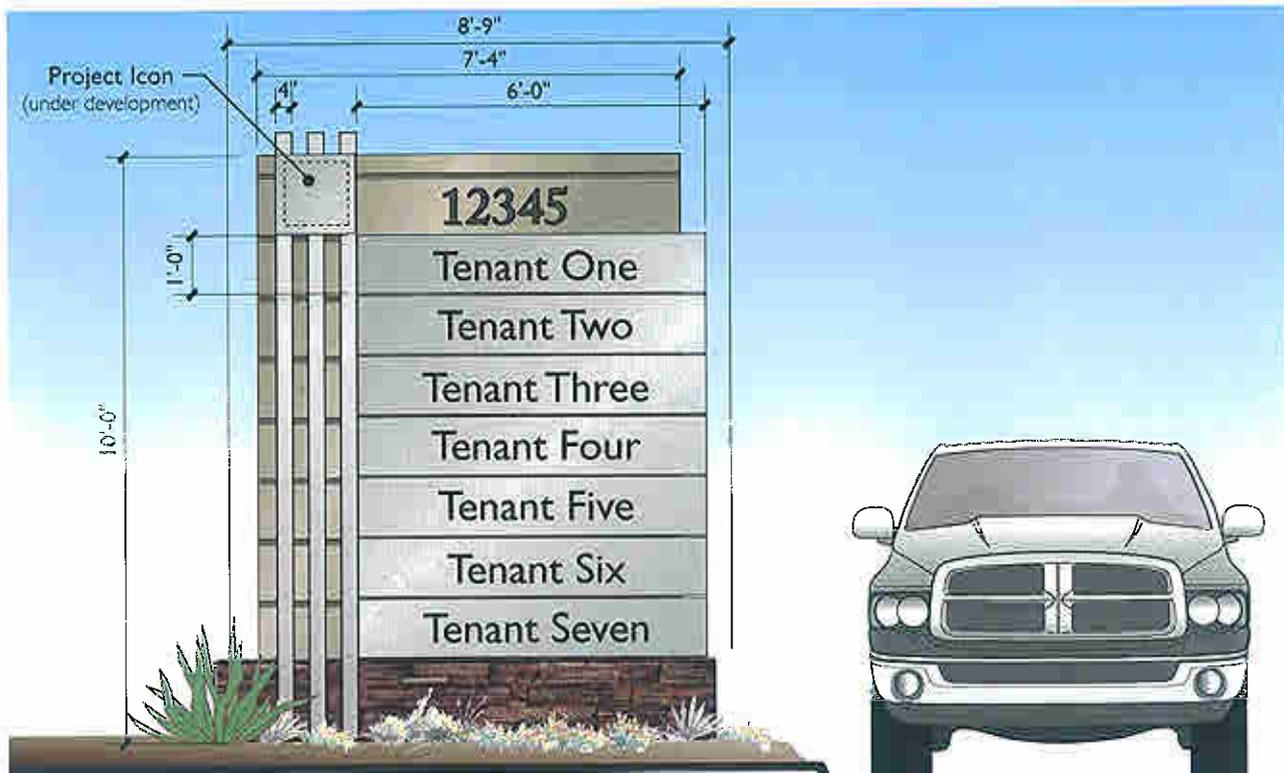
Construction

Structure: Aluminum fabricated structure and accents.
 Tenant Panels: Aluminum panels with flat cut-out tenant copy applied.
 Base: 8X8X16 Masonry block with applied stone veneer.
 Address: Dimensional letters

Colors

Address: Frazee 8776N "Blacksmith"
 Tenant Panels: Brushed aluminum with non-directional finish
 Tenant Copy: Frazee 8776N "Blacksmith"
 Structure: "Light Champagne" Metal Panels
 Accents: Brushed aluminum with non-directional finish
 Base: Eldorado Stone "Castaway"

Illumination Ground up-lit



Sign Type 2 Vehicular Directional

Two (2) vehicular traffic directional signs are located at key traffic decision points within the site to assist traffic flow. Only building addressing shall be allowed on directional signage - names and/or logos shall be prohibited.

Sizes

Height: 3'-0"
Copy Panel: 2'-3" x 2'-10" – 5.8 s.f.

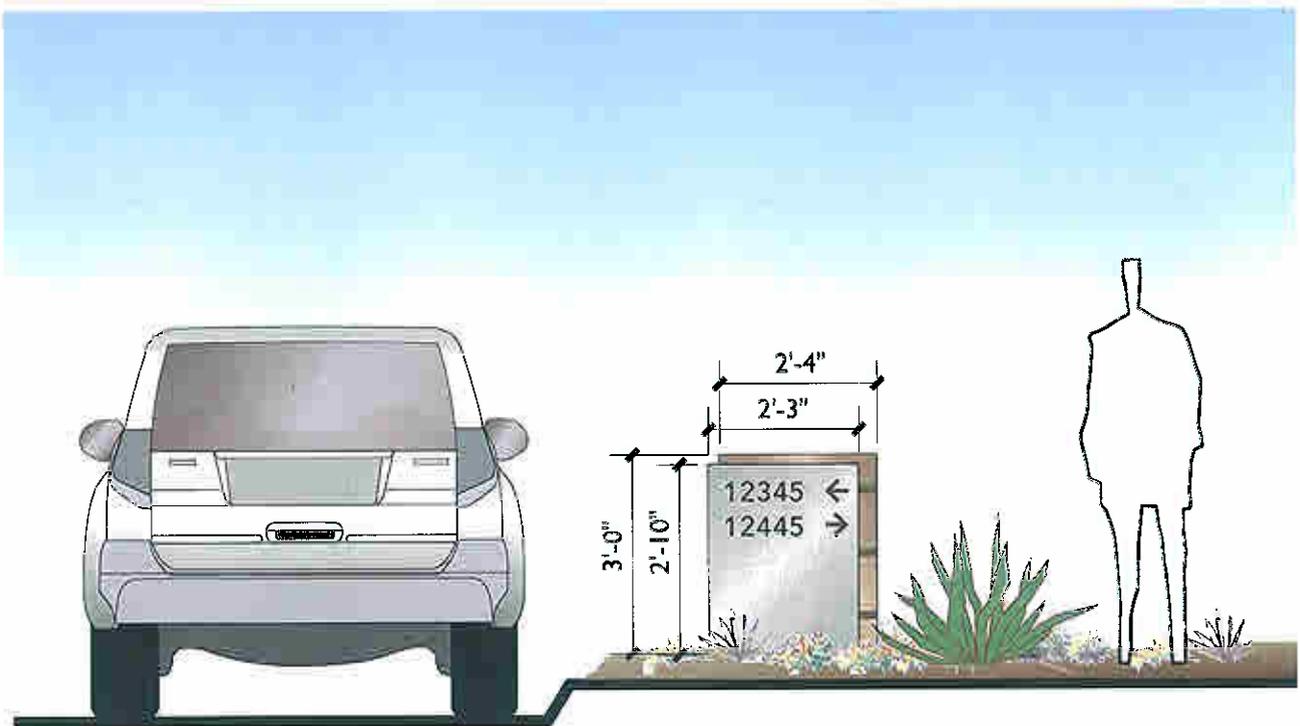
Construction

Structure: Aluminum fabricated structure.
Copy Panels: Aluminum panels with silkscreened or reflective vinyl copy applied.

Colors

Copy Panels: Brushed aluminum with non-directional finish
Tenant Copy: Color to match Frazee 8776N
"Blacksmith"
Structure: "Light Champagne" Metal Panels

Illumination None



Sign Type 3

Vehicular Regulatory

Regulatory signage, most notably handicap accessible parking identification, will be located throughout the site as needed. The panels and overall dimensions will meet approved MUTCD standards.

Construction

Structure: Upgraded 2" square aluminum posts with panel top.

Panels: .050 aluminum.

Colors

Structure: Brushed aluminum with non-directional finish

Panels: Per MUTCD standards.

Illumination

None



Building Wall Sign Matrix

User Type	Type	Quantity	Sign Area	Placement	Description	Illumination
Freeway Corridor	Signage on any building elevation directly adjacent to the freeway (not criteria for other elevations)	A maximum of two (2) freeway oriented signs per elevation.	Two (2) square foot of signage for each one (1) linear foot of the elevations oriented to freeway traffic. ^{1,2} The maximum aggregate sign area shall be 500 square feet for buildings up to 50,000 square feet in floor area and 850 square feet for buildings greater than 50,000 square feet of floor area. ^{1,2}	Sign fields must be delineated at time of Final Site Plan review and must be integrated with building design. Signage to be located on the upper floor of the building, and may or may not be located over tenants leased space.	Both individual pan channel, letters and logos; reverse pan channel letters and logos shall be allowed. Tenants to be allowed to use nationally recognized corporate standard design and colors.	Internal backlit or halo, or combination
Employment/ Commercial	Single-tenant buildings	A maximum of four (4) elevations may have signage.	One (1) square foot of signage for each one (1) linear foot of the longest building elevation. One-half (1/2) square foot of signage for each one (1) linear foot of each additional elevation. ^{1,2} Single tenant buildings on corner parcels with building frontage on two major roadway frontages may use both frontages calculated at one (1) square foot of signage per one (1) foot of frontage. On additional elevations, for each one (1) foot of frontage, one-half (1/2) square footage of signage is allowed. ^{1,2} The maximum aggregate sign area shall be 250 square feet. ¹	Sign fields must be delineated at time of Final Site Plan review. Signs must be located over tenants leased space.	Both individual pan channel, letters and logos; reverse pan channel letters and logos; or custom cabinets shall be allowed.	Internal backlit or halo, or combination
	Shop/In-line Tenants	All elevations visible by traffic may have signage.	One (1) square foot of signage for each one (1) linear foot of tenants leased space. One-half (1/2) square foot of signage for each one (1) linear foot of tenant space along any additional elevation. ^{1,2} All tenants shall be allowed a minimum of 24 square feet of signage.	Sign fields must be delineated at time of Final Site Plan review. Signs must be located over tenants leased space on a maximum of 2 elevations.	Both individual pan channel, letters and logos; reverse pan channel letters and logos; or custom cabinets shall be allowed.	Internal backlit or halo, or combination
Office Park	Single tenant buildings	A maximum of four (4) elevations may have signage.	One (1) square foot of signage for each one (1) linear foot of the longest building elevation. One-half (1/2) square foot of signage for each one (1) linear foot of each additional elevation. ^{1,2} The maximum aggregate sign area shall be 250 square feet for buildings up to 50,000 square feet in floor area and 500 square feet for buildings greater than 50,000 square feet of floor area. ^{1,2}	Sign fields must be delineated at time of Final Site Plan review.	Reverse pan channel letters and logos shall be allowed. Colors and materials shall be consistent throughout building/building complex. ³	Internally halo illuminated
	Multi-tenant buildings (1-2 stories)	A maximum of four (4) elevations may have signage.	One (1) square foot of signage for each one (1) linear foot of the longest building elevation. One-half (1/2) square foot of signage for each one (1) linear foot of each additional elevation. ^{1,2} The maximum aggregate sign area shall be 250 square feet for tenants with up to 50,000 square feet in floor area and 500 square feet for tenants with greater than 50,000 square feet of floor area.	Sign fields must be delineated at time of Final Site Plan review. Signage may be located on both first and second levels, and must be located over tenants leased space.	Reverse pan channel letters and logos shall be allowed. Colors and materials shall be consistent throughout building/building complex. ³	Internally halo illuminated
	Multi-tenant buildings (3 or more stories)	A maximum of four (4) elevations may have signage.	One (1) square foot of signage for each one (1) linear foot of the longest building elevation. One-half (1/2) square foot of signage for each one (1) linear foot of each additional elevation. ^{1,2} The maximum aggregate sign area shall be 250 square feet for tenants with up to 50,000 square feet in floor area and 500 square feet for tenants with greater than 50,000 square feet of floor area. ^{1,2}	Sign fields must be delineated at time of Final Site Plan review. Signage may be located on first floor and upper floor only, and may or may not be located over the tenants leased space. ⁴	Reverse pan channel letters and logos shall be allowed. Colors and materials shall be consistent throughout building/building complex. ³	Internally halo illuminated
Business Park	All buildings	A maximum of four (4) elevations may have signage.	One (1) square foot of signage for each one (1) linear foot of elevation. One-half (1/2) square foot of signage for each one (1) linear foot of each additional elevation. ^{1,2} The maximum aggregate sign area shall be 250 square feet for buildings up to 50,000 square feet in floor area and 500 square feet for buildings greater than 50,000 square feet of floor area. ^{1,2}	Sign fields must be delineated at time of Final Site Plan review. Signs must be located over tenants leased space.	Reverse pan channel letters and logos. Colors and materials shall be consistent throughout building/building complex. ³	Internally halo illuminated

Refer to Office Park Section (highlighted) for all wall signs addressed in this Comprehensive Sign Program.

Raceway mounted signs are prohibited.

Each tenant is allowed a minimum of 24 square feet of signage.

* Due to the architectural elements specific to Office B, we are proposing that signage be allowed on the second and upper floor - with signage on the first floor being reserved for "Executive Suites."

1 Larger square footage exceptions and alternate sign locations may be considered for major tenants or single user tenants on an individual basis upon approval of the Landlord and the City of Avondale.

2 Sign must not exceed 70% of the vertical height of the sign field or 80% of the horizontal width of the sign field on which it is placed.

3 To be determined in the Comprehensive Sign Program

Sign Type 4 Tenant Wall Signage

Size and Location Specifications

All Occupants shall have identification signs fabricated from either internally or non illuminated, reverse pan channel letters and logos.

All sign designs and layouts will be approved on an individual basis through the Owner's discretion. Creative designs and forms are encouraged. Unless as part of a nationally registered and/or trademarked logo, rectangular shaped cabinets are prohibited.

Locations

Tenant signs shall be centered horizontally and vertically within the architectural frontage on which it is placed. Signage may or may not be located over/within Tenant's leased space. Final tenant locations are to be per the Owner's discretion.

No part of any building mounted sign shall extend above a parapet line. Such sign shall be installed with the exposed face of the sign in a plane parallel to the face of the building wall.

For quality and consistency purposes, wall signage should be first placed on the upper most level of the building elevation where signage can be applied, then being allowed on the lower level after all space on the upper level is occupied.

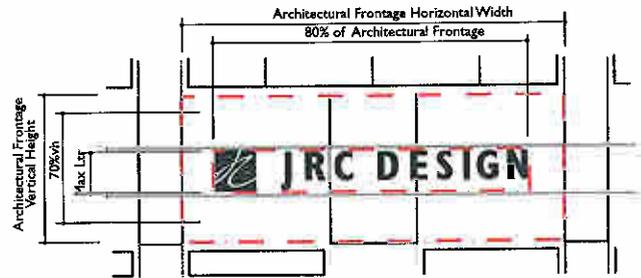
Suites with exterior entrances, however, shall be allowed to have their identification mounted over their entry at any time - even if space on the upper level exists. This is a key wayfinding marker for tenants with exterior access.

Layout Restrictions

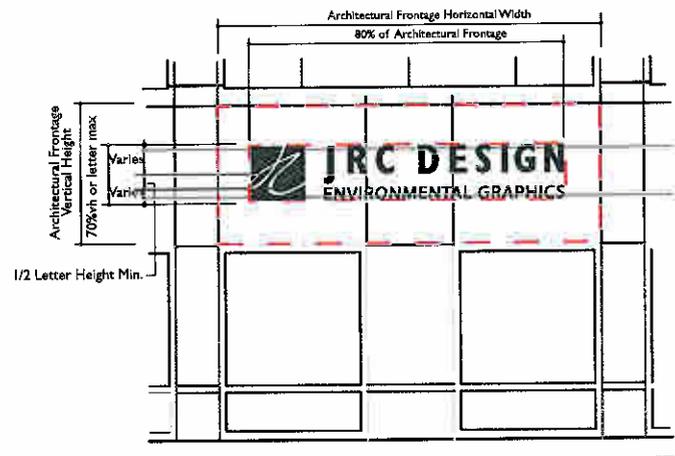
The overall length of any sign shall not exceed 80% of the architectural frontage on which it is placed.

The overall height shall not exceed 70% of the most narrow portion of the vertical fascia height on which it is placed.

A minimum of 1/2 of the letter height line spacing shall be used between all multiple lines of signage layouts.

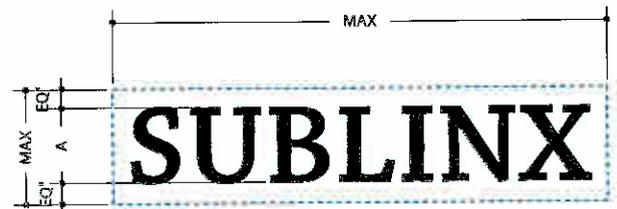


A Single-Line Layout w/Logo



B Double-Line Layout w/Logo

Note: This is a typical elevation. This is an example to show the availability of maximum sign area in regard to wall space.



SINGLE LINE - MAXIMUM LETTER/LOGO



DOUBLE LINE - SPACING OF MINIMUM 1/2 LETTER HEIGHT

A - PRIMARY NAME
B - SECONDARY NAME OR LINE
C - SPACING OF MINIMUM 1/2 LETTER HEIGHT OF A OR B

Sign Type 4

Tenant Wall Signage

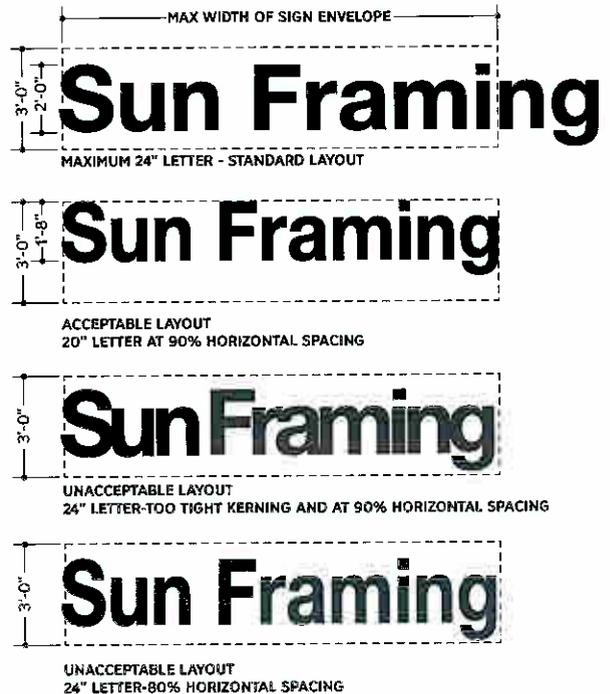
Sign Area Calculation Options

Where a sign consists only of individual letters, numerals, symbols, or other similar components and is attached to the wall of a building and where such individual components are without an integrated background definition and are not within a circumscribed frame area, the total area of the sign shall be the sum of the areas of the squares or rectangles surrounding each adjacent grouping or individual component. Two (2) such rectangles can be used in defining area. See right for examples.



Letter Spacing/Kerning

To fit within layout standards, the lettering and/or identity may not be condensed more than 90% of horizontal letter width or vertical letter height of the original design.



Design Specifications

Tenant's may use their registered logotype. For tenant identification for tenants without a registered logotype, the typeface Avenir 85 Heavy or Adobe Caslon Pro Semibold shall be used.

(See typefaces at right)

Avenir 85 Heavy - Uppercase

**ABCDEFGHIJKLMN
OPQRSTUVWXYZ**

Avenir 85 Heavy - Lowercase

**abcdefghijklmn
opqrstuvwxyz**

Avenir 85 Heavy - Numerals

1234567890

Adobe Caslon Pro Semibold - Uppercase

**ABCDEFGHIJKLMN
OPQRSTUVWXYZ**

Adobe Caslon Pro Semibold - Lowercase

**abcdefghijklmn
opqrstuvwxyz**

Adobe Caslon Pro Semibold - Numerals

1234567890

Construction Specifications

INDIVIDUAL LETTERS (Typical Reverse Pan Channels)

Construction

Reverse Pan channel letters and logos must be constructed with metal returns and faces.

No "Channelume," "Letteredge," or similar material will be allowed.

Individual letters and logos must be a minimum of 3" deep.

Colors

All faces and returns are to be a brushed aluminum finish.

Illumination

Signage is to be halo illuminated (non-illuminated signage may be allowed per the Owner/Landlord approval).

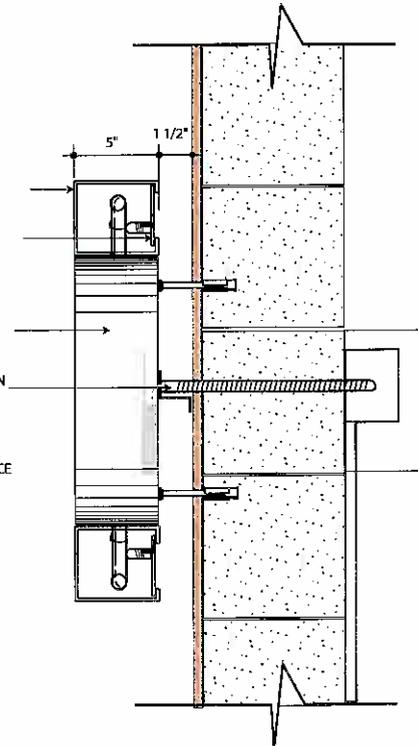
REVERSE PAN CHANNEL LETTER
OF MIN .090 ALUMINUM SIDES
AND 1/8" FACES

CLEAR ACRYLIC LETTER BACKS
FOR HALO ILLUMINATION ON
BACKGROUND
SURFACE

15MM NEON OR EQUAL
ILLUMINATION SOURCE

CONDUIT TO J BOXES AND MAIN
POWER CONNECTION - TO BE
PROVIDED
BY GENERAL CONTRACTOR

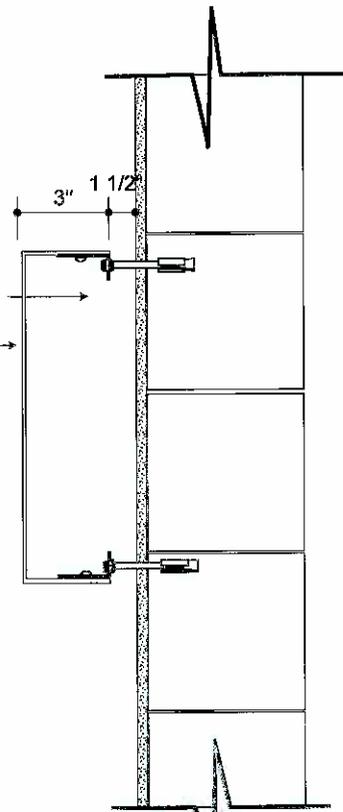
CLIP MOUNT OFF WALL SURFACE
AS NOTED



CLIP MOUNT OFF WALL SURFACE

REVERSE PAN CHANNEL (RVPC)
ALUMINUM LETTER

MINIMUM .050 ALUMINUM
SIDES AND .125 FACES

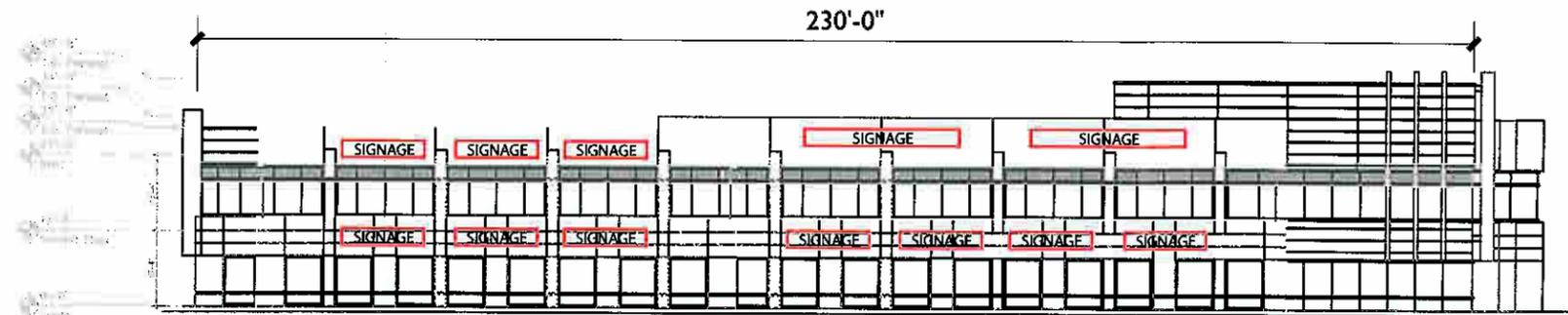


Building Wall Signage - Building A Locations

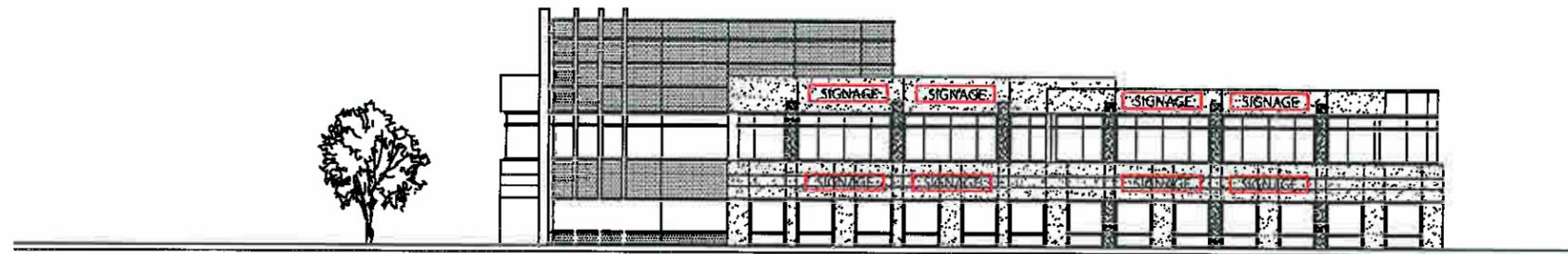
Sign locations shown below are merely possible sign locations. Total aggregate wall signage not too exceed 500 square feet. Final locations be per Owner/Landlord's sole discretion.

For quality and consistency purposes, wall signage should be first placed on the upper most level of the building elevation where signage can be applied, then being allowed on the lower level after all space on the upper level is occupied.

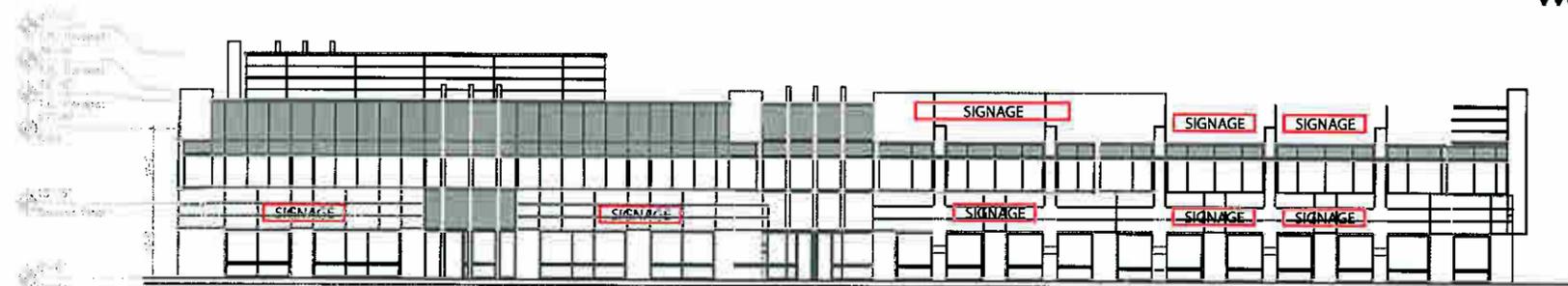
Suites with exterior entrances, however, shall be allowed to have their identification mounted over their entry on the first level at any time - even if space on the upper level exists. This is a key wayfinding marker for tenants with exterior access.



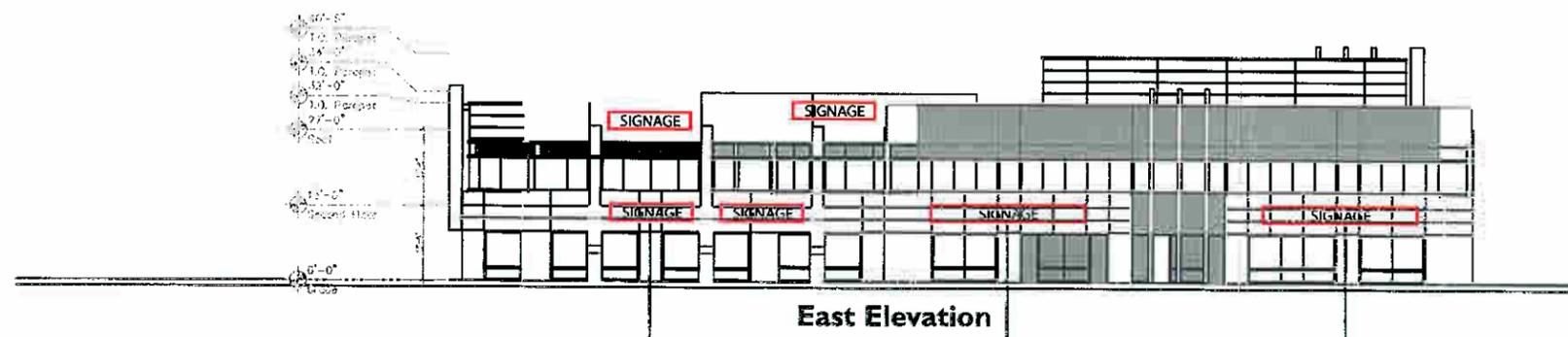
North Elevation



West Elevation



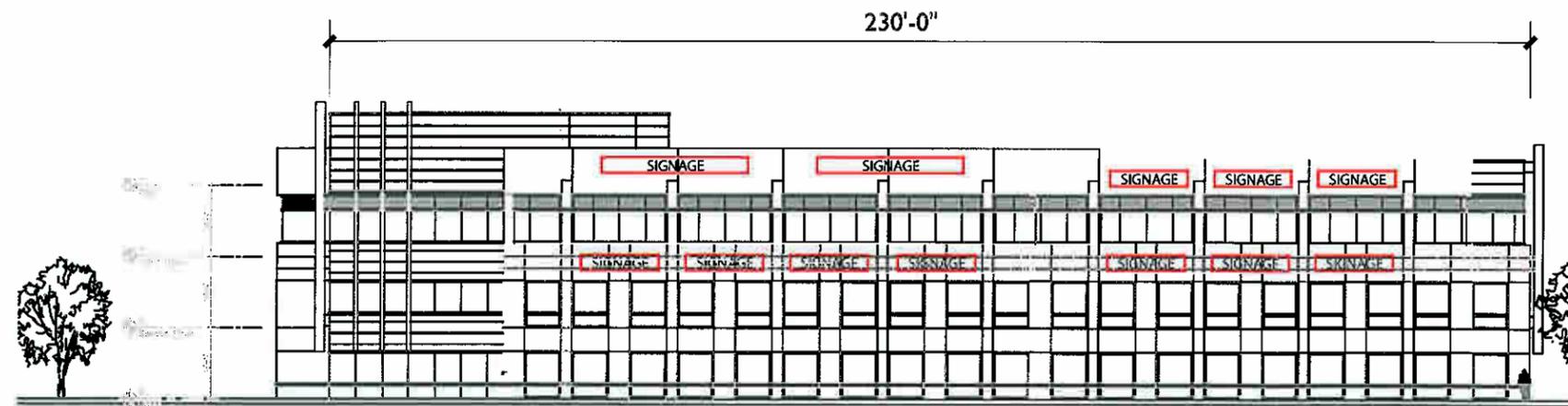
South Elevation



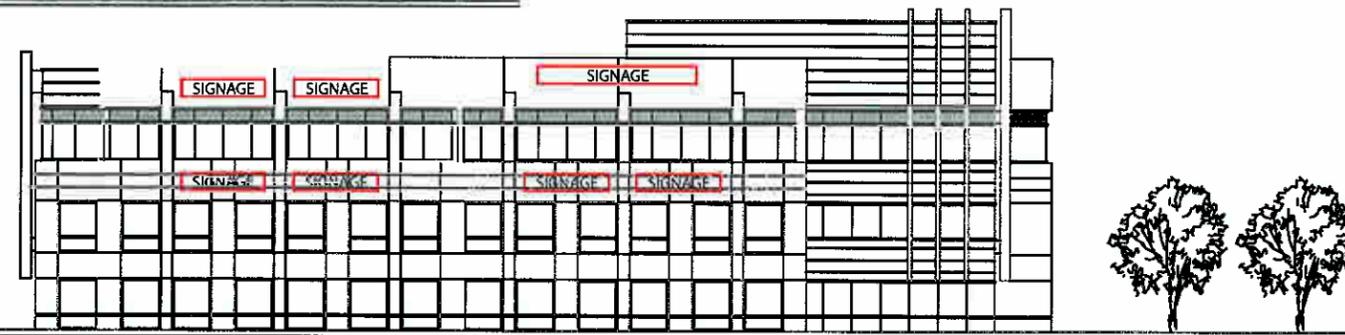
East Elevation

Executive Suite Wall signage

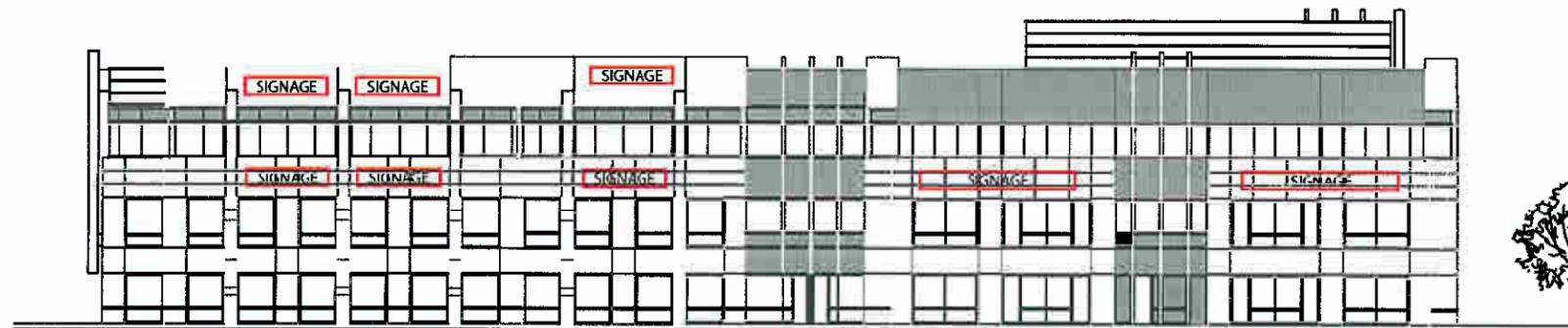
Building Wall Signage - Building B Locations



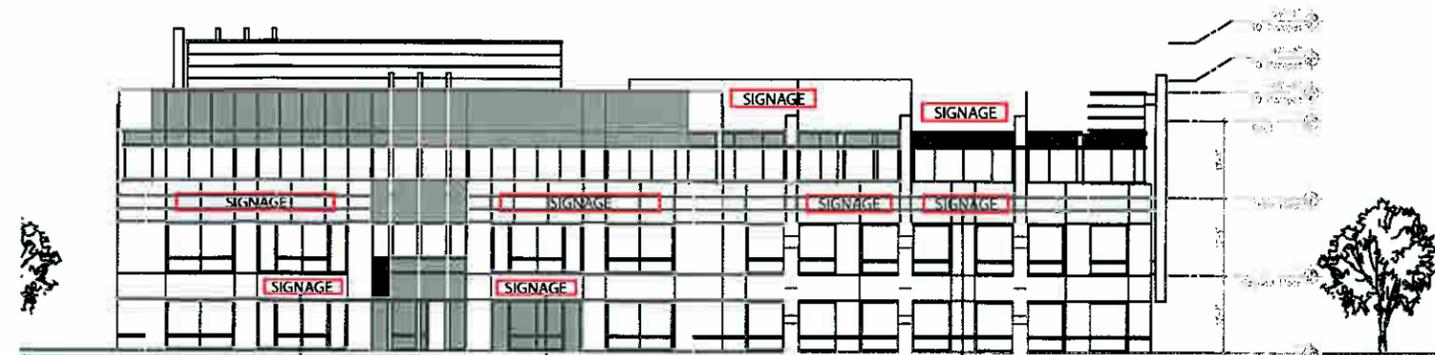
North Elevation



East Elevation



South Elevation



West Elevation

Sign locations shown below are merely possible sign locations. Total aggregate wall signage not too exceed 500 square feet. Final locations be per Owner/Landlord's sole discretion.

For quality and consistency purposes, wall signage should be first placed on the upper most level of the building elevation where signage can be applied, then being allowed on the lower level (in this case 2nd story) after all space on the upper level is occupied.

Suites with exterior entrances, however, shall be allowed to have their identification mounted over their entry on the 1st level - even if space on the upper level exists. This is a key wayfinding marker for tenants with exterior access.

Executive Suite Wall signage

Sign Type 5

Suite Entry Plaque (Executive Suites Only)

Executive Suite designation signage is mandatory and is the responsibility of the office Owner/Occupant. Designation is to be applied directly next to the corresponding entry door at sixty inches (60") from the ground to center of plaque.

Owner/Occupant ID design/layout to be per corporate standards in allowed two inch (2") area. Three (3) lines of copy, each a maximum of three quarters inch (3/4") tall, are allowed for the Owner/Occupant name and hours of operation.

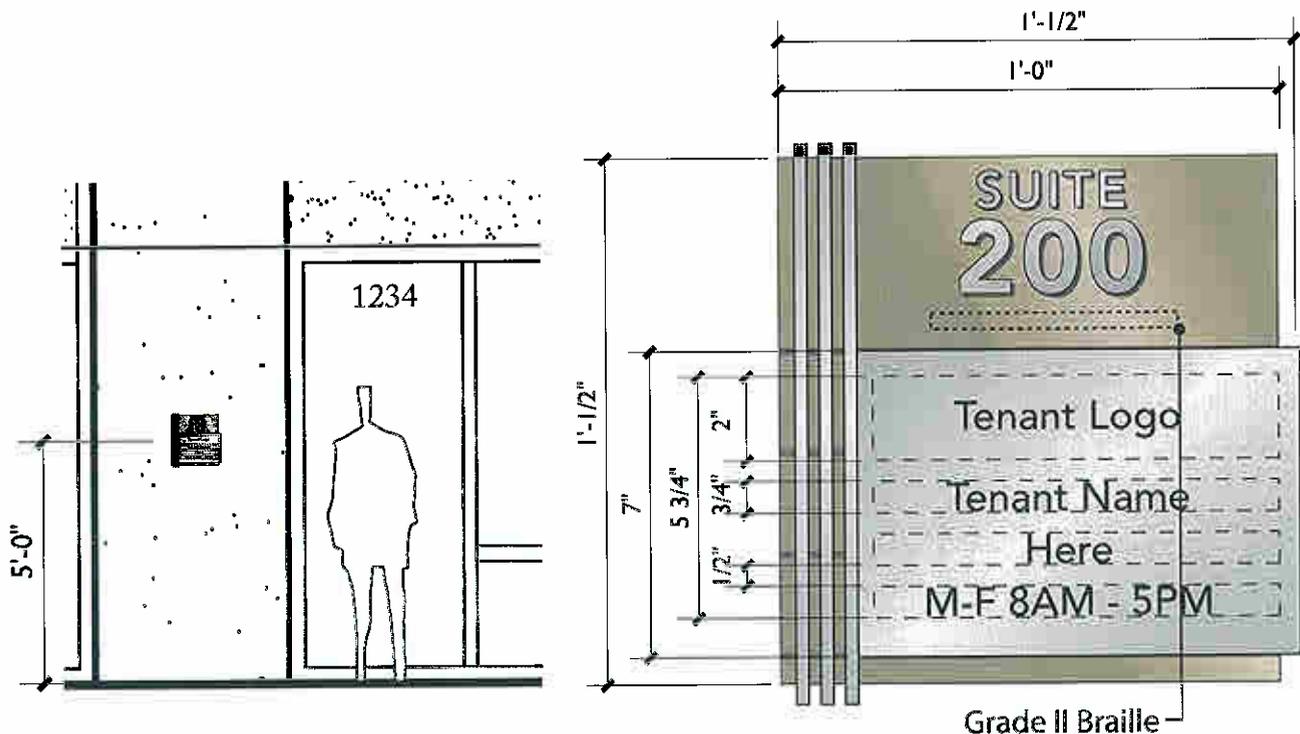
Address typeface to be Avenir Heavy (*Suite*) and Black (*Number*)

Construction

Plaque: 1/4" thick metal with 1/8" raised suite ID.
 1/32" raised Grade II Braille
 Tenant Panel: changeable 1/4" aluminum panel
 Lettering: premium quality 3M vinyl

Colors

Plaque: To match metal used on building/signs "Light Champagne"
 Tenant Panel: Brushed aluminum with non-directional finish
 Suite Lettering: Brushed aluminum with non-directional finish
 Vinyl Lettering: Color to match Frazee 8776N "Blacksmith"



Note: This is an example to show typical ID plaque placement.

Sign Type 6

Business Front Graphics (Executive Suites Only)

Window Graphics

No more than 25% of front glass area may have signage/graphic, applied to, or within 3 feet behind the window area. This includes temporary signage applications and/or any permanent identification signage.

Addressing:

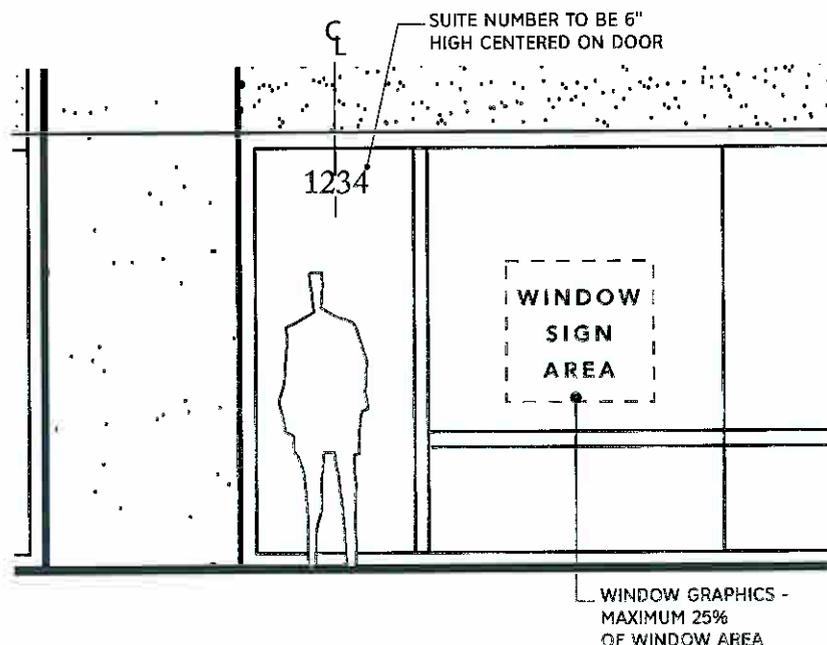
Individual shops/suites shall have six (6) inch white 3M vinyl letter addressing centered on the window above the door.

Colors and Layouts:

Color should be white or a more subdued "frosted" look. All window graphic color/layouts shall be approved in writing by the Committee for quality and consistency with the criteria package for Avondale Gateway Center Parcel I prior to submittal to the City of Avondale for approval.

Restrictions

No printed, hand lettered, pre-fabricated neon or window painted signs will be allowed.



Note: This is an example to show the availability of

Building Addressing

Building address numerals shall be Adobe Caslon Regular typeface, with a height of twelve inches (12").

Construction and Colors

Numbers shall be flat cut out, one half inch (1/2") thick aluminum plate, stud mounted flush to building.

Color to be determined by Owner/Developer.

12" 1234567890

General Sign Standards and Requirements

All signs at Avondale Gateway Center Parcel I must be compatible with the standards outlined in these Comprehensive Signage Standards and in conformance with the Declaration of Restrictions and Easements. The purpose of the sign standards is to ensure an attractive working environment for the Developer, and Owners/Occupants of all parcels within Avondale Gateway Center Parcel I. Conformance will be strictly enforced, and any installed nonconforming or unapproved signs will be brought into conformance at the sole expense of the Owner/Occupant.

Before designing signs, all Avondale Gateway Center Parcel I Owners/Occupants will receive a copy of these signage standards. Sign plans submitted to the Committee for approval must conform to these standards. The Committee may administer and interpret the criteria as it applies to signage designs. All signs must be approved in writing by the Committee prior to application to the City of Avondale for permitting.

For Committee review, send three (3) sets signage drawings to:

Cavan Real Estate Investments
Attn.: Avondale Gateway Center
Architectural Design Review Committee
15333 N. Pima Road, Suite 305
Scottsdale, Arizona 85260

1. Signage proposal. Each Owner/Occupant must submit to the Committee three (3) sets of detailed shop drawings showing locations, dimensions, sizes, design, colors, materials, lettering, graphics, conduits, junction boxes, sleeves, and other mounting apparatus of all proposed wall, window, and rear door signs. This submittal must be made at least fifteen (15) days prior to submitting requests for permits or manufacturing.

2. Sign contractor's responsibilities. Prior to preparation of signage drawings and specifications, the Owner's/Occupant's sign contractor must review all architectural, structural, and electrical

In addition, the sign contractor should visit the project site to become familiar with as-built conditions and verify all dimensions.

3. Committee review. After review of the signage proposal, the Committee will return one of the three sets of drawings to the Owner/Occupant, marked either "Approved," "Approved as Noted," or "Revise and Resubmit."

4. "Approved." If drawings are marked "Approved," the Owner/Occupant is allowed to proceed with sign permitting and then construction and installation in accordance with the drawings.

5. "Approved as Noted." If drawings are marked "Approved as Noted," the Owner/Occupant is allowed to proceed with sign permitting and then construction and installation, provided that any modifications noted are incorporated into the design. An applicant that takes exception to the noted modifications may revise and resubmit, as explained below.

6. "Revise and Resubmit." If drawings are marked "Revise and Resubmit," the plans will be returned to the Owner/Occupant with comments. The drawings should be revised and resubmitted for Committee approval.

7. Openings in building walls. Locations of all openings for conduit and sleeves in building walls must be indicated by the sign contractor on the drawings submitted. The contractor shall install the sign in accordance with the approved drawings.

8. Messages. Signs are restricted to advertising either (a) the person, firm, company, or corporation operating the use conducted on the site, or (b) the products sold therein, but not both.

9. Owner/Occupant responsibilities for other regulations. The Committee's approval of an Owner's/Occupant's signage plan does not constitute an implication, representation, or

ordinances, or other regulations.

Compliance with other regulations is the sole responsibility of the Owner/Occupant for all work performed on the premises by or for the Owner/Occupant.

10. Prohibited signs. No signs, advertisements, notices, or other lettering shall be displayed, exhibited, inscribed, painted, or affixed on any part of the buildings visible from outside the premises, except as specifically approved by the Committee. Signs that are installed without written approval from the Committee, or that are inconsistent with approved drawings, may be subject to removal and reinstallation by the Developer at the Owner's/Occupant's expense. Rude, obscene, offensive, animated, flashing, blinking, rotating, moving, or audible signs; placards; posters; playbills; postings; paintings; flags; signs in public rights-of-way; and fixed balloons are not permitted in any location, whether or not visible from outside the premises. Change-panel signs are prohibited, except at gas stations. Prohibited signs will be removed at the Committee's discretion.

11. Illuminated signs. The City of Avondale requires permits for all signs and electrical permits for all signs that are illuminated. It is the Owner's/Occupant's sole responsibility to secure these and any other permits that may be required, and to remain in compliance with these approvals and permits.

12. Size limitation. Each Owner/Occupant must limit the area of its sign in accordance with the area allocated for signage. Maximum letter height and length varies according to storefront, but it must not exceed the area allocated for signage. Each Owner/Occupant will be granted a minimum of one sign.

13. Labels. No labels are permitted on the exposed surface of signs, except those required by local ordinance. Sets of individual letters shall have one label on an end letter only. These are to be installed in an inconspicuous location.

14. Freestanding signs. All freestanding signs must meet applicable setbacks, and their installation must comply with all local building and

Occupant is fully responsible for the upkeep and maintenance of its sign(s), including any individual pylon or monument signage, and Owners/Occupants are to repair any sign defects within five (5) days of notification. If an Owner/Occupant does not repair said sign(s), the Developer, at the Owner/Occupant's sole cost and expense, may repair and/or replace sign(s). A penalty of 100% of the Developer's cost to repair said signage, in addition to the cost of the repair, may be assessed to the Owner/Occupant if the Developer or Property Manager is required to provide the necessary maintenance due to the Owner's/Occupant's noncompliance following notification.

16. Illumination timer. Power to illuminate the Owner's/Occupant's sign is to be from Owner's/Occupant's electricity meter, switched through a Tork DW-2100AY time clock, set in accordance with schedules determined by the Developer and shopping center manager.

17. Sealing of building penetrations. All penetrations of the building structure required for sign installation shall be neatly sealed in a watertight fashion.

18. Damage caused by or during installation. The sign contractor and/or Owner/Occupant will pay for any damage to a building's fascia, canopy, structure, roof, building elements or flashing caused by sign installation.

19. Required insurance for sign contractors. All sign contractors must carry workers' compensation and commercial liability insurance against all damages suffered or done to any and all persons and/or property while engaged in the construction or installation of signs, with a combined single limit in an amount not less than two million and no/100 dollars (\$2,000,000.00) per occurrence. Every sign contractor must hold a current contractor's license in the State of Arizona. Landlord or building owner must be named as additionally insured in the workers' compensation and commercial liability insurance.

20. Committee's right to modify requirements. The Committee has the right to modify the sign standards and requirements for

Definitions

The following definitions are used throughout the comprehensive signage plan and are exclusive to this document.

Aggregate Sign Area

The total area of all permitted signs pertaining to any one Owner/Occupant, which includes Street-front signage, Storefront signage (arcade and window signage/graphics).

Architectural Frontage

The portion of the building frontage of the leased space which has been delineated through use of reveals, patterning, materials, finishes, column breaks, etc that creates a special area for signage.

Architectural Awnings

Elements which are constructed of permanent type of materials and are an integral part of the building elevation design.

Building Leased Frontage

The overall lineal foot frontage of a leased space.

Cabinet (Typical)

Acrylic, Plexiglas, or plastic-faced panels with surface or second-surface applied or painted graphics, internally backlit in a box construction.

Custom Cabinet

Cabinet designed and fabricated in multiple planes, colors, finishes and unique shapes and forms. Typically with dimensional illuminated letters and opaque backgrounds.

Committee

Made up of the consenting owners as defined in the Construction, Operation and Reciprocal Easement Agreement.

Graphics

Lettering, symbols, and logos used for name identification (primary identification), and for identification of product and services (secondary identification or modifiers).

Sign Area

The aggregate area of the smallest rectangles that encloses individual elements of a sign's lettering and logos.

Sign Envelope

The overall height and length allowances of sign area designated for Owner/Occupant sign placement on a building elevation.

Street Front Signage

Signage installed parallel to the building fascia, typically located along the front of the building on parapet, fascia or building wall intended for the viewing of vehicular traffic.

Storefront Signage & Graphics- Permanent

This is the signage located along the storefront portion, oriented to pedestrian. It includes the transparent portion of storefront (windows) and/or solid wall areas used for merchandise display and permanent graphics. This includes awnings, tenant suite number, logo and name identification, secondary name modifiers, hours of operation, services or name brand marketing, menu cabinets, etc.

Storefront Signage & Graphics - Temporary

Any sign, banner, pennant, balance or advertising display constructed of cloth, canvas, light fabric, cardboard, wallboard or other like material with or without frames.

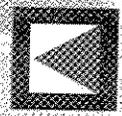
AVONDALE BLVD

FREEWAY

1-10

AVONDALE GATEWAY

P.A.D. AMENDMENT JUNE 15, 2005



KITCHELL

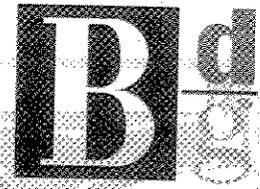
DEVELOPMENT

CITY COUNCIL

Approved
 Denied

Approved with
Conditions

6-20-05
Date



Butter Design Group, Inc
architects & planners



Avondale Gateway
Amended Planned Area Development
(rev. 06/15/05)

I. Introduction

Kitchell Development Company (KDC) plans to develop an approximate 48-acre site at the southeast corner of I-10 and Avondale Boulevard. This Mixed-Use development will include a variety of commercial uses including office, hotel, restaurant, retail and light industrial and other compatible uses that support both the Avondale General Plan and the Freeway Corridor Specific Plan.

II. Project Location

The commercial parcels are located at the southeast corner of I-10 and Avondale Boulevard north of the future Roosevelt Street extension. Figure 1 illustrates the subject property for the rezoning request.

Please see the attached Figure 2 Legal Description for the legal boundary of the commercial parcel.

III. Request

This request is to amend the existing Planned Area Development (PAD) to specifically allow the range of proposed commercial uses per the proposed Conceptual Master Development Plan.

IV. General Plan Conformance

The City of Avondale General Plan and Freeway Corridor Specific Plan identify the site as Freeway Commercial. This designation allows flexibility for development of regional retail, family entertainment, office, and employment uses. Avondale Boulevard is designated as an Employment and Commercial Corridor. This designation allows and encourages employment and commercial land uses along Avondale Boulevard.

Two of the goals of the General Plan are to provide economic sustainability for the community and to develop Avondale Boulevard as a commercial corridor. The proposal supports these goals by providing the opportunity for office, retail, restaurant, hotel and light industrial use development.

One of the primary goals of the Freeway Corridor Specific Plan, is to "establish a distinctive image for the Corridor and the City of Avondale." The proposal includes the established street tree theme of Southern Live Oak along Avondale Boulevard and

McDowell Road. The repetitive use of this particular tree will establish a consistent landscape theme to differentiate McDowell Road and Avondale Boulevard from all other arterial streets in the City.

One of the key elements of the Freeway Corridor Specific Plan is the designation of a "regional commercial node" in the vicinity of Avondale Boulevard and the I-10 freeway. This designation encourages intense land uses such as business parks, hotels, and related commercial uses. The proposal includes a request for an increase in height allowance to allow the type of intense land use outlined in the Freeway Corridor Specific Plan.

The Freeway Corridor Specific Plan outlines required findings for approval of increased height. In accordance, this proposal includes the following:

- a. The proposal conforms to the intent and objectives of the Freeway Corridor Specific Plan to create a regional commercial and office corridor in the vicinity of the Interstate-10 and Avondale Boulevard.
- b. The request meets the corridor design standards and principals.
- c. The request supports the Boulevard streetscape concept and provides street and landscaping improvements which exceed the minimum requirements.
- d. The project provides a mix of land uses which include office, retail, hotel, and employment uses.
- e. Extraordinary architectural and design criteria are included to ensure quality development.
- f. The project is "pedestrian friendly" by providing pedestrian plazas and enhanced pedestrian walkways.

V. Infrastructure

Circulation

Primary access to the site is provided by the I-10 Freeway, Avondale Boulevard (115th Avenue) and the future Roosevelt extension east of Avondale Boulevard.

Avondale Boulevard is a major arterial street, Roosevelt Street is a collector street and the remaining proposed interior streets will be local streets.

Vehicular access will be provided to the adjoining land locked parcel in a mutually agreeable location.

Utilities

All utilities will be developed with the roadway and site improvements and placed underground.

Water and wastewater service will be provided by the City of Avondale. Stub-outs will be provided for the development of these parcels.

Qwest will provide telephone service.

Trash collection will be provided by private collection agencies.

SRP will provide electric service.

Grading and Drainage

Each parcel will be responsible to provide onsite storage for runoff from a 100-year 2-hour storm event. Each parcel will also be responsible to collect adjacent half-street runoff.

Maintenance

The commercial property owner(s) will, in a manner that provides a neatly trimmed, cultivated and litter free site, provide maintenance of the proposed individual parcels, including any contiguous landscape areas up to the back of the public sidewalk plus any landscape areas within the right of way between the public walk and street edge. All public streets and sidewalks, will be maintained by the City of Avondale.

VI. Final Development Plans/Site Plan Review

A Conceptual Master Development Plan is included as Figure 3. The master development plan shows the master roadway circulation plan. There are three (3) primary sub areas of the Master Development Plan: a Commercial Core along the western portion of the site adjacent to Avondale Boulevard, a Mixed-Use Office Park at the mid portion of the overall site and a Business Park along the eastern portion.

Site plans shall be submitted in accordance with Section 106, *Site Plan Review*, of the City of Avondale Zoning Ordinance. All site plans shall be in conformity with this PAD and Zoning Ordinance.

Master Site Plans

A Master Site Plan is required for each sub-area of the overall development. In no event shall a Master Site Plan encompass less than five (5) gross acres. The Master Site

Plans must include compatible architectural themes, building materials and colors, internal circulation, parking lot configurations, signage, landscape theme, and maximum building footprints. Such Master Site Plan shall be reviewed by the Planning Commission and approved by the City Council.

As each sub-area develops, the Master Site Plan may need to be amended or updated to reflect changes in users or other factors. Areas submitted in one Master Site Plan may also be amended by inclusion in a subsequent Master Site Plan submittal. Changes that increase traffic, significantly change building square footage, significantly change building orientation or footprints, have impact on adjacent users, or include changes that alter the character of the Master Site Plan including changes to approved building architecture or materials will be considered Major Amendments to the Master Site Plan. Major Amendments shall be reviewed by the Planning Commission and approved by the City Council. All other changes are Minor Amendments and shall be reviewed and approved administratively.

Individual Site Plans

Following approval of a Master Site Plan, Individual Site Plans may be submitted for administrative review and approval for each building within that sub-area. All Individual Site Plans shall be in substantial conformity with the Master Site Plan.

VII. Land Uses

When drafting the following list of uses, staff assumed that the 48-acre site would be divided into smaller components. For the purpose of this use list, the following conceptual sub-areas were used:

- A "Commercial Core" bounded by Avondale Boulevard to the west, the loop road to the east, Roosevelt Street to the south, and the Freeway to the north.
- A "Mixed-Use Office Park" bounded by the Loop Road to the west, Freeway to the north, Roosevelt Street to the south, and an easterly boundary at approximately the Roosevelt Street temporary cul-de-sac
- A "Business Park" for the remainder of the site.

VII. Land Uses

Commercial Core:

The purpose of the Commercial Core is to provide quality business, non-neighborhood shopping, restaurant, and entertainment uses that will serve the existing and future

residents in the region. The uses are not intended to meet the daily needs of residents or freeway travelers, but instead will provide opportunity for specialty retail and support services for the adjacent employment uses.

Permitted Uses

The following uses are authorized within the Commercial Core Element of the PAD:

- Professional, administrative, or business offices;
- Medical, dental, or health offices, or clinics;
- Full service restaurants, other sit down restaurants and delis without drive-thrus, coffee shops, and similar eating establishments;
- Brewpubs, taverns, and cocktail lounges;
- Business services including, but not limited to, copy centers, travel agencies, ticket sales, and employment agencies (not including day labor);
- Financial institution without drive-thru facility; and
- Retail sales of new merchandise (maximum of 30,000 square feet in gross floor area).

Permitted Uses Subject to Conditions

The following uses are authorized within the Commercial Core Element of the PAD subject to the listed conditions:

- Drive-thru facility for coffee shops provided:
 - The use is a part of a multi-tenant building.
 - A minimum of 100 feet of vehicle stacking measured from the menu board shall be provided.
 - The drive-thru shall be reviewed and approved concurrent with the master site plan for the subject property.

Conditional Uses

The following uses may be allowed in the Commercial Core through the review and approval of a Conditional Use Permit. Conditional uses shall be processed and evaluated in accordance with Section 108, *Conditional Use Permits*, of the City of Avondale Zoning Ordinance.

- Nightclubs (not including adult live entertainment as defined in Section 10 of the Avondale Zoning Ordinance); and
- Financial institution with drive-thru facility.

Accessory Uses

The following uses are allowed as accessory uses directly related with an approved permitted use:

- Outdoor dining;
- Sidewalk café; and
- Walk-up Automatic Teller Machines.

Prohibited Uses

The following uses are prohibited in the Commercial Core:

- Check cashing, bondsman, pawn shops, plasma centers, thrift stores;
- Day labor centers;
- Drive-thru facilities except as noted above;
- Outdoor storage;
- Automotive parts and supply store;
- Outdoor displays;
- Sexually oriented businesses;
- Convenience stores, freestanding pharmacies, gasoline stations, restaurants with drive-thru or drive-ins except as noted above; and
- Any use not expressly permitted herein.

Mixed-Use Office Park:

The purpose of the Mixed-Use Office Park is to provide office and employment uses that capitalize on visibility from the Interstate 10 freeway. Retail, restaurant, hotels, and conference facilities that support the primary office uses are encouraged in this area.

Permitted Uses

The following uses are authorized within the Mixed-Use Office Park Element of the PAD:

- Professional, administrative, corporate, or business offices;
- Medical, dental, or health offices, or clinics;
- Full service restaurants, other sit down restaurants and delis without drive-thrus, coffee shops, and similar eating establishments;
- Brewpubs, taverns, and cocktail lounges;
- Business services including, but not limited to, copy centers, travel agencies, ticket sales, and employment agencies (not including day labor);
- Financial institution with or without drive-thru facility;

- Retail sales of new merchandise (maximum of 30,000 square feet in gross floor area);
- Barber shops, beauty shops, nail salons, tanning salons, day spas, and similar personal service uses (not including massage, tattoo, and body piercing studios);
- Hotels;
- Conference, banquet, and event centers;
- Car rental office (no vehicles parked or stored on site); and
- Media production or broadcasting studios (no onsite broadcasting towers).

Permitted Uses Subject to Conditions

The following uses are authorized within the Commercial Core Element of the PAD subject to the listed conditions:

- Drive-thru facility for coffee shops provided:
 - The use is a part of a multi-tenant building.
 - A minimum of 100 feet of vehicle stacking measured from the menu board shall be provided.
 - The drive-thru shall be reviewed and approved concurrent with the master site plan for the subject property.

Conditional Uses

The following uses may be allowed in the Mixed-Use Office Park through the review and approval of a Conditional Use Permit. Conditional uses shall be processed and evaluated in accordance with Section 108, *Conditional Use Permits*, of the City of Avondale Zoning Ordinance.

- Nightclubs (not including adult live entertainment as defined in Section 10 of the Avondale Zoning Ordinance);
- Health and exercise centers;
- Day care centers, pre-school centers, adult day care centers; and
- Indoor motion picture theaters.

Accessory Uses

The following uses are allowed as accessory uses directly related with an approved permitted use:

- Outdoor dining;
- Sidewalk café; and
- Walk-up Automatic Teller Machines.

Prohibited Uses

The following uses are prohibited in the Mixed-Use Office Park:

- Check cashing, bondsman, pawn shops, plasma centers, thrift stores;
- Day labor centers;
- Drive-thru facilities except as noted above;
- Outdoor storage;
- Automotive parts and supply store, fire stores, auto repair, car washes;
- Outdoor displays;
- Sexually oriented businesses;
- Convenience stores, gasoline stations, restaurants with drive-thru or drive-ins; and
- Any use not expressly permitted herein.

Business Park:

The purpose of the Business Park is to provide employment uses within a planned business park environment that provides for office and enclosed light industrial uses.

Permitted Uses

The following uses are authorized within the Business Park Element of the PAD:

- Professional, administrative, corporate, or business offices;
- Medical laboratories;
- Banks and financial institution with or without drive-thru facility;
- Corporate Centers;
- Media production or broadcasting studios (no onsite broadcasting towers);
- Manufacturing or assembly of finished products as long as the primary use of the property does not include the basic processing and compounding of raw materials or food products; and
- Commercial, trade, or business schools.

Permitted Uses Subject to Conditions

The following uses are authorized within the Business Park subject to the listed conditions:

- Office Warehouse:
 - A minimum of 25% of the gross floor area shall be designated and designed for office use.
 - Roll-up doors shall not be visible from a public street.

Conditional Uses

The following uses may be allowed in the Business Park through the review and approval of a Conditional Use Permit. Conditional uses shall be processed and evaluated in accordance with Section 108, *Conditional Use Permits*, of the City of Avondale Zoning Ordinance. (None proposed)

Accessory Uses

The following uses are allowed as accessory uses directly related with an approved permitted use:

- Retail commercial sales directly related to the primary use, not to exceed 10% of the gross floor area of the primary use; and
- Walk-up Automatic Teller Machines.

Prohibited Uses

The following uses are prohibited in the Business Park:

- Check cashing, bondsman, pawn shops, plasma centers, thrift stores;
- Day labor centers;
- Outdoor storage;
- Industrial uses that involve processing of raw materials;
- General retail sales;
- Outdoor displays;
- Sexually oriented businesses;
- Convenience stores, gasoline stations, restaurants with drive-thru or drive-ins;
- Contractors yard;
- Outdoor storage;
- Truck rental;
- Mini storage, dead vehicle storage, RV storage, truck parking or storage;
- Bulk warehousing and distribution as the principal use;
- Automotive related uses including, but not limited to, auto body and engine repair, upholstery, painting facilities, diagnostic facilities, and emissions testing facilities; and
- Any use not expressly permitted herein.

All activities shall take place within enclosed buildings. There shall be no off-site impacts such as odor, dust, noise, vibration, discharge, or glare that would be objectionable or incompatible with nearby business park users.

VIII. Development Standards

These development standards shall apply to development within the PAD unless otherwise noted, all development shall comply with the City of Avondale Zoning Ordinance. In the event where the text of the Zoning Ordinance and this PAD differ, the PAD shall prevail.

Lot Development Standards

Minimum Lot Width and Area:	None
Setbacks:	
Front from Avondale Boulevard	40' to parking, 30' to building
Front from all other streets	20' to parking, 20' to building
Interior side	None (shall comply with building code)
Rear yard	None (shall comply with building code)
Freeway	20' to parking or building
Building Height:	
	150'
Lot Coverage:	
	No maximum subject to meeting minimum development standards including parking, landscaping, and setback requirements.

Lighting

In addition to the following requirements, all lighting of the sites shall comply with Section 707: *Outdoor Lighting*, of the City of Avondale Zoning Ordinance.

- Accent lighting of selected architectural, landscape and/or hardscape features will be allowed and is encouraged. Said lights shall be fully shielded.
- Exterior fixtures will be located and oriented to focus light inward from the edge of each parcel.
- All primary light fixtures shall be metal halide.

- The design of lighting fixtures and their structural support shall be of a scale and architectural design compatible with on-site buildings.
- Fixtures that illuminate large areas from a single source are prohibited.
- Pedestrian scale lighting features shall be provided in areas designed for pedestrian activities such as plazas, courtyards, pathways, and seating areas but excluding parking only areas. Such pedestrian lighting fixtures will complement the general architectural style of the development.
- The use of decorative wall-mounted sconces or light fixtures is encouraged.

Screening

Where screening is required by development regulations, a combination of elements shall be used including solid walls, berms, and landscaping. The method of screening shall be architecturally compatible with the adjacent building in terms of materials and colors. Trash enclosures, service facilities, and loading areas will be sited away from project entrances and major circulation aisles.

Parking Areas

All parking areas shall be screened from the public right-of-way by a minimum three (3) foot high wall, landscape berm, or combination. Screen walls shall be commercial grade and designed to complement the design of the adjacent buildings.

All parking areas adjacent to Avondale Boulevard shall be screened from the right-of-way by a combination of landscape berm and screen wall. Walls may not be used for more than 25% of the total frontage of the parking lot along Avondale Boulevard. This does not include screening of drive-thru lanes or other areas required to be screened by walls.

All concrete light pole bases shall be designed to match the standard set forth for the entire development.

Service Areas

To alleviate the unsightly appearance of service areas, service areas shall not be located at the front of buildings where it is difficult to adequately screen them from view. Such facilities are restricted to the side or rear of the site. Service areas shall be screened with walls and landscaping. The minimum

height of screening of service areas shall be six (6) feet and up to eight (8) feet as required for buildings in the Business Park sub area.

Buildings with freeway frontage shall be oriented to provide screening of loading and service areas away from the view of the freeway traveler. Buildings shall be designed to give the appearance of fronting or facing onto the freeway to provide a significant architectural presence to the I-10 corridor.

Utility and Mechanical Equipment

All roof mounted equipment, satellite dishes and ventilators projecting above the roofline shall be either fully recessed or screened by a building parapet. No secondary screen elements are allowed unless specifically complementary to the design of the overall building.

No wall-mounted equipment shall be permitted on the front or street sides of any building, except as necessary for hotels. Wall mounted equipment shall be made visually subordinate with architectural features that blend with the design of the main building.

Ground mounted electrical or mechanical equipment shall be screened from view by walls and/or landscaping. No ground-mounted equipment, other than those installed based on specific utility company criteria, shall be permitted between any street and building setback line.

Service electrical system (S.E.S.) panels shall be recessed into the building elevation or screened with doors, landscaping, or a solid wall (with landscaping) built of similar building materials and colors of the main development and equal to or exceeding the height of the S.E.S. panel. This criteria shall be reviewed in context with utility company requirements and approved by Staff.

To the extent possible, ground-mounted utility cabinets will be placed where they do not conflict with prominent site views and where they can be screened from major streets and public areas. Cabinets and screen walls will be painted to match the principal structure.

Trash Enclosures

All trash or refuse collection areas shall be enclosed by a minimum six (6) foot wall. All gates shall be opaque and designed to complement the building

architecture. Landscaping shall be included around the screen walls. No refuse collection area shall be permitted between any street and the building setback line. All trash enclosures will meet City of Avondale requirements.

Walls and Fences

Walls shall be designed to complement the site's architecture. Landscaping used in combination with all walls is required. The Master Site Plan shall include a wall plan to show the approximate location and architectural theme of screen walls.

Walls and fences shall only be utilized for screening or security purposes. Walls shall not enclose individual parcels. Landscape buffers with a minimum width of six (6) feet are required between individual, separate development sites to provide a transition between uses as determined at the time of Master Site Plan review.

Parking

Parking shall be provided per Section 804, *Required Parking Schedule*, of the Avondale Zoning Ordinance except for those uses specified as follows:

Hotels	1 space per 1 rental room
Restaurant/Bar within Hotel*	1 space per 200 square feet
Banquet/Meeting Rooms within Hotel	1 space per 300 square feet

*Additional parking is not required for a hotel restaurant/bar if it is completely internal to the hotel (no separate entrance) and has no signage on the exterior of the building.

The size of all parking spaces, driveways, parking lot islands, and other improvements in the parking areas shall conform to the City of Avondale Zoning Ordinance. For all parking lots directly adjacent and visible to Avondale Boulevard, a minimum of 15% of the total parking lot area shall be landscaped.

Parking structures are allowed. Said parking structures shall be designed to be architecturally compatible with the buildings including, but not limited to, the use of similar colors, materials, and architectural features.

Canopy or shade type parking structures are allowed. Parking canopies shall not exceed 12 cars in length. No canopies shall be installed in the front of buildings. The design of the canopies shall be upgraded through the use of fascia skirts or upgraded details compatible with building architecture and columns painted to match the

buildings. Under canopy lighting shall be screened to limit visual distraction from the surrounding environment. Canopies shall be cantilever-type.

Special paving treatments shall be provided at site entrances into parking lots.

IX. Landscaping

The goal of the landscape design will be to create comfortably scaled development with tree lined streets and public spaces, provide a reflection of the architectural character, height and density of the buildings, and enhance the environment with color and excitement. The landscape plant material palette and landscape design will utilize Xeriscape principles to create a visually harmonious, water efficient landscape.

Individual parcel landscaping will enhance and acknowledge each site while complementing and unifying the overall development. All streets will be lined with a street theme tree with accent trees at various locations.

All plant materials shall be automatically irrigated with a 100% automatic, low volume drip emitter system. Irrigation run times shall be seasonally adjusted to maximize water use efficiency. The system shall be zoned for specific water use requirements, with all tree and shrub valve zones being controlled separately.

Plant materials were selected with consideration given to low water use, visual screening, air quality, shading and long term maintenance. Plants were selected from the Arizona Department of Water Resource Low Water plant list. The plant palette is provided as Figure 4.

In addition to the following requirements, all landscaping shall meet the minimum requirements set forth in Section 503: *Landscaping*, of the City of Avondale Zoning Ordinance. Individual parcels will be required to supplement any existing plantings in order to meet the required quantities.

The minimum street-landscaping setback shall be 30 feet to buildings and 40 feet to parking along Avondale Boulevard, 20 feet for Roosevelt Street and all other internal public local streets.

Landscaping shall be used to frame and soften structures. All areas not covered by structures, walkways, plazas or parking areas shall be landscaped.

A combination of trees and groupings of large shrubs shall be planted adjacent to structures at the front, side and rear elevations to accomplish the following:

- Accentuate the building design;
- Minimize the impact of large wall surfaces;
- Provide a buffer between building and parking areas;
- Highlight building entrances; and
- Provide solar protection of glazed surfaces.

Trees that are 36-inch box or larger are encouraged at major focal points such as building entries and pedestrian gathering areas.

All plant materials shall be properly pruned to allow the plant to attain their natural shape and form. The irrigation system will be maintained to optimize water efficiency. Use of fertilizers shall be prudent to avoid excessive plant growth, thus reducing water need and unnecessary pruning. All dead vegetation shall be removed within 30 days and replaced.

All planting areas shall receive topdressing of ½-inch select Decomposed Granite as approved for the project development. Color and size of the materials shall be compatible with overall development design criteria. Decomposed granite used in the Avondale Boulevard right-of-way shall match the decomposed granite color used in the Avondale Boulevard medians.

If retaining walls in retention basins are necessary, they shall be terraced and landscaped to reduce their visual scale.

All retention basins that are visible from public streets and common open spaces shall be designed to avoid a "bathtub" or linear channel appearance. Highly visible retention basins should be contoured using berms and curvilinear design.

X. Open Space and Amenities

Useable open space shall be provided in the form of outdoor sitting areas, pedestrian refuge areas, bench seating areas, outdoor plazas, courtyards, featured landscaped areas, walkways and paths. These open space areas shall be included on individual site plans as appropriate to project use. The separation of uses is required through placement of planters, street furniture, landscaping, different paving textures, and subtle changes in the ground plane.

Each applicable lot shall provide at least one (1) pedestrian refuge area and outdoor plaza. Pedestrian refuge areas shall consist of a minimum of 50 square feet, one (1) seating bench, two (2) trees and six (6) shrubs. Shade canopies may be provided in lieu of trees. Each area shall be separate and distinct.

Each applicable lot shall provide at least one (1) outdoor plaza or courtyard. Each plaza or courtyard shall be a minimum of 500 square feet. Plazas or courtyards shall include landscaping, planters, specialty pavers or enhanced concrete, pedestrian seating areas, pedestrian scale lighting, on-site furniture and shade coverage.

Each lot shall provide pedestrian walkways that interconnect with the outdoor plazas. Pedestrian walkways and paths shall have a minimum width of ten (10) feet. Five (5) feet shall be dedicated to landscape planting areas adjacent to the walkway and five (5) feet dedicated to the pedestrian walkway. Walkways or paths that traverse vehicle drive aisles shall be distinguished with specialty pavers or enhanced concrete.

Useable open space shall not include parking lot landscaping.

XI. Site Design

Building placement that creates opportunities for landscape features, plazas, courtyards, and/or outdoor dining is encouraged. Setback areas may be used to provide space for such areas.

Buildings are encouraged to be located at or near the front setback line or create a significant visual presence to the street.

Parking lots shall not be the dominant visual elements of the site. Large expansive paved areas shall not be placed along Avondale Boulevard. Instead smaller multiple lots located to the side or rear of the building and separated by landscaping is required.

Buildings shall not detract from the scenic and visual quality of the community, and should not impair views from Avondale Boulevard.

No drive-thru service window shall face directly onto a public street and it shall be an integral part of the primary building. The minimum stacking shall be three cars from the drive-thru ordering board.

XII. Architectural Design

The provisions of this section seek to create an attractive, high quality mixture of architectural styles with primary emphasis on a corporate, Mixed-Use Office and Business Park appearance. Buildings shall utilize creative applications of materials, colors and textures. The design of each building within the overall development, including complementary uses such as retail, restaurants and hotels, will be compatible through the use of common materials and colors while creating a strong individual identity consistent with their individual use and purpose. Materials and colors must be approved by the City Staff at the time of Master Site Plan review. A material board with complete preliminary specifications of finishes, color, and brochures on materials are required with any application.

The desirable architectural design elements for these buildings include:

- Building modulation, indentations and architectural details;
- Building entry accentuation; and
- Four sided architecture.

All downspouts shall be internalized.

Windows and glazing areas should include a variety of shapes, insets, shading devices, accent mullions or other treatments that complement the overall building design.

Building entrances shall be emphasized through the use of building materials, architectural design and specimen landscaping.

The design of each building adjacent to the freeway should consider the speed and direction of travel on the adjacent freeway. Particular design emphasis should be placed on those sides of the building most visible to freeway traffic. False building facades may be used to promote the corporate image on large wall expanses or for non-administrative buildings on the most critical building sides.

Building Massing

The visual impact of a building depends not only on its size, but also on the relationship between its length, width and height. Also, such features as prominent entries, windows, color and materials are factors in the visual impression of a building.

Building wall articulation is required on the buildings with appropriate details and elements to help create pedestrian scale and a sense of quality.

Reduction of building mass may be achieved by using a combination of the following techniques:

- Variation in the rooflines and form;
- Use of ground level arcades and covered areas;
- Use of protected and recessed entries;
- Use of vertical elements on or in front of expansive blank walls;
- Use of pronounced wall plane offsets and projections;
- Use of focal points and vertical accents;
- Inclusion of windows on elevations facing streets and pedestrian areas; and
- Retaining a clear distinction between roof, body and base of a building.

Roofs

All pitched-roof structures should be roofed with pre-cast "color-thru" flat concrete tile. Flat roofs shall be an earth-toned non-reflective material.

Variations in rooflines, one-way parapets or other significant roof or canopy forms shall be used to reduce the scale of commercial and industrial buildings. Roof size, shape, material, color and slope should be coordinated with the scale and theme of the building. Parapets for concealing flat roofs shall feature three dimensional cornice treatments or other similar details that enhance the building architecture. Where not used in conjunction with other roof elements, parapets should vary in height.

The size of all roof elements shall be appropriate to the size and scale of roofing materials used. Buildings with sloping roofs should include multiple planes.

Elevations / Walls

Particular attention to detail shall be given to all sides of buildings so that the main architectural theme/style is articulated on all sides. Materials shall be carried from the main elevation throughout the entire design of the building.

Approved Exterior Wall Material: Common clay brick, granite, marble or other natural stone, concrete masonry units (provided that surfaces are painted, stained or have attractive exposed aggregate which must be approved as to color and texture) and shall have architectural relief, architectural metal, and stucco or plaster (synthetic systems simulating stucco or plaster are permitted) provided that finishes must be smooth, sand, or ceramic tile. Concrete may be allowed provided that the building is highlighted with architectural features that create a corporate image. All exterior wall materials and design must be approved by City Staff.

Approved Exterior Wall Colors: All exterior walls shall be painted, stained, or integrally colored in non-reflective, neutral desert or earth tones. Accent colors found in the native desert palette are encouraged to provide design interest and diversity. All colors and combinations of colors, as well as color scheme for each elevation, must be reviewed and approved by the City of Avondale prior to construction.

Materials and Colors Not Permitted: Wood (except for very limited amounts of trim), exposed plain concrete block, corrugated metal and pre-engineered metal sided buildings, bright colors such as orange, red, blue, green, yellow, purple and the like (unless specifically approved for use as limited accents).

Representative images (see Figures 5, 6 and 7) are attached to indicate a general level of quality and design for each sub area: Commercial Core, Mixed-Use Office and Business Park. These images do not relieve applicants of meeting any of the requirements of this PAD or other applicable ordinances or codes.

Entrances

All buildings shall have clearly defined customer entrance(s) incorporating elements such as:

- Canopies or porticos;
- Overhangs;
- Recesses/projections;
- Arcades;
- Raised corniced parapets over the door;
- Peaked roof forms;
- Arches;
- Entrance framed by outdoor pedestrian features or enhanced landscaping;
- Architectural details such as tile work and moldings integrated into the building structure to frame the entryway;
- Integral planters or wing walls that incorporate landscaped areas and/or sitting areas; and
- Enhanced pedestrian surfaces.

All buildings adjacent to Avondale Boulevard shall have entryways that are unique and easily identifiable. Significant architectural faces of the buildings shall be oriented toward Avondale Boulevard.

Drive-Thru Facilities

All drive-thru facilities shall appear as an integral part of the primary building including canopies, wing walls, or architecturally enhanced screen walls. The method of screening shall be determined at the time of Master Site Plan review for the subject property.

XIII. Sign Package

These guidelines will ensure design continuity with the Avondale Gateway identification signage while allowing the individual projects architectural uniqueness, materials and finishes are integrated as well.

A master sign package will be submitted for review to the City of Avondale concurrent with the Master Site Plan review for each sub-area. Signage for the project is very important and will be unique based on the needs of the site of mixed-uses, and its various windows for signage. Along I-10 the window is more than 2,400 lineal feet of frontage, while the Avondale Boulevard has less than 600 lineal feet, the needs are special to the site.

Theme and Image

Avondale Gateway will be developed with an awareness of the surrounding community, its proximity to the freeway and within the freeway corridor. Design for all signage elements in the hierarchy of the project will be developed for compatibility with, and accentuating architectural elements. This will include forms, massing, colors, materials and finishes that complement—not copy the architecture.

Project Signage Hierarchy

Freestanding Signs

Primary identification for the project will be established with freestanding monument signage along Avondale Boulevard. Signs will display the name of the commercial development, "Avondale Gateway" and corresponding addresses.

Two freeway oriented identification pylons shall be located in an allowable freeway corridor location on-site to identify Avondale Gateway and up to four tenants each. Consideration to height and legibility will be addressed to mitigate any obstructive views by site, DOT and offsite elements may impose.

A multi-tenant monument for the Commercial Core Sub-Area is proposed. The maximum height of these signs shall be ten (10) feet. Such signs can include the name of up to three tenants and the name of the commercial development, "Avondale Gateway."

Project directional signs will be developed to provide wayfinding throughout the forty-eight acres and roadway system. These will be designed to provide safe vehicular flow within the established design theme. Directional signs shall provide directions to site without using individual tenant/building names. The maximum height of project directionals shall be eight (8) feet

For projects with drive through services, menu boards, ordering boards, shall be per the City of Avondale Zoning Ordinance except that such signs shall be monument style.

Building Signage

General Address Number

Address numbers are a critical method of way finding for the site. These signs will be strategically placed for maximum visibility to traffic entering each development within the project. The numerals will be a designed and located for visibility, recognition and safety. Future phases' building address numbers will be located in a similar manner and of similar material.

General Wall Signage

Tenant identification will be based on the type of use and their location within Avondale Gateway. With the complexity of the site layout, clear identification of the individual business will be a key component to an appropriate wayfinding system. A complete tenant building signage guidelines will be developed that ensures quality design, quality construction through any combination of the following types of signage and that which is appropriate for the use:

- Internally illuminated, aluminum pan channel returns and retainers and colored acrylic faces;
- Halo-illuminated, aluminum reverse pan channel graphics/letters;
- Non-illuminated, aluminum reverse pan channel, or dimensional flat cutout graphics/letters;
- Aluminum plate or aluminum cast letters; and
- Custom, dimensional and integrated cabinets.

Raceway mounted signs and internally illuminated, acrylic faced box cabinets will be strictly prohibited.

General Size and Area

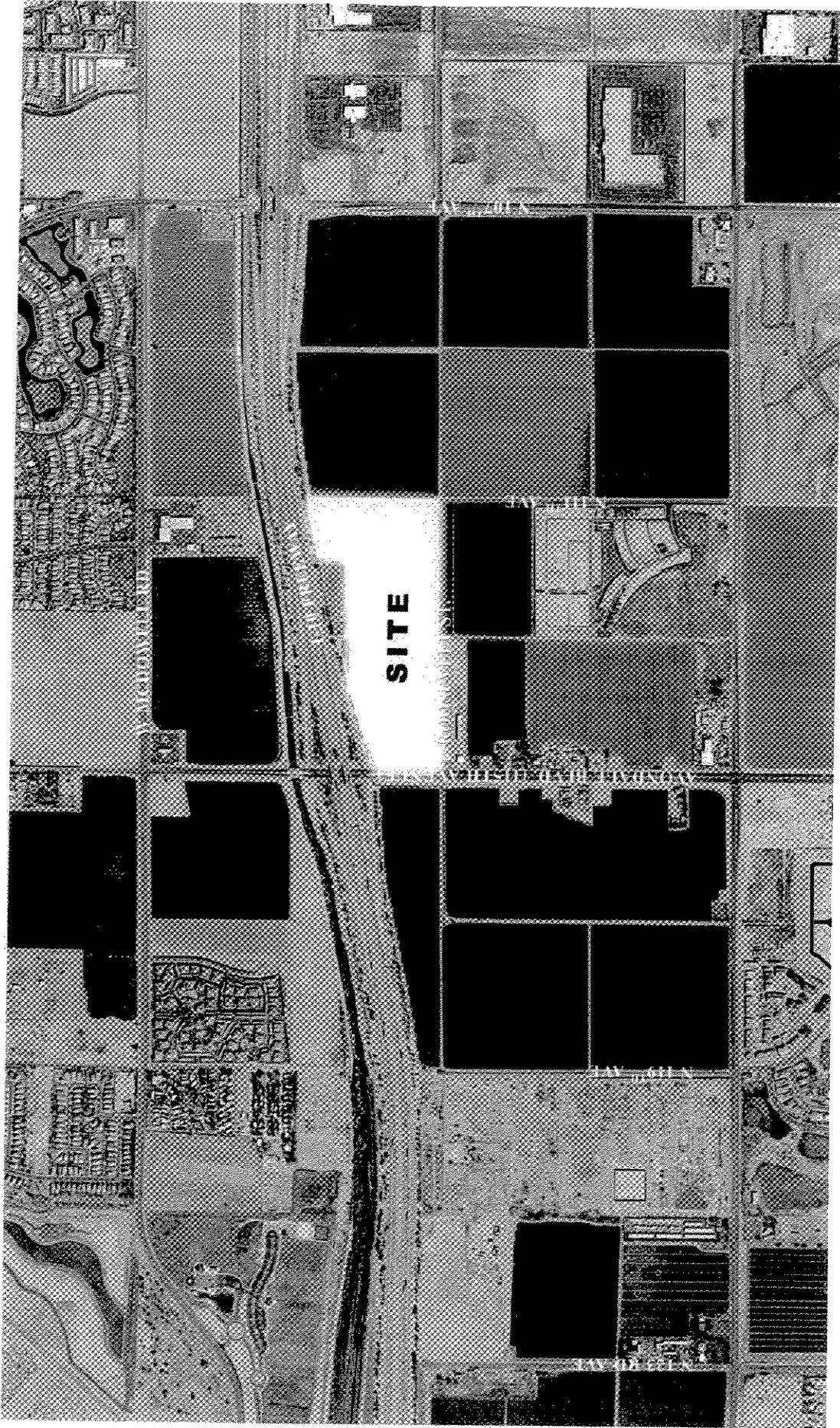
The overall area and sizes of building signage shall be designed to be proportional with the architecture.

Standard design proportions to 70% of the overall height and 80% overall length of building fascia area shall be used. Sign fields shall be delineated at the time of Final Site Plan review.

Maximum letter heights for the various locations and uses will also be established for good signage visibility based on street frontages, building heights, and incorporating tenants corporate identification standards. Such maximum letter heights shall be established at the time of Master Site Plan review.

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- Figure 1. Vicinity Map
- Figure 2. Legal Description
- Figure 3. Conceptual Master Development Plan
- Figure 4. Landscape Palette
- Figure 5. Landscape Street Frontage
- Figure 6. Representative Images – Commercial Core
- Figure 7. Representative Images – Mixed-Use Office
- Figure 8. Representative Images – Business Park
- Figure 9. Wall Mounted Identification Signs
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- Figure 11. Parking Screen Wall
- Figure 12. Light Pole and Base



AVONDALE GATEWAY
I-10 & AVONDALE BLVD.
04155

VICINITY MAP
Figure 1



FIGURE 2

LEGAL DESCRIPTION

PARCEL NO. 1:

That portion of the Northwest quarter of Section 6, Township 1 North, Range 1 East of the Gila and Salt River Base and Meridian, Maricopa County, Arizona described as follows:

BEGINNING at the West quarter corner of Section 6;

THENCE running in a Northerly direction along the West boundary of said Section, a distance of 843.23 feet, more or less, to a point in said boundary line 1784.00 feet South of the Northwest corner of said Section;
THENCE Easterly to a point in a line running from a point in the North line of said Section 519.40 feet West of the North quarter corner of said Section to a point on the South Line of said Northwest quarter, distant 470.80 feet from the Southeast corner of the Northwest quarter of said Section, distant along said line 1779.40 feet South of the North line of the said Section;
THENCE Southerly along said line 851.38 feet, more or less, to a point in the Southerly boundary line of said Northwest quarter, 470.80 feet West of the Southeast corner of said quarter section;
THENCE Westerly along the Southern boundary of said Northwest quarter to the place of beginning.

EXCEPT the West 33 feet thereof for road purposes;

PARCEL NO. 2:

That portion of the Northwest quarter of Section 6, Township 1 North, Range 1 East of the Gila and Salt River Base and Meridian, Maricopa County, Arizona, bounded and described as follows:

BEGINNING of the North quarter corner of said Section;

THENCE West along the Section line 519.40 feet;
THENCE Southerly 2630.78 feet, more or less, to a point on the South line of the said Northwest quarter, distance 470.80 feet West of the center of said Section;
THENCE East 470.80 feet to the center of said Section;
THENCE North 2631.99 feet to the PLACE OF BEGINNING.

EXCEPTING therefrom the following described property:

That part of the Northwest quarter of Section 6, Township 1 North, Range 1 East of the Gila and Salt River Base and Meridian, Maricopa County, Arizona, described as follows and reference is herein made to a line connecting a point on the South line and a point on the North line of the Northwest quarter, Section 6, said point being 470.80 feet from the Southeast corner and 519.40 feet from the Northwest corner thereof,

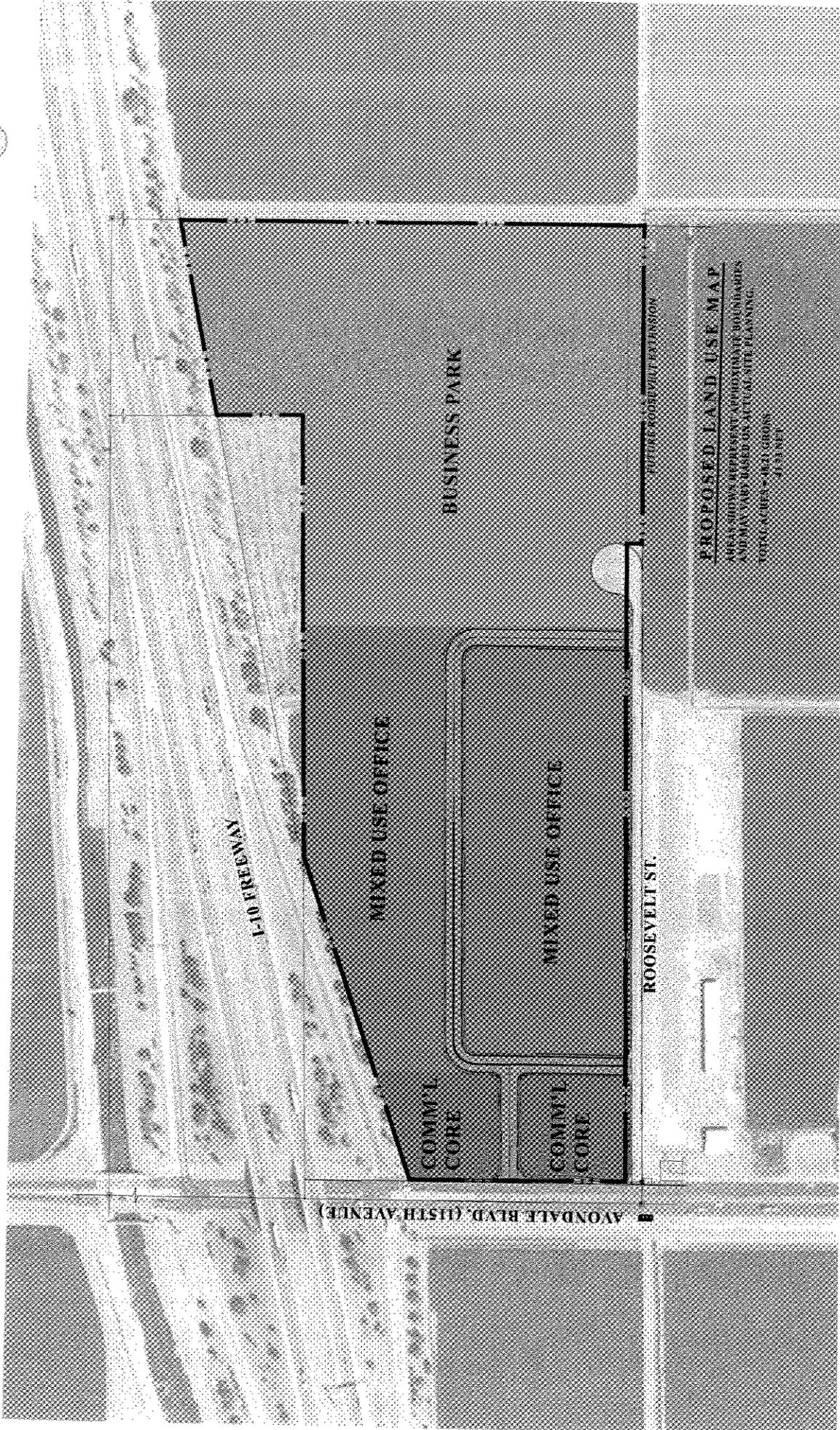
BEGINNING at the Northeast corner of the said Northwest quarter, Section 6;

THENCE South 00 degrees 13 minutes 48 seconds East along the East line of the said Northwest quarter, Section 6, a distance of 1102.71 feet;
THENCE South 78 degrees 00 minutes 00 seconds West 507.88 feet to a point on the above described line;
THENCE North 01 degrees 17 minutes 18 seconds West along the described line, a distance of 1198.76 feet to a point on the North line of the said Northwest quarter, Section 6;
THENCE North 88 degrees 54 minutes 56 seconds East along the said North line, a distance of 519.40 feet to the POINT OF BEGINNING.

EXCEPT any portion thereof of Parcels 1 and 2 laying Northerly and Westerly of the following described line:

BEGINNING at the West quarter corner of said Section 6;

THENCE North 88 degrees 45 minutes 34 seconds East along the East-West midsection line thereof, a distance of 55.00 feet;
THENCE North 0 degrees 16 minutes 01 seconds West 579.83 feet;
THENCE North 70 degrees 36 minutes 34 seconds East 916.17 feet;
THENCE North 77 degrees 55 minutes 39 seconds East 1629.93 feet to the point of ending.



AVONDALE GATEWAY
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**CONCEPTUAL MASTER
 DEVELOPMENT PLAN**
 Figure 3

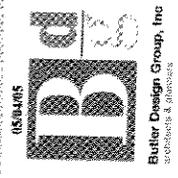


Figure 4
Avondale Gateway Plant Pallet

Trees

1. Sweet Acacia
2. Catclaw Acacia
3. Weeping Wattle
4. Twisted Acacia
5. Blue Palo Verde
6. Palo Brea
7. Chitalpa
8. Ironwood
9. Texas Ebony
10. Mesquite
11. Chilean Mesquite
12. Honey Mesquite
13. Southern Live Oak
14. Date Palms
15. Desert Museum Palo Verde
16. Shoestring Acacia
17. Evergreen Bird of Paradise

Accents

1. Century Plant
2. Octopus Agave
3. Gentry's Agave
4. Weber's Agave
5. Saguaro Cactus
6. Peruvian Apple
7. Desert Spoon
8. Fishhook Barrel
9. Ocotillo
10. Giant Hesperaloe
11. Red Yucca
12. Tree Bear Grass
13. Bear Grass
14. *Opuntia sp. (Cactus varieties)*
15. Golden Barrel
16. Toothless Desert Spoon
17. Spanish Bayonet
18. Twisted Yucca
19. Agave Sp.

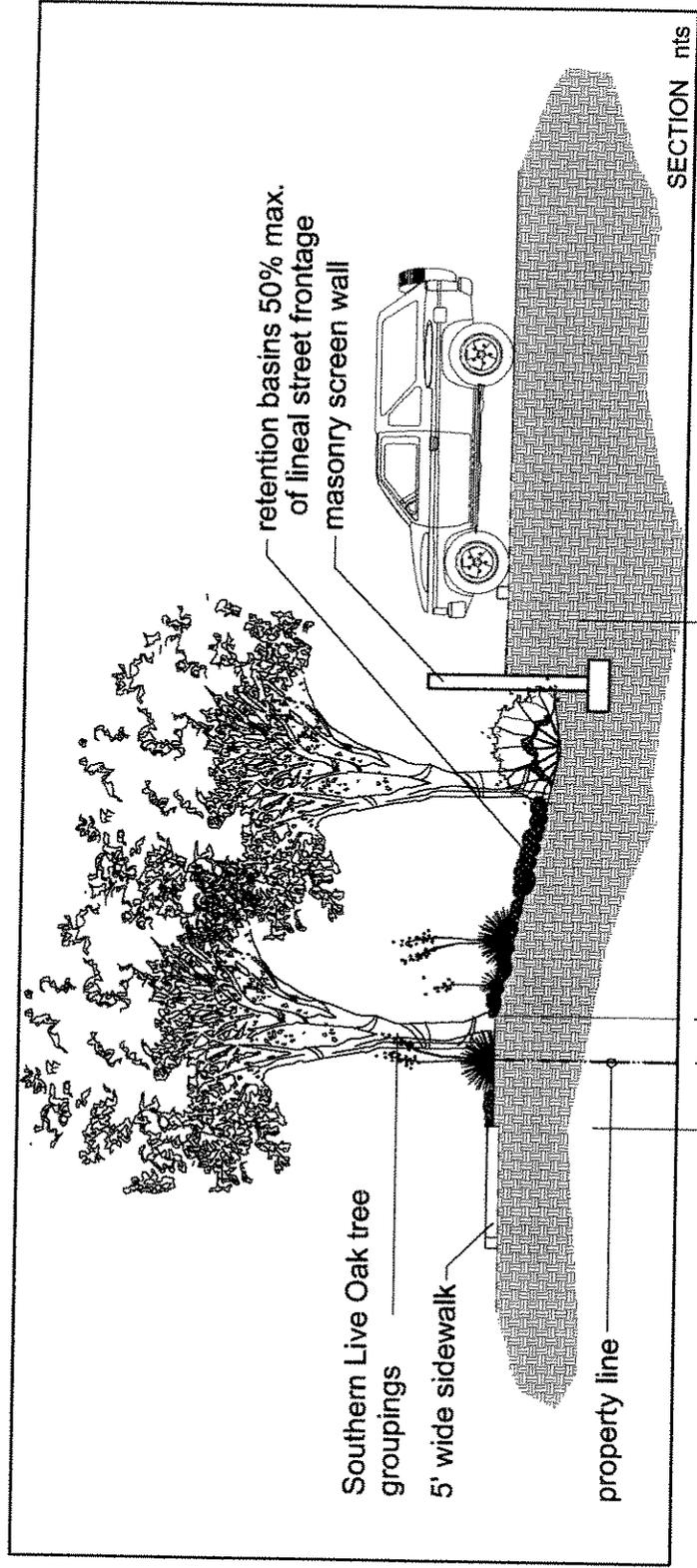
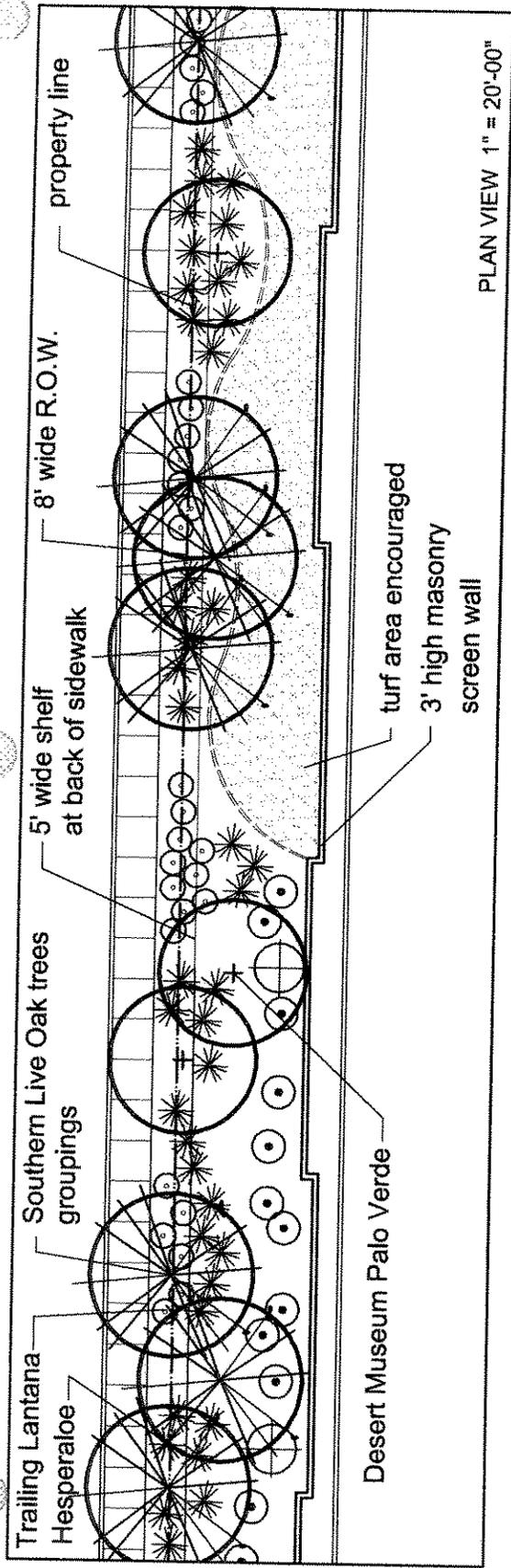
Shrubs

1. Desert Carpet
2. Bursage
3. Desert Milkweed
4. Bush Bougainvillea 'Barbara Karst'
5. Shrubby Senna
6. Mexican Bird of Paradise
7. Red Bird of Paradise
8. Yellow Bird of Paradise
9. Baja Fairy Duster
10. Pink Fairy Duster
11. Dalea 'Sierra Gold'
12. Brittle Bush
13. Turpentine Bush
14. Desert Lavender
15. Chuparosa
16. Regal Mist
17. Firecracker Penstemon
18. Desert Penstemon
19. Lady Bank's Rose
20. Mexican Barrio Ruellia
21. Cleveland Sage
22. Jojoba
23. Globe Mallow
24. Ruellia Species
25. Green Cloud Sage
26. Chihuahuan Sage
27. Salvia Species
28. Valentine Bush
29. Paper Flower
30. Petite Pink Oleander
31. Heavenly Bamboo

Figure 4
Avondale Gateway Plant Pallet

Groundcovers

1. Desert Marigold
2. Angelita Daisy
3. Bush Lantana
4. Lantana 'New Gold'
5. Trailing Ice Plant
6. Blackfoot Daisy
7. Gooding Verbena
8. Goldeneye
9. Bush Morning Glory
10. Turf – Hybrid Bermuda,
"Midiron"
11. Purple Trailing Lantana
12. "Little Katies" Ruellia
13. Yellow Dots
14. Myoporum
15. Dwarf Trailing Lantana



LANDSCAPE STREET FRONTAGE
(typical: excludes Avondale Blvd.)

Avondale Gateway

Figure 5

COMMERCIAL CORE

* SHADING DEVICES

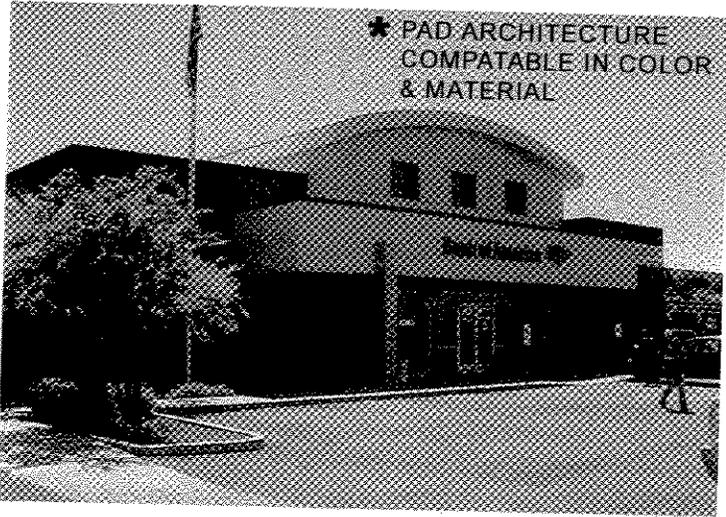
HEIGHTENED DETAIL AT ENTRIES



* VARIETY OF ROOF FORM & PARAPET TREATMENT



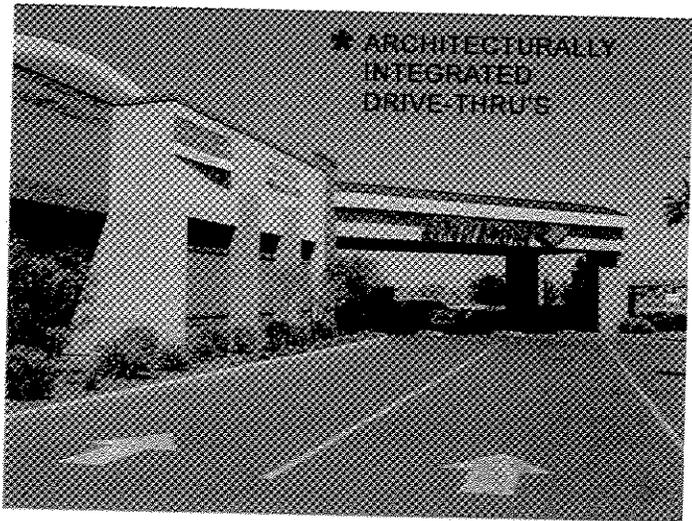
* PAD ARCHITECTURE COMPATIBLE IN COLOR & MATERIAL



* VARIED PARAPET HEIGHTS

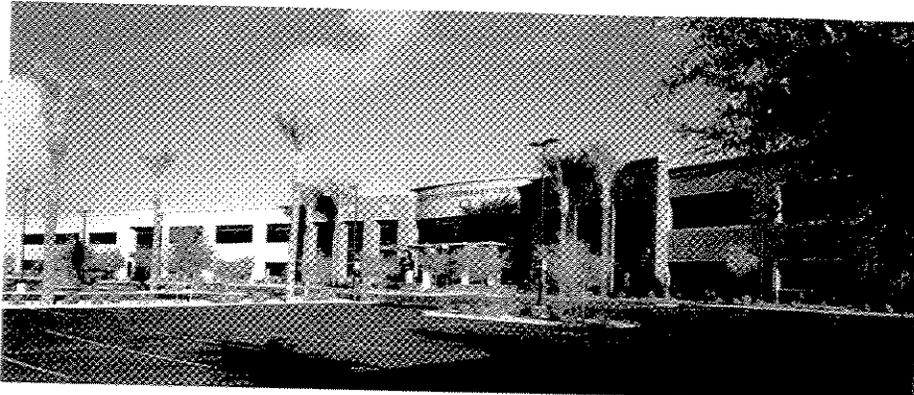


* ARCHITECTURALLY INTEGRATED DRIVE-THRU'S



REPRESENTATIVE IMAGES
Figure 6

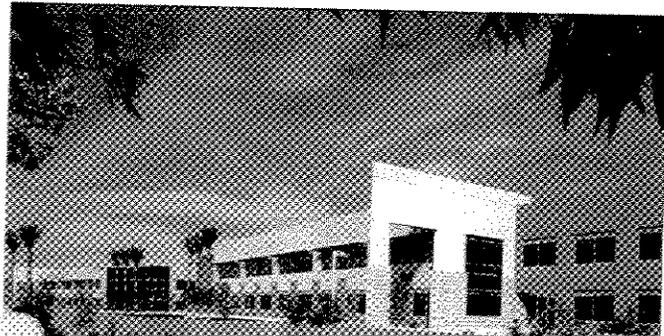
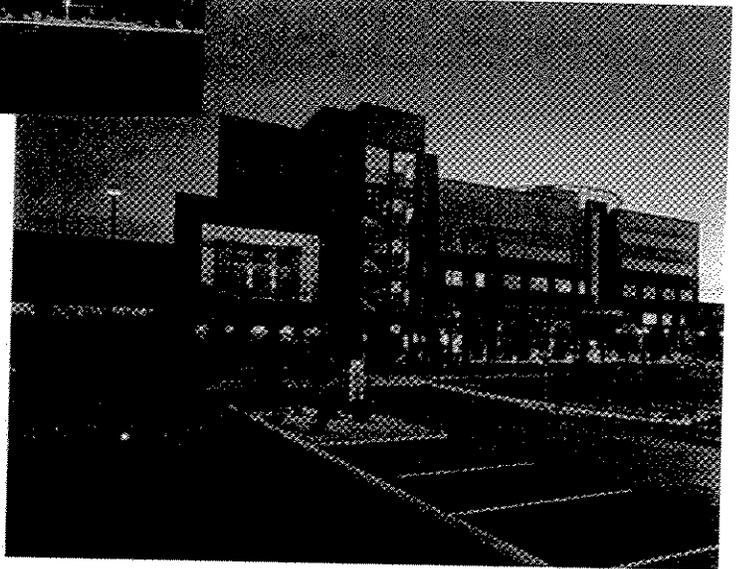
MIXED USE OFFICE PARK



- * OFFSETS IN WALL PLANES TO CREATE DEPTH, SHADOW & BREAK UP MASSING

- * ACCENT MATERIALS FOR ADDED TEXTURE

- * EMPHASIS ON BUILDING ENTRY



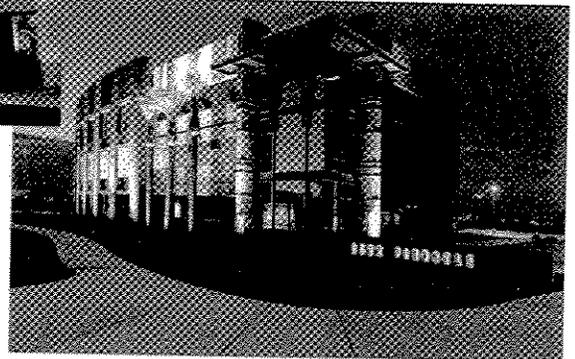
- * USE OF DETAIL FOR ARCHITECTURAL EMPHASIS

- * USE OF STRONG FORMS & MASSES

- * EARTH TONE COLORS WITH DESERT - BASED ACCENTS



- * FEATURE LANDSCAPE & LIGHTING



REPRESENTATIVE IMAGES

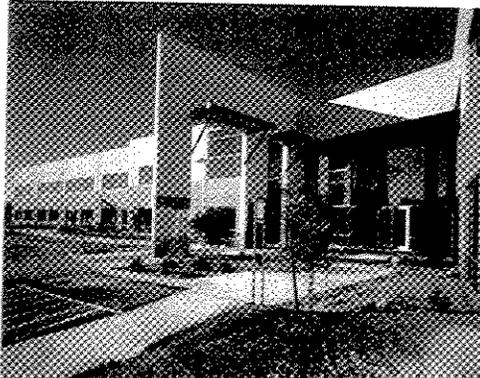
Figure 7

BUSINESS PARK



* CONTRAST IN COLOR & MATERIAL TO CREATE VISUAL INTEREST

* DETAIL AT TOP OF WALL FOR ADDITIONAL IDENTITY



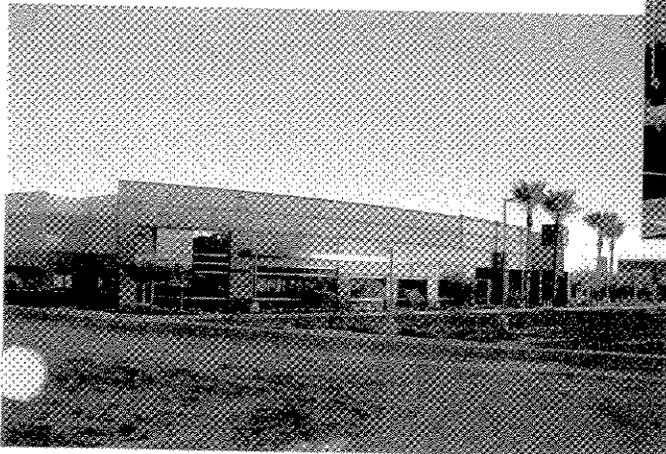
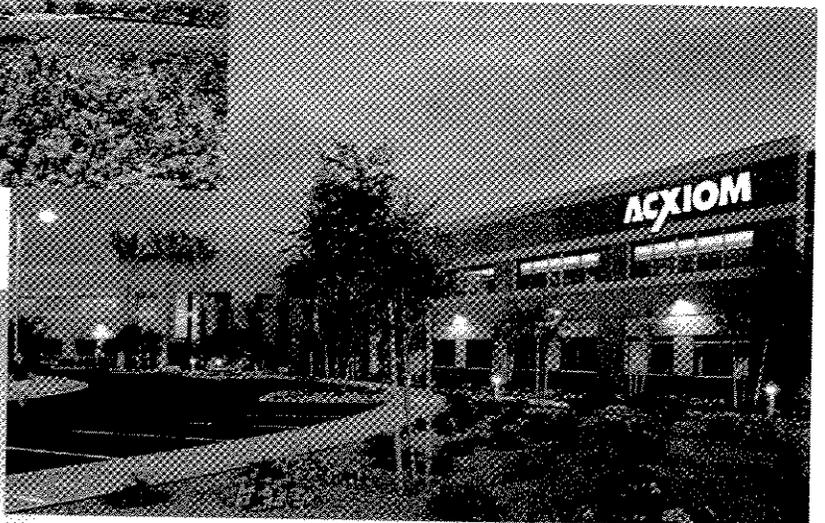
* STRONG, BOLD FORMS



* LANDSCAPING TO COMPLIMENT ARCHITECTURE



* DESERT BASED COLOR PALETTE
* VARIATIONS IN TEXTURE
* SURFACE ARTICULATION



REPRESENTATIVE IMAGES

Figure 8

Figure 9
Wall Mounted Identification Signs

User Type	Type	Calculation	# of Signs	Maximum Area	Placement	Description	Illumination
Master Development - signage types allowed throughout the development	Awning Signs	Shall be counted as part of the tenants aggregate sign area based on linear front footage.	See Placement	Shall be counted as part of the tenants aggregate sign area based on linear front footage.	50% of the awning valance height and 80% of the awning width of the element it is installed on.	Both awning and signage must be constructed of permanent type materials. Awning must be an integral part of the building elevation design. Signage must be mounted parallel to the face.	Shall not be illuminated.
	High Rise - Buildings allowed over four (4) stories. Signs for Building/Development Identification.	One (1) square foot of signage for each one (1) linear foot of the longest building elevation. One-half (1/2) square foot of signage for each one (1) linear foot of each additional elevation.	A maximum of four (4) elevations may have signage.	The maximum aggregate sign area shall be 500 square feet for buildings up to 50,000 square feet in floor area and 850 square feet for buildings greater than 50,000 square feet of floor area.	Sign fields must be delineated at time of Final Site Plan review and must be integrated with building design.	Both individual pan channel, letters and logos; reverse pan channel letters and logos; or custom cabinets shall be allowed.	Internal backlit or halo, or combination
Mixed Use Office Park	Freeway Signs - Buildings with either main entry or rear elevations directly adjacent to freeway.	Two (2) square foot of signage for each one (1) linear foot of the elevations oriented to freeway traffic.	Elevations oriented to freeway traffic	The maximum aggregate sign area shall be 500 square feet for buildings up to 50,000 square feet in floor area and 850 square feet for buildings greater than 50,000 square feet of floor area.	Sign fields must be delineated at time of Final Site Plan review and must be integrated with building design.	Both individual pan channel, letters and logos; reverse pan channel letters and logos; or custom cabinets shall be allowed.	Internal backlit or halo, or combination
	Single tenant buildings	One (1) square foot of signage for each one (1) linear foot of the longest building elevation. One-half (1/2) square foot of signage for each one (1) linear foot of each additional elevation.	A maximum of four (4) elevations may have signage.	The maximum aggregate sign area shall be 250 square feet for buildings up to 50,000 square feet in floor area and 500 square feet for buildings greater than 50,000 square feet of floor area.	Sign fields must be delineated at time of Final Site Plan review. Sign must not exceed 70% of the vertical height of the sign field or 80% of the horizontal width of the sign field on which it is placed.	Both individual pan channel, letters and logos; reverse pan channel letters and logos; or custom cabinets shall be allowed.	Internal backlit or halo, or combination
Commercial Core	Multi-tenant buildings (1-2 stories)	One (1) square foot of signage for each one (1) linear foot of the longest building elevation. One-half (1/2) square foot of signage for each one (1) linear foot of each additional elevation.	A maximum of three (3) elevations may have signage.	The maximum aggregate sign area shall be 250 square feet for buildings up to 50,000 square feet in floor area and 500 square feet for buildings greater than 50,000 square feet of floor area.	Sign fields must be delineated at time of Final Site Plan review. Sign must not exceed 70% of the vertical height of the sign field or 80% of the horizontal width of the sign field on which it is placed.	Both individual pan channel, letters and logos; reverse pan channel letters and logos; or custom cabinets shall be allowed.	Internal backlit or halo, or combination
	Multi-tenant buildings (3 or more stories)	N/A	A maximum of two (2) signs.	The maximum aggregate sign area shall be 250 square feet for buildings up to 50,000 square feet in floor area and 500 square feet for buildings greater than 50,000 square feet of floor area.	Sign fields must be delineated at time of Final Site Plan review. Sign must not exceed 70% of the vertical height of the sign field or 80% of the horizontal width of the sign field on which it is placed.	Project/Development identification	Internal backlit or halo, or combination
Business Park	Single /Multi-tenant buildings	One (1) square foot of signage for each one (1) linear foot of the longest building elevation. One-half (1/2) square foot of signage for each one (1) linear foot of each additional elevation.	A maximum of four (4) elevations may have signage.	The maximum aggregate sign area shall be 250 square.	Sign fields must be delineated at time of Final Site Plan review. Sign must not exceed 70% of the vertical height of the sign field or 80% of the horizontal width of the sign field on which it is placed.	Both individual pan channel, letters and logos; reverse pan channel letters and logos; or custom cabinets shall be allowed.	Internal backlit or halo, or combination
	All buildings	Single tenant buildings on corner parcels with building frontage on two major roadway frontages may use both frontages calculated at one (1) square foot of signage per one (1) foot of frontage. On additional frontages, for each one (1) foot of frontage, one-half (1/2) square foot of signage is allowed.	A maximum of four (4) elevations may have signage.	The maximum aggregate sign area shall be 250 square feet for buildings up to 50,000 square feet in floor area and 500 square feet for buildings greater than 50,000 square feet of floor area.	Sign fields must be delineated at time of Final Site Plan review. Sign must not exceed 70% of the vertical height of the sign field or 80% of the horizontal width of the sign field on which it is placed.	Both individual pan channel, letters and logos; reverse pan channel letters and logos; or custom cabinets shall be allowed.	Internally halo illuminated

Raceway Mounted Signs are prohibited. Each tenant is allowed a minimum of 24 square feet of signage.

**Figure 10
Freestanding Signs**

User Type	Type	# of Signs	Maximum Height	Maximum Area	Description	Location
Master Development Signs	Freeway Pylon	2	65 Feet	Total Signage, per face, not to exceed 45% of the gross sign area, maximum 23 feet in width	Four (4) Tenant Panels and Identification of Master Development	Adjacent to Interstate 10 Freeway
	Entrance Monuments	2	8 feet	100 square feet	Identification of Master Development Only - Roosevelt location to allow for hotel(s) entrance identification	Adjacent to Avondale Boulevard - corner of I-10 and Avondale Blvd., and Avondale Blvd and Roosevelt.
Mixed Use Office Park	Hotel Primary Identification Monument		8 feet	60 square feet	Identification of hotel user	1 per primary entrance
	Hotel Secondary Identification Monument		4 feet	30 square feet	Identification of hotel user	1 per secondary entrance
	Hotel Directional Signs		4 feet	7 square feet	No identification or logos, for navigation only	As approved by staff at time of sign permit, maximum of two signs per site
Commercial Core	Single-Tenant Building (Excluding hotels)		8 feet	60 square feet	Identification of tenant	One per street frontage
	Multi-Tenant Buildings (Excludes Hotels)		8 feet	60 square feet	Three (3) tenant panels and identification of project	One per street frontage
Business Park	Commercial Core Multi-Tenant Monument	One (1)	10 feet	70 square feet	Four (4) tenant panels and identification of master development	Adjacent to Avondale Boulevard
	Single-Tenant Building (Excluding hotels)	One (1) per street frontage	6 feet	60 square feet	Identification of tenant	One per street frontage
	Multi-Tenant Buildings (Excludes Hotels)	One (1) per street frontage	6 feet	60 square feet	Three (3) tenant panels and identification of project	One per street frontage
	On-site Campus Directories	As required to provide safe traffic flow	8 feet	32 square feet	Directional information to buildings, facilities, etc.	As per plans
	On-site Directionals	2	4 feet	12 square feet	Information for private, public, delivery entrances and exits.	As per plans

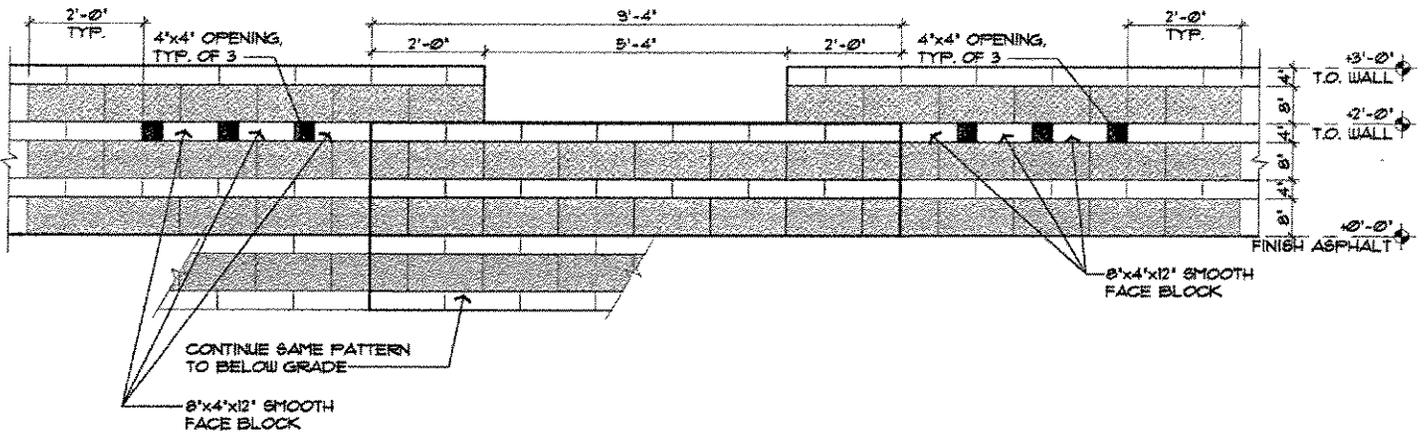
Sign locations must be delineated at time of Final Site Plan review

For all multi-tenant freestanding signs, a landscaped area shall be provided, on-premise at the street frontage at the base of the sign, which shall extend a minimum of four (4) feet beyond the perimeter section of the sign structure at its widest point.

Setbacks

No signs shall be located in any public right of way but may be located at the property line with the leading edge of the sign.

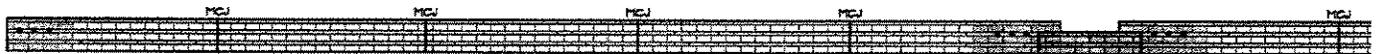
No signs shall be located in any public utility easement.



TYPICAL WALL ACCENT

SCALE: N.T.S.

1. TYPICAL WALL - 8" HIGH SMOOTH BLOCK WITH 4" SMOOTH ACCENT BANDS, RECESSED 1/2".
2. ACCENT WALL ELEMENTS - 8" HIGH SPLIT FACED BLOCK WITH 4" SMOOTH BANDS, RECESSED 1/2".
3. BLOCK TO BE INTEGRAL COLOR OF STAINED COLOR TYPICAL THROUGHOUT MASTER PLAN.



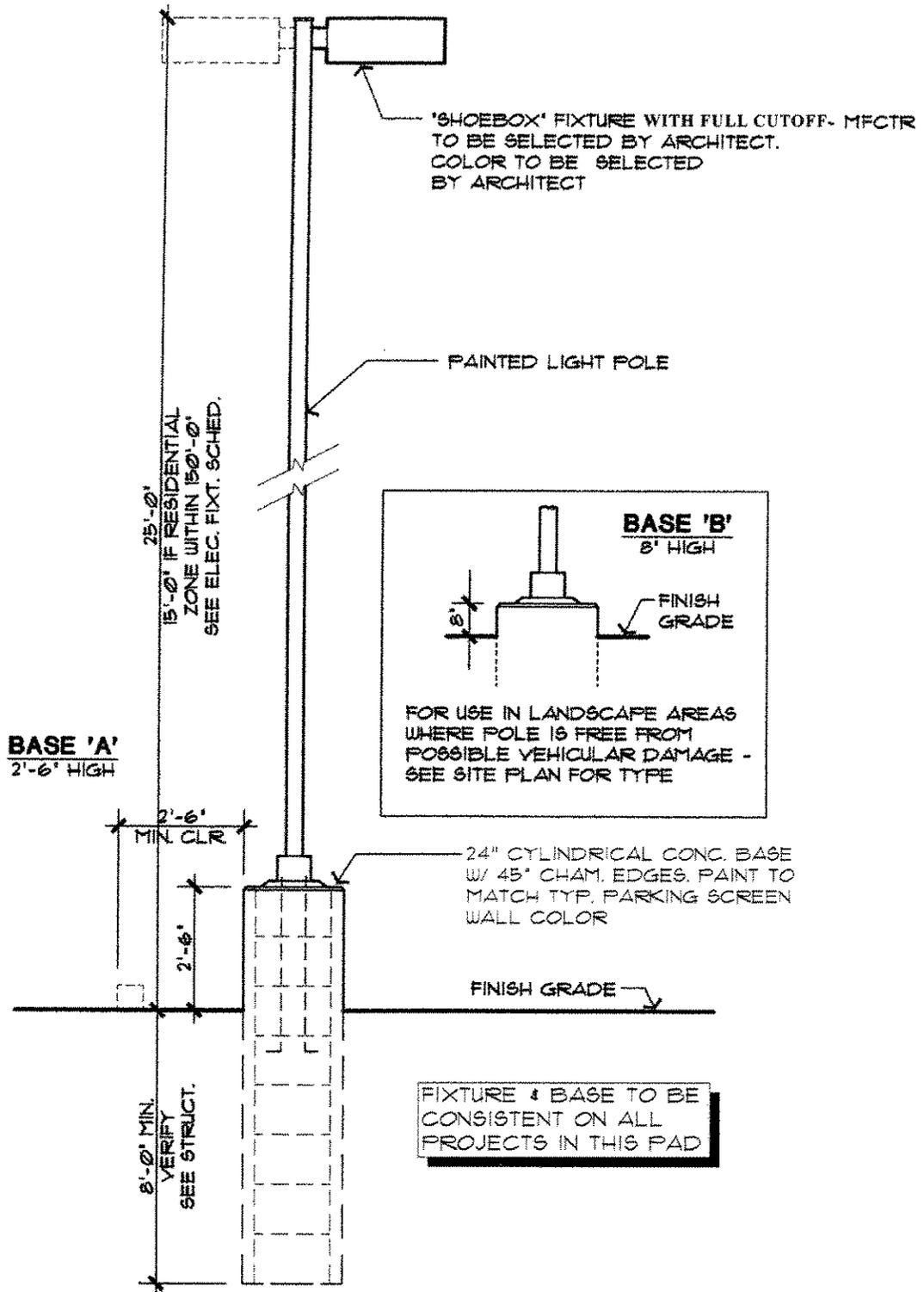
TYPICAL PARKING SCREEN WALL PLAN AND ELEV.

SCALE: N.T.S.

Figure 11



Butler Design Group, Inc.
architects & planners



LIGHT STANDARD

SCALE: 3/8" = 1'-0"

Figure 12



City of Avondale

Planning and Building Services
11465 W. Civic Center Drive, Suite 110
Avondale, Arizona 85323-6804
Phone: (623) 478-3330
Fax: (623) 478-3824
Website: www.avondale.org

June 23, 2005

Mr. Jeff Allen
Kitchell Development
1707 E. Highland Ave., Suite 100
Phoenix, Arizona
85016

RE: SEC Avondale Blvd. and I-10 PAD Amendment
Case Number Z-05-5

Mr. Allen,

I am pleased to inform you that on June 20, 2005 the City Council approved Case Z-05-5 subject to the following three stipulations:

1. Development shall be in substantial conformance with the development plan and narrative dated June 15, 2005.
2. The required development standards shall be as shown in the narrative request dated June 15, 2005.
3. All water rights on the property shall be conveyed to the City of Avondale prior to recordation of the final plat.
4. Perimeter half-street improvements along Avondale Boulevard and Roosevelt Street and the internal loop road shall be constructed in a single phase at the time of development.
5. Street improvements shall be required as follows, as determined by the City Engineer:

<i>Street</i>	<i>Required ROW Width</i>	<i>Required Improvements</i>
Avondale Boulevard	65' (half-street)	Detached sidewalk and landscaping. Deceleration lanes if deemed necessary by City Engineer at the time of final improvement plan approval
Roosevelt Street	40' (half-street)	Paving, curb, gutter, sidewalks, street lights, landscaping.
Internal loop road	60' (full street)	Paving, curb, gutter, sidewalks, street lights, landscaping.
111 th Avenue	30' (half-street)	Paving, curb, gutter, sidewalks, street lights, landscaping.

6. The 60-foot full-width right-of way for internal loop road and 40-foot half-width right-of-way for Roosevelt Street shall be dedicated at the time of final plat.
7. A maximum of one freeway pylon sign is permitted for the master development. Such sign may include up to six tenant panels on each side.
8. No directory sign shall be located within the front yard setback.
9. No sign shall be located in a public utility easement.
10. Shaded pedestrian walkways shall be provided from Avondale Boulevard to buildings within the Commercial Core. One 24-inch box tree shall be planted along the walkway for each 20 linear feet of the walkway length. Canopies or other shade structures may be substituted for the landscape plantings as long as they are designed to match the overall site architectural theme.
11. Parking for restaurants that are collocated within a hotel, but which feature separate entrances, shall be provided at a rate of 1 parking space per 100 feet of public area.
12. All drive-thru facilities shall feature a canopy to fully integrate the drive-thru facility with the primary building.
13. Painted CMU shall not be a permitted building material. Integral color CMU shall be a permitted material.
14. All buildings shall use glass with low reflectivity.
15. There shall not be a height limitation for wall mounted signs, but no sign shall project above the parapet of a flat roof or the plate line on a gabled roof.
16. The 30-foot half-width right of way shall be dedicated for 111th Avenue from Roosevelt Street to approximately 250 feet north of Roosevelt Street at the time of the final plat. Additional right-of-way shall be provided for a temporary cul-de-sac at the end of the street.
17. Multi-tenant buildings of three or more stories in the Mixed Use Office Park shall be permitted one square foot of signage for each linear foot of the longest building elevation. One half (1/2) square foot of signage shall be allowed per one foot of frontage of an additional elevation.

The public hearing sign can now be removed from the property. Please have the sign removed within seven days of the date of this letter.

It has been a pleasure working with you on this project. Please let me know if you have any questions or concerns.

Sincerely,



Anna Roedler
Planner II

Excerpt of the Draft Minutes of the regular Planning Commission meeting held July 17, 2008 at 6:00 p.m. in the Council Chambers.

COMMISSIONERS PRESENT

Linda Webster, Commissioner
Angela Cotera, Commissioner
David Iwanski, Chairman
Edward Meringer, Commissioner
Michael Demlong, Vice Chairman
Alan Lageschulte, Commissioner

CITY STAFF PRESENT

Brian Berndt, Development Services Director
Dean Svoboda, Long Range Planning Director
Ken Galica, Planner II, Development Services Department
Kelly LaRosa, Traffic Engineering Department
Scott Wilken, Senior Planner, Development Services Department
Rogene Hill, Assistant City Manager
Chris Schmaltz, City Attorney

APPLICATION NOS. Z-08-2

APPLICANT: Mr. Mike Edwards
DAVIS
60 E. Rio Salado Parkway, Suite 200
Tempe, AZ 85281

PROPERTY OWNER: Cavan Real Estate Investments
15333 N. Pima Road, Suite 305
Scottsdale, AZ 85260

REQUEST: This is a request for master site plan approval of Avondale Gateway Offices located at the northeast corner of Hilton Way and Roosevelt Street. Staff Contact: Ken Galica

Ken Galica, Planner II, Development Services Department, stated that this is Item DR-08-2 is a request for master site plan approval for a 9.7 acre parcel that falls within the boundaries of the Avondale Gateway PAD.

Mr. Galica continued, stating the subject property is located within the existing Avondale Gateway PAD east of Hilton Way and west of the 111th Avenue alignment. The parcel is surrounded by vacant land on all four sides. The nearest existing development is the Homewood Suites Hotel. Approximately 430 feet south and to the west there is a vacant parcel in between the hotel and the subject parcel. The property directly south is not incorporated and is zoned County RR-43.

Mr. Galica stated the proposed site plan includes two Class A office buildings totaling 150,000 square feet. A two-story, 60,000 square foot Office A building is located on the west portion of the property. A three story, 90,000 square foot Office B is on the east. Primary access to the development is obtained via a private blvd. which bisects the site connecting Gateway Blvd. to Roosevelt Street. Secondary access is provided by driveway entrances off of Hilton Way and 111th Avenue. All four access points will provide full turning movements, and the site offers two-way circulation throughout and is designed to accommodate larger service vehicles. 661 parking spaces are provided, of which 228 are covered spaces. The site plan meets or exceeds all parking regulations and ADA requirements. Trash enclosures are provided at the southwest and southeast corners of the site and will be screened by landscaping.

The landscape plan features a mix of Acacias, Palo Verdes, Chitalpas, and Palm trees, along with seven varieties of shrubs and sixteen types of accents/ground cover. Nearly 75% of the trees provided are 24" box, 2" caliper or larger. The project meets or exceeds all landscaping requirements set forth in the Avondale Gateway PAD and the Zoning Ordinance. Pedestrian plazas are provided throughout the site. Entry plazas are located near the primary entrance to each building. Lunch patios are provided adjacent to each building and pedestrian smoker refuge areas are provided in the parking lot for each building. All pedestrian areas will provide seating and shading. Shaded pedestrian paths are provided throughout.

Mr. Galica stated that Office A is roughly 41 feet in height and features contemporary architecture. Colors and materials are subtle and were chosen by the applicant to provide visual interest while maintaining a professional, refined look.

Commissioner Cotera asked about the shrubs shown in the drawing. Mr. Galica stated that area would have the covered parking, which is not shown because it would block the view of the building in the drawing.

Vice Chair Demlong noted in reference to DR-08-2, the plans are rather too reflective and box-like and he sees no pop outs or awnings. He asked if the plans meet the Design Manual criteria for Commercial, Industrial and Multi-Family.

Mr. Galica continued, stating that architectural elements include the use of Arizona sandstone columns, anodized aluminum accents which add verticality to the building are located in proximity to the building entrances, and Blue glass used for color. Office B is approximately 54' in height and uses the same materials, colors and concepts as Office A. Staff's feels that the elevations do meet the intent of the Design Manuals by including varied materials and frequent changes in wall plane and roof height.

Mr. Galica stated that the site meets all required findings for a site plan within the Avondale Gateway PAD. Staff recommends approval of this application with 12 stipulations.

Chairperson Iwanski invited questions and comments, and hearing none, invited the applicant to address the Commission.

Mike Withey, Withey Morris PLC, representing Cavan Investments, stated they will provide Avondale with a dynamic Class A office employment campus. They have been working with Staff for months and think they have done all they have been asked. They are present tonight with Staff's recommendation for approval. They have no opposition and are in full conformance with the General Plan. He appreciates the Commissioners' comments regarding the fact that they have exceeded the ordinance requirements in order to ensure this will be a quality development.

Chairperson Iwanski invited questions and comments.

Commissioner Cotera asked about the construction timeline. Mr. Withey stated that with the time and cost for Parcel 1, their current intent is to move ahead and they hope to get that started in the near future.

Vice Chair Demlong stated the City is very fortunate that Cavan Investments brings their projects to Avondale because they are quality projects. He thanked the applicant for coming to Avondale. Mr. Withey stated the other big benefit to the City is that they were able to acquire all the property, rather than it being developed in smaller parcels. In this manner they can control quality and uniform street scape and landscaping to make a signature project.

Vice Chair Demlong stated he noticed Sweet Acacia trees in the parking lots and noted that one would not want to park their car underneath them, but he would leave it up to the applicant's landscape designers. He noticed there was no shade for the lunch areas and the smokers' refuge.

Chairperson Iwanski gave kudos to the applicant for the value added to the project.

Chairperson Iwanski invited further questions and comments on Item DR-08-2, and hearing none, called for a motion.

Vice Chair Demlong **MOVED** that the Planning Commission accept the findings and recommend approval of application DR-08-2, a request for master and final site plan approval for the Avondale Gateway Office Parcel One development, subject to the stipulations recommended by Staff. Commissioner Cotera **SECONDED** the motion.

1. Development shall be in conformance with the Site Plan, Landscape Plan, Grading and Drainage Plan, Utility Plan, and Photometric Plan date stamped June 12, 2008, project narrative and Colors/Materials Palette date stamped March 14, 2008, and building elevations and comprehensive sign package date stamped May 9, 2008, except as modified by these stipulations.
2. The plan approval expires in one year from date of approval unless a building permit has been issued.
3. A re-plat for Avondale Gateway must be approved by City Council and recorded prior to issuance of a Certificate of Completion or Certificate of Occupancy for any building on site. The plan will create the subject parcel and dedicate all required right-of-way.
4. The Final Plat shall show a Roadway Easement into the subject property which would allow for the temporary construction of an eastbound left turn lane into Driveway 1 from Roosevelt Street. This temporary alignment shall only be used if determined necessary by the City Engineer. Said easement may be abandoned following construction of the south half of Roosevelt Street when the property to the south develops.
5. To the extent allowed by law, all Type 1 and Irrigation Grandfathered Groundwater Rights appurtenant to the property shall be properly extinguished and the resulting Assured Water Supply credits pledged to the City of Avondale's account at the Arizona Department of Water Resources prior to recordation of the final plat.
6. All off-site improvements, including landscaping within the right-of-way, shall occur as part of the first phase.
7. All development shall be completed in accordance with the City of Avondale General Engineering Requirements Manual.
8. Signing & Striping Plans will be required to be submitted with Civil Improvement plans. Plantings shall be coordinated with the signing and striping plans so as not to block visibility of traffic control devices.
9. The base of the multi-tenant monument signs shall be Arizona Sandstone to match the buildings.
10. Pedestrian scale lighting shall be provided in the vicinity of pedestrian refuge areas. Said lighting must be shown on final construction plans.
11. All parking lot light pole bases shall be located in landscape islands or landscape areas.

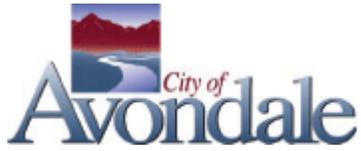
12. Landscape material adjacent to the property line shall not impede the pedestrian or fire lane access routes.

Chairperson Iwanski invited further discussion, and hearing none, called for a vote.

ROLL CALL VOTE

Chairperson Iwanski	Aye
Vice Chair Demlong	Aye
Commissioner Lageschulte	Aye
Chairperson Meringer	Aye
Commissioner Cotera	Aye
Commissioner Webster	Aye

THE MOTION PASSED UNANIMOUSLY.



CITY COUNCIL REPORT

SUBJECT:
EXECUTIVE SESSION

MEETING DATE:
August 4, 2008

TO: Mayor and Council
FROM: Carmen Martinez
THROUGH: Charlie McClendon, City Manager

ATTACHMENTS:

[Click to download](#)

No Attachments Available