

CITY COUNCIL AGENDA

CITY COUNCIL CHAMBERS . 11465 WEST CIVIC CENTER DRIVE . AVONDALE, AZ 85323

WORK SESSION
December 17, 2012
6:00 PM

CALL TO ORDER BY MAYOR ROGERS

1 ROLL CALL BY THE CITY CLERK

2 SINGLE FAMILY DESIGN MANUAL

City Council will receive information related to the proposed staff-initiated update to the Single Family Residential Design Manual and provide input regarding how the Manual can achieve the City's goals and objectives related to creating a "quality community of choice." For information, discussion and direction only.

3 WESTERN AVENUE ART PARK

City Council will review a proposal to convert a vacant, City-owned parcel located at the Southwest corner of Dysart Road and Western Avenue into a community Art Park reflective of Avondale's heritage, as another strategic element in the comprehensive revitalization of Historic Avondale. This item is for information and discussion only.

4 ADJOURNMENT

Respectfully submitted,

Carmen Martinez
City Clerk

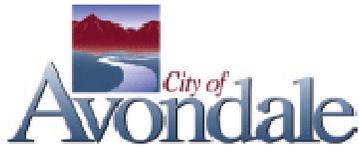
Individuals with special accessibility needs, including sight or hearing impaired, large print, or interpreter, should contact the City Clerk at 623-333-1200 or TDD 623-333-0010 at least two business days prior to the Council Meeting.

Personas con necesidades especiales de accesibilidad, incluyendo personas con impedimentos de vista u oído, o con necesidad de impresión grande o interprete, deben comunicarse con la Secretaria de la Ciudad at 623-333-1200 o TDD 623-333-0010 cuando menos dos días hábiles antes de la junta del Concejo.

Notice is hereby given that pursuant to A.R.S. § 1-602.A.9, subject to certain specified statutory exceptions, parents have a right to consent before the State or any of its political subdivisions make a video or audio recording of a minor child. Meetings of the City Council may be audio and/or video recorded and, as a result, proceedings in which children are present may be subject to such recording. Parents, in order to exercise their rights may either file written consent with the City Clerk to such recording, or take personal action to ensure that their child or children are not present when a recording may be made. If a child is present at the time a recording is made, the City will assume that the rights afforded parents pursuant to A.R.S. § 1-602.A.9 have been waived.

De acuerdo con la ley A.R.S. § 1-602.A.9, y sujeto a ciertas excepciones legales, se da aviso que los padres tienen derecho a dar su consentimiento antes de que el Estado o cualquier otra entidad política haga grabaciones de video o audio de un menor de edad. Las juntas del Concejo de la Ciudad pueden ser grabadas y por consecuencia, existe la posibilidad de que si hay menores de edad presentes éstos aparezcan en estos videos o grabaciones de audio. Los padres pueden ejercitar su derecho si presentan su consentimiento por escrito a la Secretaria de la Ciudad, o pueden asegurarse que los niños no estén presentes durante la grabación de la junta. Si hay algún menor de edad presente durante la

grabación, la Ciudad dará por entendido que los padres han renunciado sus derechos de acuerdo a la ley contenida A.R.S. § 1-602.A.9.



CITY COUNCIL REPORT

SUBJECT:
Single Family Design Manual

MEETING DATE:
December 17, 2012

TO: Mayor and Council
FROM: Tracy Stevens, Planning Manager (623) 333-4012
THROUGH: Charlie McClendon, City Manager

PURPOSE:

Staff will make a brief presentation on the proposed update to the Single Family Residential Design Manual. This item is for information and discussion only; the item is scheduled to return to the City Council in its final form by Spring of 2013. No action is required this evening.

BACKGROUND:

The Single Family Residential Design Manual was originally adopted by the Avondale City Council on February 19, 2008, in response to a need to increase design standards for new housing development. With the ratification of the Avondale General Plan 2030, the desire continues to enhance Avondale's image, quality of life, and variety of housing product in the City. The vision for Avondale as defined in this Plan is to create an identity for the City and establish a new way for Avondale to grow as a Healthy, Sustainable Community: Healthy in terms of an individual's well-being, and sustainable in terms of a community's collective strength and the resiliency of its neighborhoods. Avondale is one of the first cities in the Valley to update its General Plan to address the link between public health and the built environment. The update to the design manual is necessary to start implementing its new vision and to increase residential appeal as development returns.

DISCUSSION:

The Avondale General Plan 2030, ratified by the voters on August 28, 2012, set out in its Neighborhoods Theme to promote walkable, livable communities with the end goal of creating sustainable and resilient neighborhoods. The Theme's Housing Element identifies specific goals and policies related to quality neighborhoods and strong design principles:

Goal 4: Require excellence and innovation in residential design and construction.

(Goal 4) Policies:

- A. Encourage builders to construct homes that use the latest energy conservation materials, methods, and techniques.
- B. Support creatively designed subdivision layouts, particularly layouts in which open space and recreation areas containing amenities are thoughtfully integrated throughout.
- C. Utilize the City's Design Manuals to promote quality development and attractive residential communities, updating these documents when necessary to reflect changing preferences and styles.
- D. Encourage subdivision design that promotes non-vehicular access to trails and transit routes/centers as a component of a healthy lifestyle.
- E. Endorse the use of Crime Prevention Through Environmental Design (CPTED) principles when designing residential communities.

Furthermore, the General Plan clearly identifies updating the City's Design Manuals in response to the new Energy Element. The Element states:

Goal 1: Integrate energy efficiency measures and renewable energy sources into all aspects of Avondale planning.

(Goal 1) Policy A: Continue to update the Zoning Ordinance and Design Manuals as new sustainable and energy efficiency practices are developed.

Updating the Single Family Residential Design Manual is necessary in order to implement the City's long-term vision for quality and sustainable residential neighborhoods that strive to reduce sprawl, increase walkability, decrease automobile dependency, benefit the environment and public health, and are located close to jobs and services. As identified above, it is important to revisit the governing documents that affect this kind of change. With this update to the Design Manual, Avondale will be poised for the return of the residential housing market. This update addresses the City's current objectives.

Major changes proposed to the Manual include:

- Updating the Introduction chapter, and Purpose and Intent sections of the Manual to include text that communicates creating sustainable neighborhoods and an overall livable community as discussed in the updated General Plan;
- Incorporating site design principles in order to accomplish walkable, diverse, and more attractive neighborhoods;
- A New Urbanism and Infill Development section highlighting concepts in neo-traditional neighborhood development and redevelopment;
- Revising language requiring adherence to the Manual's design criteria rather than utilized only as a guideline;
- Updating existing sections in order to upgrade neighborhood attributes and general design standards to be in line with the City's vision;
- Replacing images to match new direction and to clarify/refine design quality, and adding captions to be clear to users;
- Adding a Sustainability section under the Architectural Design chapter in support of the updated General Plan's new Energy Element, and general public awareness of the benefits of being environmentally sensible;
- Modifying architectural design criteria in order to enhance the quality of single family housing in Avondale, and promote creative thinking when developing or redeveloping new homes;
- Requiring the diversification housing products, reducing the dominance of the garage on the lot, and incorporating urban design ideals into subdivision layouts;
- Removing language already regulated under the Zoning Ordinance.

A work session with the Planning Commission was held on October 18, 2012 (Exhibit A). Key points from this meeting include:

- Integrating pocket parks at reasonable distances from every property;

- Creating a variety of housing products that include diverse housing types, unique architectural features and styles, and a broader range of colors;
- Minimizing the dominance of garages by setting them back a required distance from the front facade and porch feature;
- Creating walkable streets with shorter blocks, detached sidewalks, and wide planting zones with trees;
- Incorporating sustainable practices and features into homes and properties;
- Providing for more active, recreational spaces, including active uses within drainage ways, in line with Avondale's healthy community lifestyle brand.

Over the following months, a draft of the updated manual will be brought forward to the Planning Commission and City Council. Staff, also, plans to provide the draft to interested parties, in particular the Homebuilders Association of Central Arizona, for input and discussion as part of the required public participation process. Staff expects the document to further evolve based on this input as well as feedback from residents, commission members, and elected officials. Throughout the process, the updated drafts will be available on the City's website. The final draft will be provided to the Planning Commission and City Council in advance of the public hearings.

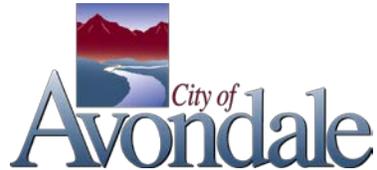
RECOMMENDATION:

No formal action is required. Staff encourages Council Members to share their ideas relating to the proposed Single Family Residential Design Manual and residential design in general.

ATTACHMENTS:

Click to download

[Exhibit A - Planning Commission Meeting Minutes](#)



**MINUTES
PLANNING COMMISSION
WORK SESSION
City Council Chambers
11465 W. Civic Center Dr.
Avondale, AZ 85323**

**Thursday, October 18, 2012
5:30 P.M.**

I. CALL TO ORDER

Chair Cotera called the Work Session to order at approximately 5:30 p.m.

II. ROLL CALL

The following members and representatives were present:

COMMISSIONERS PRESENT

Angela Cotera, Chair
Lisa Amos, Commissioner
Michael Demlong, Commissioner
Kevin Kugler, Commissioner
Michael Long, Commissioner

COMMISSIONER ABSENT

Sean Scibienski, Vice Chair - excused
Grace Carrillo, Commissioner - excused

CITY STAFF PRESENT

Tracy Stevens, Planning Manager
Stacey Bridge-Denzak, Planner I

III. DISCUSSION ITEMS

Stacey Bridge-Denzak, Planner I, presented information on the update to the Single Family Residential Design Manual. The last update occurred in February of 2008. This revision addresses the goals and strategies of the Avondale General Plan 2030, which was ratified by the voters on August 28, 2012. The Manual's update will affect all residential development in the City, both new and infill development. It emphasizes innovation and creativity by incorporating social and

technological changes that have occurred with the goal of making Avondale a quality community of choice. It will keep Avondale competitive and current.

Ms. Bridge-Denzak explained that the Manual promotes sustainable neighborhoods and livability by reinforcing the desire for quality design and diverse products while emphasizing energy efficiency. The Update incorporates the ideals of New Urbanism, which is to encourage neighborhood walkability and connectedness, to emphasize home variety, and to promote the importance of the public realm. The revised document will also address some routine housekeeping issues.

Ms. Bridge-Denzak stated that staff's goal is to move forward with an adopted document in April 2013. City Council will hold a work session in December to discuss the Update. There will also be a neighborhood meeting and a Planning Commission hearing before City Council adopts the changes. The existing design manual has been made available online. She welcomed feedback from the Planning Commission on the topic.

Commissioner Amos said some neighborhoods should have landscaped strips between the sidewalks and the streets. The density of landscaping in parts of Goodyear is attractive and creates a pleasant atmosphere. Ms. Bridge-Denzak agreed, and said such standards encourage walking because the trees provide shade.

Commissioner Demlong expressed concern about the lack of diversity within some developments in terms of aesthetics and housing options. Homes frequently all look the same. Their architectural features should be differentiated in some way. It is important that developments also provide diverse housing types and prices in order to keep neighborhoods alive. He agreed with Commissioner Amos on the importance of good landscaping requirements.

Commissioner Kugler inquired about the process of updating the design manual. Ms. Bridge-Denzak explained that the process of updating the manual is just getting started. One of the initial steps is getting feedback from the Planning Commission on what could be done better. Once input is received from the City Council and the neighborhood public meeting, the Planning Commission will review the draft document and make a recommendation.

Commissioner Kugler said if new standards are to be well received, it will be important to collaborate with other entities in the community. Ms. Bridge-Denzak responded that the Engineering Division will review the document in the initial stages. Tracy Stevens, Planning Manager, added that typically whenever a document is updated, staff first works internally, before turning to outside agencies for their input. Interested parties are also included and typically include land use attorneys and homeowners associations, and staff also meets with the Homebuilder's Association.

Chair Cotera said she has probably seen every neighborhood in Avondale during her canvassing efforts. The worst designs are homes with garages that cover most of the front, and doorways that can only be reached via narrow corridors that are

not visible from the street. She felt screen doors that prevent someone from seeing inside when the main door is open presents a safety hazard. The best designs were in those areas where every home has distinct character, and where the garages were recessed, or were accessible only from the rear. Each block should feature great diversity, not just diversity within developments. Greater architectural diversity should be encouraged in general, beyond just the Spanish-themed stucco style that has become the norm. Front yards consisting only of rocks and cacti are very unfriendly. One neighborhood had smaller homes and narrower streets and felt more like an old eastern neighborhood with a lot of character. Neighborhoods with a lot of open space and character had fewer foreclosures during the economic downturn, because their owners keep maintenance standards up. Gated communities bring up property values.

Commissioner Amos said the City is able to impose landscaping standards when new homes are built, but inquired what the City could do decades later when the vegetation has died. She felt the residential design standards should allow for a greater variety of paint schemes. Townhomes are appealing to some buyers and more should be available in Avondale. Subdivisions surrounded by miles of identical block walls are very unappealing, and the standards should require greater diversity of materials in each wall, for example, encourage design elements that break up the visual impact.

Ms. Bridge-Denzak explained that the Zoning Ordinance says that if trees are removed in public areas of developments, they have to be replaced. If the City receives a complaint about deteriorating standards in an area, the City will investigate to see how the situation could be improved. Land use changes in the General Plan 2030 now make townhouses more viable in Avondale. The City requires subdivision walls use three materials, but more could be done to visually break up the expanse of the wall.

Commissioner Long said that just because Avondale is in a desert does not mean that all houses have to look like a desert. Ms. Bridge-Denzak agreed that people want more color in the City.

Commissioner Kugler applauded the effort to promote sustainable designs, which often can be done easily and inexpensively. Storm water swales and infiltration grids can be highly effective and go a long way to imprinting sustainability on a community. Rear access garages are great, but he cautioned that these types of alleys could be constraining unless adequate provisions are made for utilities and sanitation. Mid-block pedestrian connections and shorter block lengths are visually appealing and slow down traffic.

Chair Cotera felt that houses should have sufficient parking for their intended occupancy and should be in harmony with how people actually live their lives. In order to accommodate on-street parking, roads cannot be too narrow. She stated that it is a myth that well-lit subdivisions are safer, noting that nicer parts of the City have less lighting. She advocated for shorter, well-concealed lights that do not shine into bedroom windows. Lights should also turn off after a certain hour, especially in gated communities.

Chair Cotera said the City should avoid "cookie-cutter" communities that are designed for a quick turnaround, but which rapidly become dated. Well-designed neighborhoods should be as desirable to live in 30 years from now as they are today. Having a variety of house styles that evoke other parts of the country would help attract newcomers to Avondale.

Commissioner Amos said that if any neighborhood has three or more retention areas, one of them should be covered by a basketball court or park. Each community should have three different, but complementary, architectural styles. She agreed with Chair Cotera that houses should be built with sufficient on-street parking.

Chair Cotera pointed to Estrella Mountain Ranch, Verrado, and Marley Park as examples of well-designed communities. The townhome community south of the Wigwam golf course should serve as a model for this type of neighborhood. Quiet neighborhoods are very attractive, and less likely to become transitory communities. Poorly designed neighborhoods experienced the worst foreclosure rates and have seen the slowest recovery. Avondale has enough of the stucco Spanish-themed styles, and the City should be encouraging more innovative designs. Ms. Bridge-Denzak said these trends are occurring Valley-wide, and people are responding well to them.

Commissioner Demlong asked if the design manual was optional for homebuilders. Ms. Bridge-Denzak confirmed that it currently serves as a set of guidelines, but the language could be changed to provide more enforceability. Commissioner Demlong said that unless the document is more enforceable, the effort would be a waste of time. He advocated for more pocket parks, as they reduce strain on big parks and reduce City maintenance costs. They are also more convenient for the communities they serve. Neighborhoods need public art, which can simply take the form of well-designed streetlights, the color of concrete, or sculptures.

IV. ADJOURNMENT

Chair Cotera entertained a motion to adjourn the work session.

Commissioner Long moved to adjourn. Commissioner Kugler seconded the motion. The motion passed unanimously.

With no further business, the meeting concluded at approximately 6:26 P.M.

FOR SPECIAL ACCOMMODATIONS

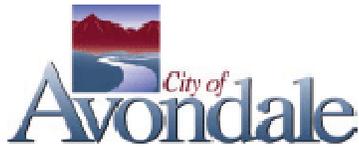
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Staff Signature

Approved on _____



CITY COUNCIL REPORT

SUBJECT:
Western Avenue Art Park

MEETING DATE:
December 17, 2012

TO: Mayor and Council
FROM: Rogene Hill, Assistant City Manager (623) 333-1012
THROUGH: Charlie McClendon, City Manager

PURPOSE:

Staff will make a brief presentation of the conceptual design for an Art Park at the southwest corner of Dysart Road and Western Avenue as part of the comprehensive strategy to revitalize Historic Avondale. This item is for information and discussion only; as more information becomes available, it will be brought back to City Council for further discussion.

BACKGROUND:

Responsive to core recommendations from Avondale's Old Town Revitalization Plan, General Plan 2030, recent City Council Visioning session, and other studies, the City has made great strides to energize business and community life in Historic Avondale. Some of the elements in place include a recently constructed library, storefront improvements, street and sidewalk replacement, landscaping, housing development, and new businesses. These major improvements retained the area's unique charm while promoting activity, economically and socially.

Public gathering spaces beautify the community and allow community interaction. An Art Park will be a special space with an emphasis on exhibiting and experiencing art, it will encourage local and regional art expression as a strategic thread acting as a catalyst for community revitalization. Transforming the City-owned lot into an Art Park will be the necessary gateway supporting the new vibrancy of the neighborhood and showcasing community activity, expression, and sense of place.

A funding opportunity was announced in October requesting interested parties to submit a letter of intent for first review. If the grantor deems this project worthy of further consideration, a more formal grant application will be required. The first review and short list will be released in mid-January 2013. A second funding opportunity was later announced by another grantor in November. That application is being prepared for submittal. Joining with the City in supporting this project are the Mosaic Arts Center, Gangplank Avondale, the Avondale Municipal Art Committee, Art League West, and West Valley Arts Council.

It is necessary to have at least a conceptual design and a preliminary cost estimate to pursue funding opportunities. Planning staff was asked to develop an Art Park concept to provide a starting point and give substance to this idea.

DISCUSSION:

Revitalization of Historic Avondale is a dynamic process that is comprehensive in scope. The City started with a firm foundation of infrastructure improvements, and each year has activated another strategic element. One consistent recommendation of the planning and research documents regarding Historic Avondale is the need to create a gateway element at Western and Dysart. In 2006 the City purchased the parcel on the Southwest corner of Dysart and Western from the State for \$165,000. It is an oddly configured site just under one acre and slightly sunken, and is the ideal

location for an entry or gateway feature. The Art Park concept grew out of many discussions with staff and community partners. Hopefully, it will fit with the grantor's intentions in offering funding for creating community spaces.

The park features several components reflective of Avondale's unique heritage. Conceptually, a desert garden acts as the focal entry point, engaging both bounding streets at its west and north borders. The garden features desert flora, a contextual/historical water feature, and an artistic wall that also displays the name of the park. Just beyond the garden inside an oval lawn is a stage with natural stone seating for audience members to enjoy a performance, or to read and soak in the sun when no entertainment is in place.

Beyond the stone seating is a custom play feature signifying the history of the area. Children will have an opportunity to climb aboard a stagecoach and experience life as it was when Avondale was first founded. Adjacent to the play area is a splash pad for summertime fun. Picnic tables with structured shade are available near the play area for convenience and supervision. Two walkways, one formal, one informal, are located within the park. Along the formal path are 12 art pad locations, lit, for park users to experience selected installations. The informal path meanders through lush landscaping with accent and focal plantings that provide a natural art background for those strolling through the southern part of the park.

A proposed area to grow fruit trees has also been designated on the conceptual plan for residents and visitors to frequent and pick fresh fruit as a family pastime. Seat walls used to retain grade act as places to rest along this path with strategic views back to the art pads.

The process of creating public art and an art park necessarily involves interaction among many interests with a common goal. Staff will continue to collaborate with the above mentioned partners and with the community members, business owners, schools, and community leaders, as the proposal develops.

RECOMMENDATION:

No formal action is required. Staff is seeking Council thoughts on the proposed Art Park.

ATTACHMENTS:

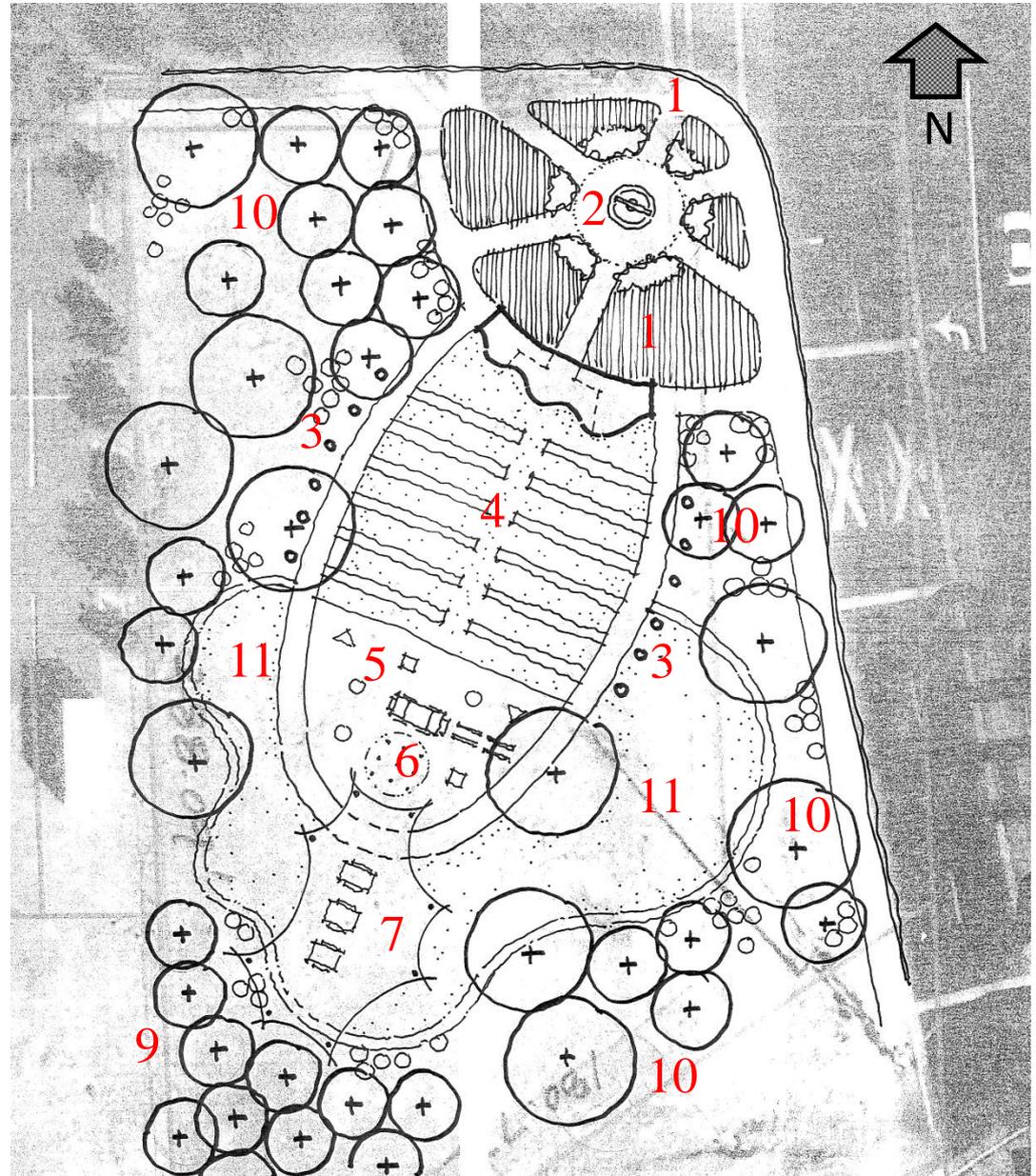
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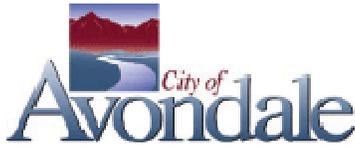
[Art Park Conceptual Site Plan](#)

Exhibit A

Site Design

1. Native Desert Garden with Entry Sign Feature
2. Decorative Water Feature
3. Art Pad Locations
4. Sandstone Block and Grass Amphitheater with Stage
5. Play Space
6. Splash Pad
7. Covered Picnic Area
8. Meandering Path with Small Retaining Wall for Seating
9. Citrus Orchard
10. Enhanced Landscaping
11. Lawn Area





CITY COUNCIL AGENDA

CITY COUNCIL CHAMBERS . 11465 WEST CIVIC CENTER DRIVE . AVONDALE, AZ 85323

REGULAR MEETING
December 17, 2012
7:00 PM

CALL TO ORDER BY MAYOR ROGERS
PLEDGE OF ALLEGIANCE
MOMENT OF REFLECTION

1 ROLL CALL AND STATEMENT OF PARTICIPATION BY THE CITY CLERK

2 CITY MANAGER'S REPORT

Introduction of New Employees:

- a. - Stephen Pyles, Executive Management Assistant to the Mayor and Council
- Linda Mendenhall, Records Administrator

3 RECOGNITION ITEMS (MAYOR PRESENTATIONS)

- a. Avondale Honored as one of the 2012 Digital Cities of America

4 UNSCHEDULED PUBLIC APPEARANCES

(Limit three minutes per person. Please state your name.)

5 CONSENT AGENDA

Items on the consent agenda are of a routine nature or have been previously studied by the City Council at a work session. They are intended to be acted upon in one motion. Council members may pull items from consent if they would like them considered separately.

a. APPROVAL OF MINUTES

1. Work Session of December 3, 2012
2. Regular Meeting of December 3, 2012

b. 2013 COUNCIL MEETING SCHEDULE

City Council will consider a request to approve the Council Meeting Schedule for 2013 which includes the rescheduling of four council meetings in observance of holidays and to allow for a summer break. The Council will take appropriate action.

c. SPECIAL EVENT LIQUOR LICENSE – RACEWAY ELKS - CASINO NIGHT

City Council will consider a request from Mr. William Veith on behalf of Raceway Elks #2852 for a special event liquor license for a Casino Night Fundraiser to be held on January 26, 2013 from 5:00 to 11:00 p.m. at the Masonic Temple located at 1015 N 8th Street in Avondale. The Council will take appropriate action.

d. CONSTRUCTION CONTRACT AWARD - SKANSKA - PIR LIFT STATION

City Council will consider a request to award a construction contract to Skanska for construction of the Phoenix International Raceway (PIR) Lift Station in the amount of \$2,026,695.00 and authorize the Mayor or City Manager and City Clerk to execute the necessary documents. The Council will take appropriate action.

e. FIRST AMENDMENT TO PSA - MEDIASOLV SOLUTIONS CORPORATION

City Council will consider a request to approve the first amendment to the professional services agreement with MediaSolv Solutions Corporation in the amount not to exceed \$24,000 for additional interview recording system features for the Southwest Family Advocacy Center and authorize the Mayor, or City Manager and City Clerk to execute the necessary documents. The Council will take appropriate action.

f. COOPERATIVE PURCHASING AGREEMENT – PUEBLO MECHANICAL AND CONTROLS, INC.

City Council will consider a request to approve a Cooperative Purchasing Agreement with Pueblo Mechanical and Controls, Inc. to provide heating, ventilation and air conditioning (HVAC) services for the City of Avondale facilities in the amount not to exceed \$40,000 annually or \$80,000 over a contract term of two years and authorize the Mayor or the City Manager and the City Clerk to execute the necessary documents. The Council will take appropriate action.

g. CONTRACT AWARD - LUDVIK ELECTRIC CO. FOR COLDWATER BOOSTER STATION VFD INSTALLATION

City Council will consider a request to award a contract to Ludvik Electric Co. for the purpose of installing four new variable frequency motor drive units (VFD's) at the Coldwater Booster Station, for a price not to exceed \$212,602, and to authorize the Mayor or City Manager and City Clerk to execute the necessary documents. The Council will take appropriate action.

h. CONTRACT AWARD – PROMINENT SYSTEMS, INC., FOR GRANULAR ACTIVATED CARBON SLURRY REPLACEMENT SERVICES

City Council will consider a request to award a contract to Prominent Systems, Inc., to provide Granular Activated Carbon Slurry Replacement Services at Well #8 at the Gateway Booster Station site, for a price not to exceed \$49,697, and to authorize the Mayor or City Manager and City Clerk to execute the necessary documents. The Council will take appropriate action.

i. RESOLUTION 3086-1212- CAPITAL IMPROVEMENT PLAN COMMITTEE BYLAWS

City Council will consider a resolution approving the bylaws of the Capital Improvement Plan Committee. The Council will take appropriate action.

j. ORDINANCE 1504-1212 - AMENDMENT TO CITY CODE, CHAPTER 23 RELATING TO PARKING OF TOW VEHICLES

City Council will consider an ordinance amending City Code Chapter 23, Article III, Section 23-62 relating to limited parking of tow vehicles to allow for on-duty / on-call City contract tow truck to be exempt from the existing ordinance. The Council will take appropriate action.

k. ORDINANCE 1506-1212 - DEDICATION OF POWER DISTRIBUTION EASEMENT TO SRP FOR HOLY CROSS CEMETERY

City Council will consider an ordinance dedicating a power distribution easement to Salt River Project for Holy Cross Cemetery and authorize the Mayor or City Manager, and City Clerk to execute the necessary documents. The Council will take appropriate action.

6 PUBLIC HEARING - TIME EXTENSION FOR ENTORNO PAD ZONING, ALTERNATIVELY ORDINANCE 1505-1212 - ZONING REVERSION - CONTINUANCE

City Council will consider a request by Mr. Ed Bull, Burch & Cracchiolo, P.A., for a six-month continuance of the public hearing to consider a request for a one year extension of PAD zoning for Entorno, located on approximately 160 acres of land at the southwest corner of 99th Avenue and Indian School Road. Alternatively, the City Council will consider an ordinance reverting the zoning of that property from PAD to Agricultural. The Council will take appropriate action.

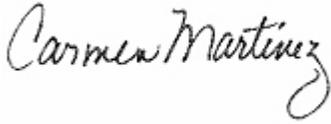
7 EXECUTIVE SESSION

- a. The Council may hold an executive session pursuant to: (i) Ariz. Rev. Stat. § 38-431.03 (A)(7) for discussion or consultation with City representatives in order to consider its position and instruct its representatives regarding negotiations for the acquisition of real property; and (ii) Ariz. Rev. Stat. § 38-431.03 (A)(4) for discussion or consultation with the City Attorney in order

to consider its position and instruct the City Attorney regarding (1) negotiations for two potential Economic Development Agreements, (2) negotiations for a potential Lease Agreement for City Center property and (3) the breach of a lease agreement for City Center property.

8 ADJOURNMENT

Respectfully submitted,



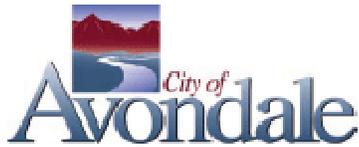
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Personas con necesidades especiales de accesibilidad, incluyendo personas con impedimentos de vista u oído, o con necesidad de impresión grande o interprete, deben comunicarse con la Secretaria de la Ciudad at 623-333-1200 o TDD 623-333-0010 cuando menos dos días hábiles antes de la junta del Concejo.

Notice is hereby given that pursuant to A.R.S. § 1-602.A.9, subject to certain specified statutory exceptions, parents have a right to consent before the State or any of its political subdivisions make a video or audio recording of a minor child. Meetings of the City Council may be audio and/or video recorded and, as a result, proceedings in which children are present may be subject to such recording. Parents, in order to exercise their rights may either file written consent with the City Clerk to such recording, or take personal action to ensure that their child or children are not present when a recording may be made. If a child is present at the time a recording is made, the City will assume that the rights afforded parents pursuant to A.R.S. § 1-602.A.9 have been waived.

De acuerdo con la ley A.R.S. § 1-602.A.9, y sujeto a ciertas excepciones legales, se da aviso que los padres tienen derecho a dar su consentimiento antes de que el Estado o cualquier otra entidad política haga grabaciones de video o audio de un menor de edad. Las juntas del Concejo de la Ciudad pueden ser grabadas y por consecuencia, existe la posibilidad de que si hay menores de edad presentes éstos aparezcan en estos videos o grabaciones de audio. Los padres puedan ejercitar su derecho si presentan su consentimiento por escrito a la Secretaria de la Ciudad, o pueden asegurarse que los niños no estén presentes durante la grabación de la junta. Si hay algún menor de edad presente durante la grabación, la Ciudad dará por entendido que los padres han renunciado sus derechos de acuerdo a la ley contenida A.R.S. § 1-602.A.9.



CITY COUNCIL REPORT

SUBJECT:
Avondale 2012 Digital Cities Recognition

MEETING DATE:
December 17, 2012

TO: Mayor and Council
FROM: Rob Lloyd, CIO/IT Director and Pier Simeri, Community Relations Director
THROUGH: Charlie McClendon, City Manager

PURPOSE:

The Center for Digital Government named its Digital Cities of America honorees. Avondale was named one of the top-ten in its population category for 2012. The award was received by Councilmember Vierhout on behalf of the City, Mayor, and Council at the 2012 National League of Cities conference in Boston.

BACKGROUND:

The Digital Cities of America honor is prestigious. The evaluation process reviews the entire information and communications technology (ICT) program of organizations to determine honorees, requiring submittal of an intensive questionnaire with supporting materials. The Center for Digital Government identified our City as a national leader in local government technology based on Avondale's online engagement with the community, its internal technology governance, innovative technology programs, and the partnerships between departments and IT to enable superior services despite limited resources.

DISCUSSION:

The City was recognized and given its award by the Center for Digital Government at the National League of Cities (NLC) conference on November 30, 2012. Avondale was named one of the top-ten in its population category for a second consecutive year. The award was received by Councilmember Vierhout on behalf of the City and its Mayor and Council. Avondale and Marana are the only local governments from Arizona to be honored this year.

BUDGETARY IMPACT:

None

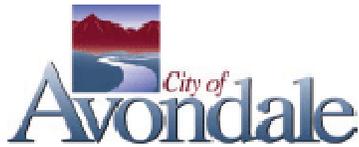
RECOMMENDATION:

This is an informational item with no action required.

ATTACHMENTS:

[Click to download](#)

No Attachments Available



CITY COUNCIL REPORT

SUBJECT:
2013 Council Meeting Schedule

MEETING DATE:
December 17, 2012

TO: Mayor and Council
FROM: Carmen Martinez, City Clerk (623) 333-1214
THROUGH: Charlie McClendon, City Manager

PURPOSE:

Staff is recommending approval of the Council Meeting schedule for 2013. The proposed schedule includes the rescheduling of three council meetings in observance of holidays and one meeting to allow for a summer break.

BACKGROUND:

According to the City's Charter, the City Council shall meet no less than two times per month. The Council Rules of Procedures set the regular meetings to be held on the first and third Monday of the month. The Rules of Procedure provide for the rescheduling of council meetings when the day of a regularly scheduled council meeting falls on a legal holiday or for another reason provided that a seven day notice is published in the newspaper.

In addition to rescheduling City Council meetings in observance of Martin Luther King Jr. Day, Presidents' Day and Labor Day, a meeting has been rescheduled in the last few years to allow for a summer break.

DISCUSSION:

In order to allow for better planning, staff thought that rather than coming to Council at least twice a year to obtain approval to reschedule meetings, it would be better to present the Council Meeting schedule for review and approval only once a year. The proposed council meeting schedule accounts for all holidays that would require the rescheduling of a council meeting and allows for a summer break.

Approval of this item will constitute direction to staff to publish the seven day notice required by the City Charter.

RECOMMENDATION:

Staff is recommending approval of the Council Meeting Schedule for 2013 and directing staff to publish the required seven day notice to reschedule the meetings in observance of legal holidays and to allow for a summer break.

ATTACHMENTS:

Click to download

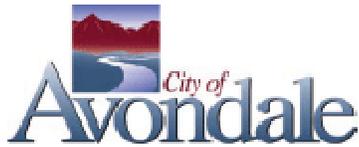
[2013 Council Meeting Schedule](#)

CITY OF AVONDALE 2013 COUNCIL MEETING SCHEDULE

Month	Regular Meeting*	Work Session**
January	January 7, 2013	January 14, 2013
	January 22, 2013 (due to MLK day)	
February	February 4, 2013	February 11, 2013
	February 19, 2013 (due to Presidents' day)	
March	March 4, 2013	No work session due to NLC Congressional City Conference
	March 18, 2013	
April	April 1, 2013	April 8, 2013
	April 15, 2013	
May	May 6, 2013	May 13, 2013
	May 20, 2013	
June	June 3, 2013	June 10, 2013
	June 17, 2013	
July	July 1, 2013	July 8, 2013
	July 15, 2013	
August	August 5, 2013	August 12, 2013
	August 12, 2013 (to allow for summer break)	
September	September 9, 2013 (due to Labor day)	September 9, 2013
	September 16, 2013	
October	October 7, 2013	October 14, 2013
	October 21, 2013	
November	November 4, 2013	No work session due to Veterans' Day
	November 18, 2013	
December	December 2, 2013	December 9, 2013
	December 16, 2013	

* Regular Meetings are held at 7:00 p.m.

** Work Sessions are held at 6:00 p.m. as needed before regular Council meetings and on the second Monday of the month.



CITY COUNCIL REPORT

SUBJECT:

Special Event Liquor License – Raceway Elks -
Casino Night

MEETING DATE:

December 17, 2012

TO: Mayor and Council
FROM: Carmen Martinez, City Clerk (623) 333-1214
THROUGH: Charlie McClendon, City Manager

PURPOSE:

Staff is recommending approval of a request from Mr. William Veith on behalf of Raceway Elks #2852 for a special event liquor license for a Casino Night Fundraiser to be held on January 26, 2013 from 5:00 to 11:00 p.m. at the Masonic Temple located at 1015 N 8th Street in Avondale.

DISCUSSION:

The City Clerk's Department has received an application for a special event liquor license from Mr. William Veith, representing the Raceway Elks #2852, to be used in conjunction with a charitable fundraiser.

This event will be held on Saturday, January 26, 2013 from 5:00 p.m. to 11:00 p.m., at the Masonic Temple.

The required fee has been paid. Staff has determined that the applicant is not requesting any city support other than normal city services. The Police, Fire, Development Services and Finance Departments have reviewed the application and are recommending approval. Their comments are attached.

Staff reviewed this application using the 14 factors set forth in Ordinance 1031-04. The findings are as noted below:

1. The event will be restricted to members only
2. Criminal history of the applicant - A background check of the representative, Mr. William Veith, revealed no contact with the Avondale Police Department
3. The event is a charitable fundraiser
4. Security measures taken by the applicant - The Police Department has reviewed the security plan and have determined it to be sufficient
5. All spirituous liquors will be served
6. Beverages will be dispensed in disposable cups and cans
7. The most recent event held on December 15, 2012 revealed no neighborhood disturbances
8. Event activities will be confined to the Masonic Temple so there is no potential for problems in the neighborhood in terms of noise, hours and time of the event
9. The event will last six hours
10. Sanitary facilities are available at the temple
11. Zoning is C-2 Community Commercial and Development Services staff has indicated that the proposed use will not result in incompatible land uses
12. Anticipated total daily attendance is 80
13. Music will be provided by a disc jockey that will use his own sound amplification system
14. Per the Police Department, traffic control measures will not be necessary

RECOMMENDATION:

Staff is recommending approval of a request from Mr. William Veith on behalf of Raceway Elks #2852 for a special event liquor license for a Casino Night Fundraiser to be held on January 26, 2013 from 5:00 to 11:00 p.m. at the Masonic Temple located at 1015 N 8th Street in Avondale.

ATTACHMENTS:

Click to download

[Application](#)

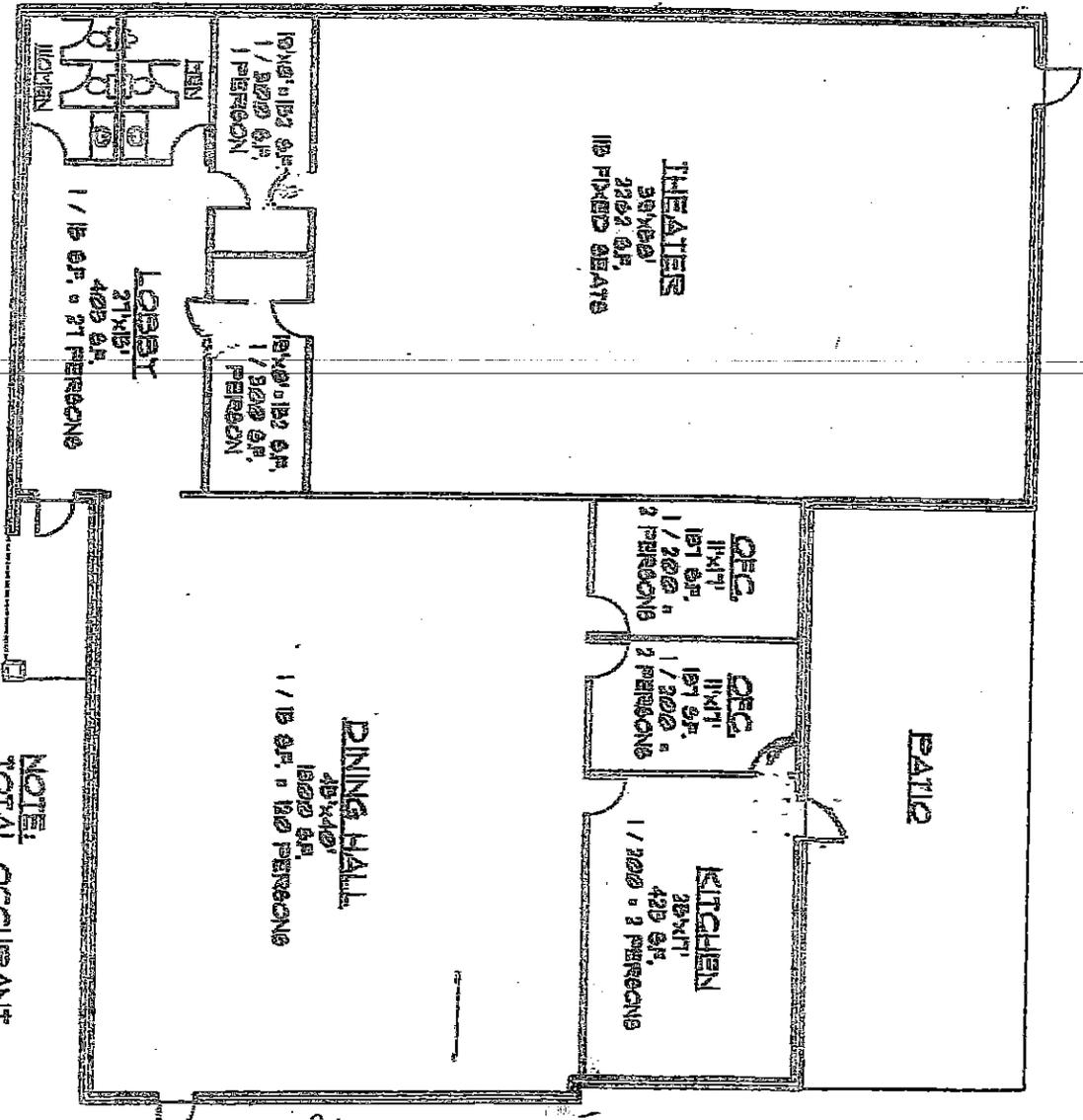
[Department Review](#)

SPECIAL EVENT LICENSED PREMISES DIAGRAM
 (This diagram must be completed with this application)

Special Event Diagram: (Show dimensions, serving areas, and label type of enclosure and security positions)
 NOTE: Show nearest cross streets, highway, or road if location doesn't have an address.

N

CHAIN LINK FENCE



NOTE:
 TOTAL OCCUPANT
 LOAD = 210

DDCA

DUNCAN-COOR ARCHITECTS, LLC
 3723 W BARNES LANE PHOENIX, AZ 85051

Bill Duncan
 Principal
 Project Manager

Direct: 602.841.1284
 Cell: 602.478.3378
 Fax: 602.841.7517



FLOOR PLAN

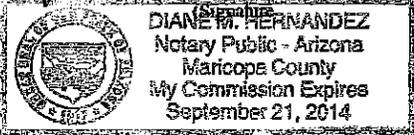
NTS.

ADDRESS:
 1015 N. 81st ST.
 AVONDALE, AZ 85323

THIS SECTION TO BE COMPLETED ONLY BY AN OFFICER, DIRECTOR OR CHAIRPERSON OF THE ORGANIZATION NAMED IN QUESTION #1

18. I, DAVID A. ELIA, declare that I am an Officer/Director/Chairperson appointing the applicant listed in Question 6, to apply on behalf of the foregoing organization for a Special Event Liquor License.

x Wanda Pina CHAIRPERSON 11-8-12 (623)925-1745
 (Title/Position) (Date) (Phone #)



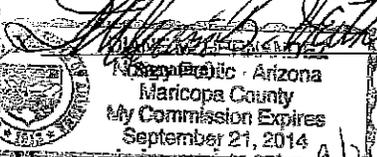
State of ARIZONA County of Maricopa
 The foregoing instrument was acknowledged before me this 8th November 2012
 Day Month Year

My Commission expires on: 9/21/2014
 (Date)

Diane M. Hernandez
 (Signature of NOTARY PUBLIC)

THIS SECTION TO BE COMPLETED ONLY BY THE APPLICANT NAMED IN QUESTION #6

19. I, William B. Veith, declare that I am the APPLICANT filing this application as listed in Question 6. I have read the application and the contents and all statements are true, correct and complete.



State of ARIZONA County of Maricopa
 The foregoing instrument was acknowledged before me this 8th November 2012
 Day Month Year

My Commission expires on: 9/21/2014
 (Date)

Diane M. Hernandez
 (Signature of NOTARY PUBLIC)

You must obtain local government approval. City or County MUST recommend event & complete item #20. The local city or county jurisdiction may require additional applications to be completed and additional licensing fees before approval may be granted.

LOCAL GOVERNING BODY APPROVAL SECTION

20. I, _____ hereby recommend this special event application
 (Government Official) (Title)
 on behalf of _____
 (City, Town or County) (Signature of OFFICIAL) (Date)

FOR DLLC DEPARTMENT USE ONLY

Department Comment Section:

 (Employee) (Date)

APPROVED DISAPPROVED BY: _____

(Title) (Date)



DEPARTMENTAL REVIEW FORM

TYPE OF LICENSE:

SPECIAL EVENT LIQUOR LICENSE

ROUTING:

POLICE DEPARTMENT

FIRE DEPARTMENT

FINANCE DEPARTMENT

DEVELOPMENT SERVICES

APPLICANT'S NAME: WILLIAM B. VEITH

ORGANIZATIONS NAME: RACEWAY ELKS LODGE #2852

EVENT ADDRESS: 1015 N. 8TH STREET

CITY: AVONDALE **STATE:** AZ **ZIP CODE:** 85323

PURPOSE OF EVENT: CASINO NIGHT

DEPARTMENTAL COMMENTS:

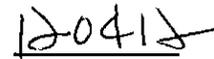
APPROVED

DENIED



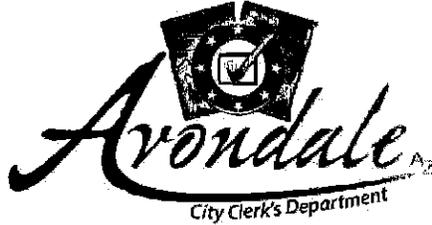
SIGNATURE
Assistant Police Chief

TITLE



DATE

THIS LICENSE IS SCHEDULED FOR THE COUNCIL MEETING OF: **DEC. 17, 2012**
PLEASE RETURN YOUR COMMENTS TO THE CITY CLERK'S OFFICE BY: **DEC. 6, 2012**



DEPARTMENTAL REVIEW FORM

TYPE OF LICENSE:

SPECIAL EVENT LIQUOR LICENSE

ROUTING:

POLICE DEPARTMENT

FIRE DEPARTMENT

FINANCE DEPARTMENT

DEVELOPMENT SERVICES

APPLICANT'S NAME: WILLIAM B. VEITH

ORGANIZATIONS NAME: RACEWAY ELKS LODGE #2852

EVENT ADDRESS: 1015 N. 8TH STREET

CITY: AVONDALE **STATE:** AZ **ZIP CODE:** 85323

PURPOSE OF EVENT: CASINO NIGHT

DEPARTMENTAL COMMENTS:

APPROVED
 DENIED

Jane Y. Gorn
SIGNATURE
Fire Inspector
TITLE

12/10/12
DATE

THIS LICENSE IS SCHEDULED FOR THE COUNCIL MEETING OF: **DEC. 17, 2012**
PLEASE RETURN YOUR COMMENTS TO THE CITY CLERK'S OFFICE BY: **DEC. 6, 2012**



DEPARTMENTAL REVIEW FORM

TYPE OF LICENSE:

SPECIAL EVENT LIQUOR LICENSE

ROUTING:

- POLICE DEPARTMENT
 FIRE DEPARTMENT
 FINANCE DEPARTMENT
 DEVELOPMENT SERVICES

APPLICANT'S NAME: WILLIAM B. VEITH

ORGANIZATIONS NAME: RACEWAY ELKS LODGE #2852

EVENT ADDRESS: 1015 N. 8TH STREET

CITY: AVONDALE **STATE:** AZ **ZIP CODE:** 85323

PURPOSE OF EVENT: CASINO NIGHT

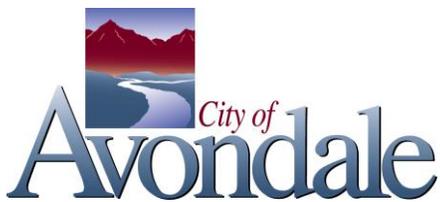
DEPARTMENTAL COMMENTS:

APPROVED
 DENIED

Janif Foster
SIGNATURE
Zoning Specialist
TITLE

12/10/12
DATE

THIS LICENSE IS SCHEDULED FOR THE COUNCIL MEETING OF: DEC. 17, 2012
PLEASE RETURN YOUR COMMENTS TO THE CITY CLERK'S OFFICE BY: DEC. 6, 2012



DEVELOPMENT SERVICES

MEMORANDUM

DATE: December 10, 2012

TO: Carmen Martinez, City Clerk

PREPARED BY: Jennifer Fostino, Zoning Specialist 623-333-4022

SUBJECT: Raceway Elks – Casino Night Fundraiser
Series 15 Liquor License – Special Event Liquor License
1015 N 8th St

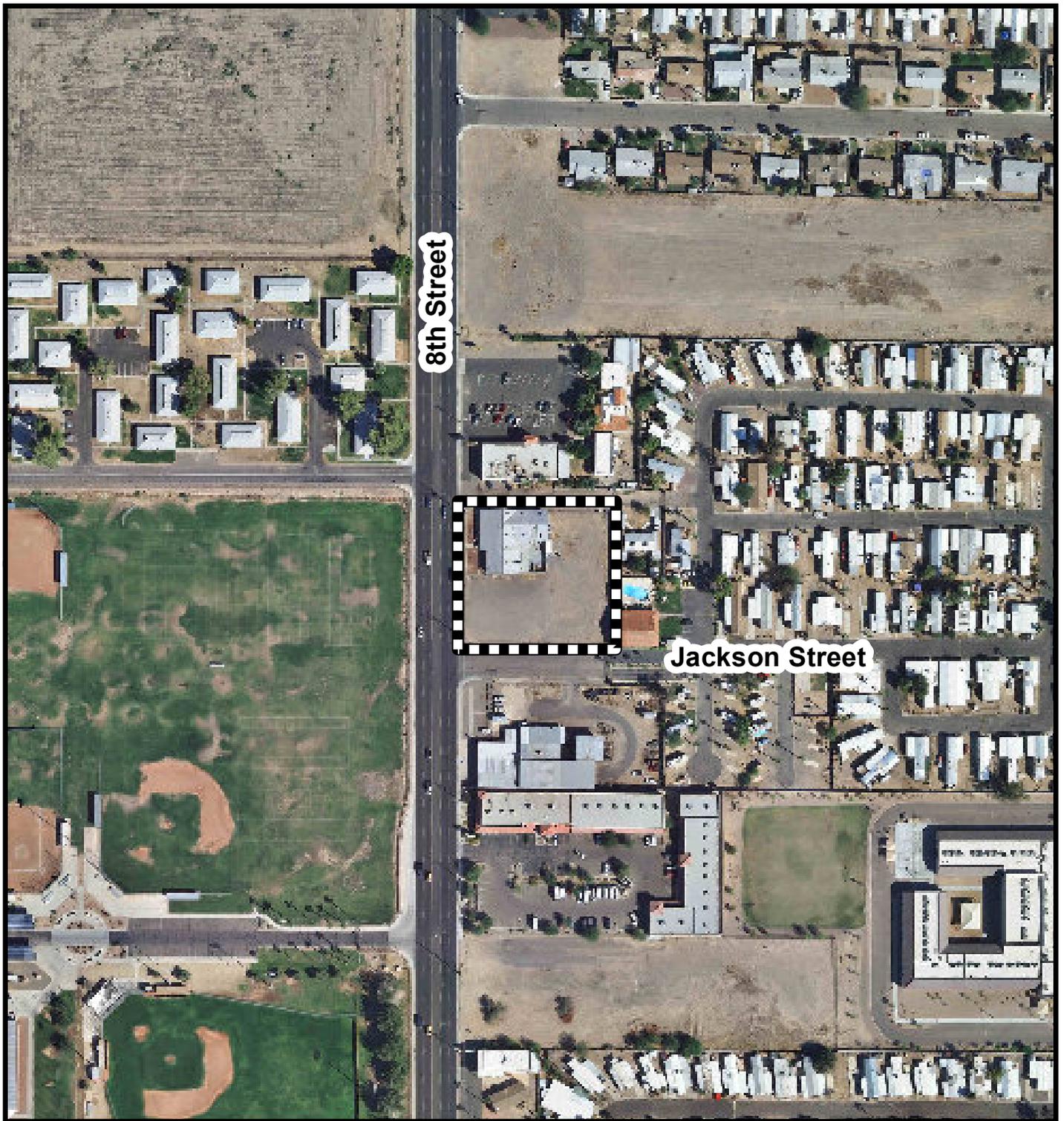
The site is located on the northeast corner of 8th Street and Jackson Street. The building is existing.

A Series 15 Liquor License is exempt from the 300 foot separation requirement from a church, school, or fenced school recreational area.

The General Plan designates the property as Commercial. The site is currently zoned Community Commercial (C-2). A social/private club is permitted with conditions within the C-2 zoning district.

Staff recommends approval of this request.

Attachment: 2012 Aerial Photography
Zoning Vicinity Map

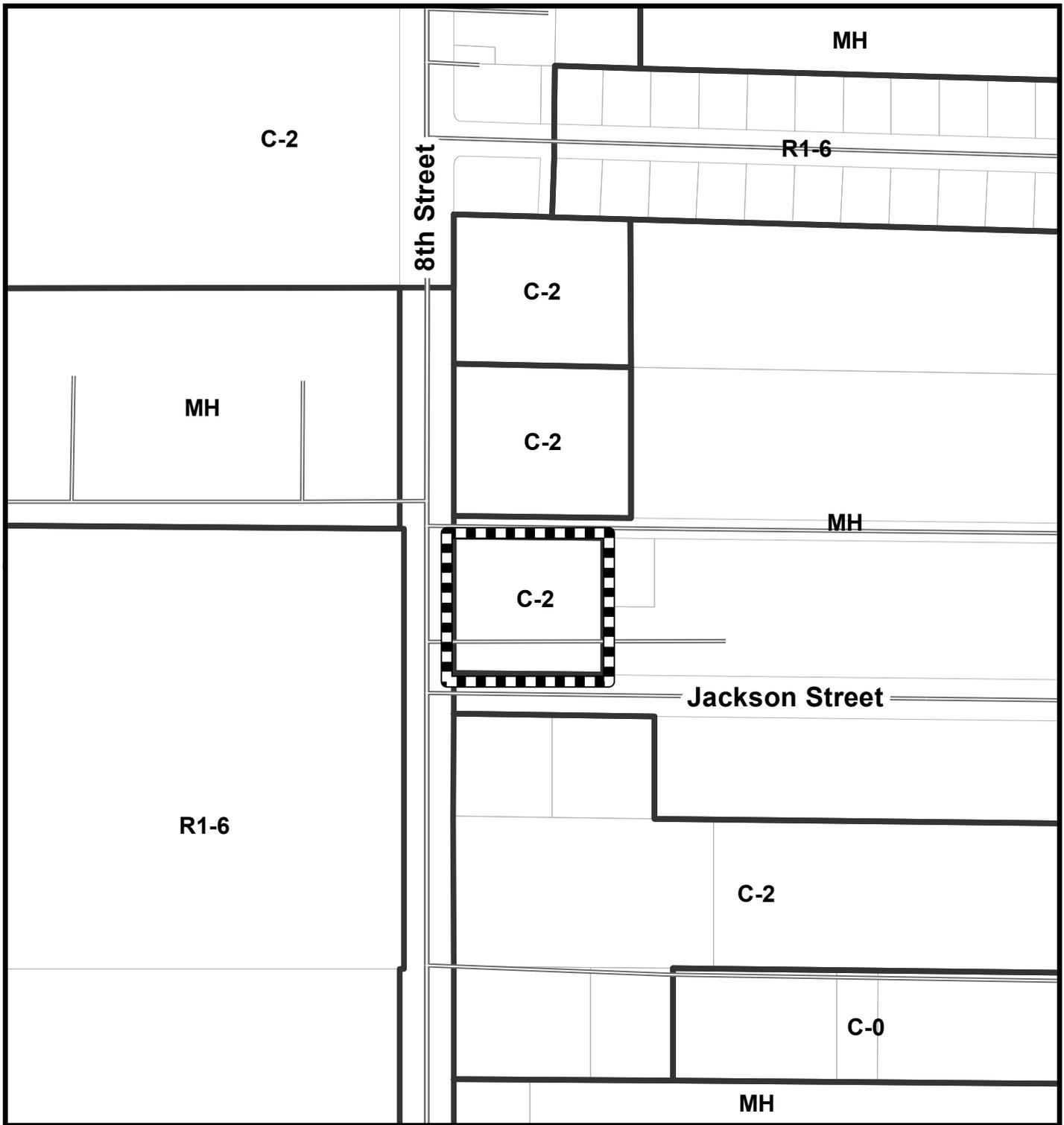


2012 AERIAL MAP



Subject Property



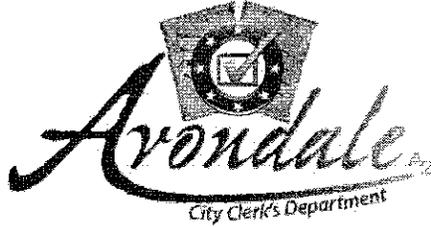


Zoning Vicinity Map



Subject Property





DEPARTMENTAL REVIEW FORM

TYPE OF LICENSE:

SPECIAL EVENT LIQUOR LICENSE

ROUTING:

- POLICE DEPARTMENT
- FIRE DEPARTMENT
- FINANCE DEPARTMENT
- DEVELOPMENT SERVICES

APPLICANT'S NAME: WILLIAM B. VEITH

ORGANIZATIONS NAME: RACEWAY ELKS LODGE #2852

EVENT ADDRESS: 1015 N. 8TH STREET

CITY: AVONDALE **STATE:** AZ **ZIP CODE:** 85323

PURPOSE OF EVENT: CASINO NIGHT

DEPARTMENTAL COMMENTS:

No sales tax due

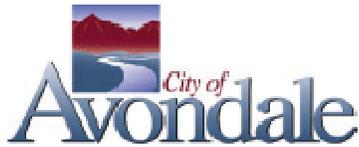
APPROVED

DENIED

Joan Pinnor
SIGNATURE
Revenue Collector
TITLE

12/4/12
DATE

THIS LICENSE IS SCHEDULED FOR THE COUNCIL MEETING OF: DEC. 17, 2012
PLEASE RETURN YOUR COMMENTS TO THE CITY CLERK'S OFFICE BY: DEC. 6, 2012



CITY COUNCIL REPORT

SUBJECT:

Construction Contract Award - Skanska - PIR Lift Station

MEETING DATE:

December 17, 2012

TO: Mayor and Council

FROM: Wayne Janis P.E., Public Works Director (623) 333-4444

THROUGH: Charlie McClendon, City Manager

PURPOSE:

Staff is requesting that the City Council approve a request to award a construction contract to Skanska USA Civil West Rocky Mountain District Inc. (Skanska) for construction of the Phoenix International Raceway (PIR) Lift Station in the amount of \$2,026,695.00 and authorize the Mayor or City Manager and City Clerk to execute the necessary documents.

BACKGROUND:

On 6/18/12, City Council approved an amendment to a Professional Services Agreement with the Lift Station engineer to complete the design of the PIR Lift Station, including the move to a new location, per PIR's request. The design work has been completed, and the project put out for bid.

DISCUSSION:

The scope of this project includes construction of a sewer lift station, including wet well, pumps, controls, a prefabricated electrical building, generator, decorative walls, and approach driveways.

Invitation-for-Bid notices were published in the West Valley View on November 6, 2012 and November 13, 2012 and in the Arizona Business Gazette on November 9, 2012. A mandatory pre-bid meeting was held on November 19, 2012. Six (6) bids were received and opened on December 6, 2012. Each bid package was reviewed. One bid was disqualified. The bids ranged from approximately \$2,000,000 to \$2,500,000. Firms submitting the lowest four bids and the amount of their bids are as follows:

Skanska	\$2,026,695.00
Quest	\$2,390,390.00
Hunter Contracting	\$2,386,411.00
Felix Construction	\$2,425,297.00

The attached Bid Tabulation Sheet has the detailed bid item breakdown of each submitted bid. Skanska with a bid of \$2,026,695.00 was determined to have submitted the lowest responsive bid. Staff contacted references provided and Skanska did receive positive recommendations. Skanska has completed similar work. Staff contacted the Registrar of Contractors and found no claims on file against this contractor. Staff determined that Skanska is competent and qualified for this project. A tentative construction schedule is as follows:

City Council Approval 12/17/12

Notice of Award 12/18/12

Notice to Proceed 1/28/13

Completion 8/13

BUDGETARY IMPACT:

\$1,917,000 is available in account number 513-1295-00-8610, and \$109,695 in account 513-1270-00-8610

RECOMMENDATION:

Staff recommends that the City Council award a construction contract to Skanska for construction of the Phoenix International Raceway (PIR) Lift Station in the amount of \$2,026,695.00 and authorize the Mayor or City Manager and City Clerk to execute the necessary documents.

ATTACHMENTS:

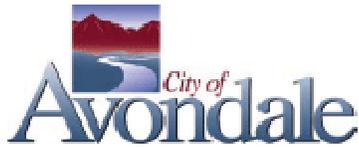
Click to download

[Bid Tabulation](#)

**CITY OF AVONDALE
 BID TABULATION
 PW 12-020
 PHOENIX INTERNATIONAL RACEWAY (PIR) LIFT STATION
 BID DATE: DECEMBER 10, 2012**

Item No.	Description of Materials and/or Services	Qty	Unit	Felix Construction		Hunter		Quest		Skanska		MGC Contractors		JR Filanc	
				Unit Price	Total Price	Unit Price	Total Price	Unit Price	Total Price	Unit Price	Total Price	Unit Price	Total Price	Unit Price	Total Price
1	Mobilization/Demobilization	1	LS	\$68,900.00	\$68,900.00	\$40,100.00	\$40,100.00	\$101,000.00	\$101,000.00	\$105,000.00	\$105,000.00		\$0.00	\$77,291.45	\$77,291.45
2	Allowance for extra work	1	Allowance	\$150,000.00	\$150,000.00	\$150,000.00	\$150,000.00	\$150,000.00	\$150,000.00	\$150,000.00	\$150,000.00		\$0.00	\$150,000.00	\$150,000.00
3	Site Grading	1	LS	\$104,200.00	\$104,200.00	\$46,000.00	\$46,000.00	\$55,000.00	\$55,000.00	\$17,500.00	\$17,500.00		\$0.00	\$94,866.50	\$94,866.50
4	Asphalt Paving	1	LS	\$42,580.00	\$42,580.00	\$22,300.00	\$22,300.00	\$16,000.00	\$16,000.00	\$9,750.00	\$9,750.00		\$0.00	\$21,400.54	\$21,400.54
5	Driveway	1	LS	\$105,450.00	\$105,450.00	\$39,400.00	\$39,400.00	\$57,000.00	\$57,000.00	\$44,500.00	\$44,500.00		\$0.00	\$95,281.73	\$95,281.73
6	Concrete Slabs	25	CY	\$1,258.00	\$31,450.00	\$788.00	\$19,700.00	\$900.00	\$22,500.00	\$525.00	\$13,125.00		\$0.00	\$660.40	\$16,510.00
7	Concrete Masonary Wall	1	LS	\$279,570.00	\$279,570.00	\$252,800.00	\$252,800.00	\$275,000.00	\$275,000.00	\$265,000.00	\$265,000.00		\$0.00	\$272,355.45	\$272,355.45
8	Pumps	1	LS	\$213,388.00	\$213,388.00	\$180,100.00	\$180,100.00	\$248,000.00	\$248,000.00	\$205,500.00	\$205,500.00		\$0.00	\$206,812.99	\$206,812.99
9	Wetwell	1	LS	\$282,480.00	\$282,480.00	\$410,000.00	\$410,000.00	\$335,000.00	\$335,000.00	\$249,000.00	\$249,000.00		\$0.00	\$231,161.06	\$231,161.06
10	Dewatering	1	LS	\$41,390.00	\$41,390.00	\$136,400.00	\$136,400.00	\$76,000.00	\$76,000.00	\$19,500.00	\$19,500.00		\$0.00	\$49,806.36	\$49,806.36
11	Yard Piping	1	LS	\$99,700.00	\$99,700.00	\$167,800.00	\$167,800.00	\$205,000.00	\$205,000.00	\$39,500.00	\$39,500.00		\$0.00	\$254,120.52	\$254,120.52
12	Electric Building	1	LS	\$89,680.00	\$89,680.00	\$115,500.00	\$115,500.00	\$85,000.00	\$85,000.00	\$97,500.00	\$97,500.00		\$0.00	\$89,587.39	\$89,587.39
13	Electrical and Instrumentation Equipment	1	LS	\$346,186.00	\$346,186.00	\$398,300.00	\$398,300.00	\$352,820.00	\$352,820.00	\$366,500.00	\$366,500.00		\$0.00	\$357,600.60	\$357,600.60
14	Site Electrical	1	LS	\$88,000.00	\$88,000.00	\$12,200.00	\$12,200.00	\$12,170.00	\$12,170.00	\$35,000.00	\$35,000.00		\$0.00	\$6,286.25	\$6,286.25
15	Programming	1	Allowance	\$50,000.00	\$50,000.00	\$50,000.00	\$50,000.00	\$50,000.00	\$50,000.00	\$50,000.00	\$50,000.00		\$0.00	\$50,000.00	\$50,000.00
16	Utility Power and Telco	1	LS	\$38,000.00	\$38,000.00	\$8,800.00	\$8,800.00	\$17,000.00	\$17,000.00	\$9,600.00	\$9,600.00		\$0.00	\$13,536.75	\$13,536.75
17	Bridge Crane	1	LS	\$140,720.00	\$140,720.00	\$112,500.00	\$112,500.00	\$98,900.00	\$98,900.00	\$110,000.00	\$110,000.00		\$0.00	\$115,577.36	\$115,577.36
18	Odor Control	1	LS	\$54,110.00	\$54,110.00	\$23,200.00	\$23,200.00	\$43,000.00	\$43,000.00	\$27,500.00	\$27,500.00		\$0.00	\$141,022.63	\$141,022.63
19	Wetwell Coating	1	LS	\$44,253.00	\$44,253.00	\$48,400.00	\$48,400.00	\$41,000.00	\$41,000.00	\$80,000.00	\$80,000.00		\$0.00	\$62,728.90	\$62,728.90
20	Community Relations	1	Allowance	\$10,000.00	\$10,000.00	\$10,000.00	\$10,000.00	\$10,000.00	\$10,000.00	\$10,000.00	\$10,000.00		\$0.00	\$10,000.00	\$10,000.00
SUBTOTAL					\$2,280,057.00		\$2,243,500.00		\$2,250,390.00		\$1,904,475.00		\$0.00		\$2,315,946.48
Taxes As Applicable					\$145,240.00		\$142,911.00		\$140,000.00		\$122,220.00		\$0.00		\$140,254.07
TOTAL BASED ON UNIT PRICES					\$2,425,297.00		\$2,386,411.00		\$2,390,390.00		\$2,026,695.00		\$0.00		\$2,456,200.55
TOTAL SUBMITTED BY BIDDER					\$2,425,297.00		\$2,386,411.00		\$2,390,390.00		\$2,026,695.00		\$0.00		\$2,456,220.58
Required Attachments Included?					Yes		Yes		Yes		Yes		No		Yes

Calculation or extension error



CITY COUNCIL REPORT

SUBJECT:

First Amendment to PSA - MediaSolv Solutions Corporation

MEETING DATE:

December 17, 2012

TO: Mayor and Council

FROM: Kevin L. Kotsur, Chief of Police and Rob Lloyd, CIO/IT Director

THROUGH: Charlie McClendon, City Manager

PURPOSE:

Staff requests that the Mayor and City Council review and approve a contract amendment between the City of Avondale and MediaSolv Solutions Corporation of Herndon, Virginia, to provide additional interview recording system features for the Southwest Family Advocacy Center.

BACKGROUND:

The Southwest Family Advocacy Center (SWFAC) is a multi-agency partnership, administered by the City of Avondale. The SWFAC provides cross-agency facilities and tools to record sensitive interviews. The critical Interview Recording System thus supports cases involving abuse of children, sexual assault, and murder. During the evaluation process, the awarded vendor, MediaSolv, demonstrated notation and records management tools that could be added on to their product. These features were not included and required additional expense that the City and SWFAC could not afford due to its project to move the SWFAC to new offices. As a result, the features were not covered in the contract awarded by Council in August 2012. The SWFAC continued to believe the features are important and, in October, the City was able to work with MediaSolv to donate software licenses. In return, the City and SWFAC would pay maintenance and support costs for those additional features it maintains starting in year two. This arrangement allows the SWFAC to benefit from the software, determine operational importance through use, and then retain only the features and related expenses for what they deem essential. MediaSolv benefits from additional maintenance income from the City.

DISCUSSION:

Since installation and the opening of the new SWFAC in October, the MediaSolv software has been viewed as a marked improvement by partner agencies and support staff. Usability and reliability are both improved. The additional features that would result from this amendment permit the SWFAC to continue to improve interview recording, forensic review, and management of recordings across member agencies. The donation of licensing by MediaSolv and ability of the City to pay maintenance and support only on functionality that the SWFAC requires are favorable to the City. Further, this arrangement will permit SWFAC staff to make informed choices on product features with negligible risk.

BUDGETARY IMPACT:

Beginning in year two of the agreement, maintenance and support will be charged by MediaSolv at \$5,472.40 above the current base maintenance and support agreement and fee. Combined maintenance and support for the first renewal period would thus be \$8,497.99 if Photo, Audio and Document Asset Class Management are retained for use. If, however, the City and its SWFAC elect not to continue use of Photo, Audio and Document Asset Class Management, the modules must be uninstalled and associated information removed from the City's MediaSolv installation within 30 days.

of the start of the first renewal period and there will be no charge. Total cost of the increased maintenance and support total up to \$24,000 over the remaining four renewal years of the MediaSolv contract. Funding would be split by SWFAC partner agencies and the maintenance and support increase would not begin until August 2013. Avondale's portion of the costs would be included in its FY2014 and future budgets, if approved.

RECOMMENDATION:

Staff recommends that the Mayor and City Council approve the contract amendment with MediaSolv Solutions Corporation to provide additional interview recording system features for the Southwest Family Advocacy Center for a total maximum aggregate amount of \$ 24,000 over four annual renewals and authorize the Mayor or City Manager and City Clerk to execute the necessary documents.

ATTACHMENTS:

Click to download

[First Amendment to PSA - MediaSolv Solutions Corporation](#)

**FIRST AMENDMENT
TO
PROFESSIONAL SERVICES AGREEMENT
BETWEEN
THE CITY OF AVONDALE
AND
MEDIASOLV SOLUTIONS CORPORATION**

THIS FIRST AMENDMENT TO PROFESSIONAL SERVICES AGREEMENT (this "First Amendment") is entered into as of December 17, 2012, between the City of Avondale, an Arizona municipal corporation (the "City") and MediaSolv Solutions Corporation, a Virginia corporation (the "Consultant").

RECITALS

A. The City and the Consultant entered into Professional Services Agreement No. 13557c, dated August 13, 2012, for the Consultant to provide installation and support services for an Interview Recording System solution (the "System") to be used at the Southwest Family Advocacy Center (the "Agreement").

B. The Consultant has demonstrated that Photo, Audio and Document Asset Class Management software and licenses would enhance the functionality of the System (the "Additional Features").

C. The City has determined that the Additional Features and support pertaining thereto (collectively, the "Additional Services") are necessary to enhance the functionality of the System.

D. The City and the Consultant desire to amend the Agreement to (i) modify the Scope of Work, (ii) modify the Fee Proposal and (iii) provide compensation to Consultant for the Additional Services for any renewal terms. All of the capitalized terms not otherwise defined in this First Amendment have the same respective meanings as contained in the Agreement.

AGREEMENT

NOW, THEREFORE, in consideration of the foregoing recitals, which are incorporated herein by reference, the following mutual covenants and conditions, and other good and valuable consideration, the receipt and sufficiency of which are hereby acknowledged, the City and the Consultant hereby agree as follows:

1. Scope of Work. Consultant shall provide the City with the Additional Services.
2. Software License. The Consultant hereby grants the City the right to use any and all software associated with the Additional Features for the Term of the Agreement. Upon

termination of the Agreement, the City shall remove and uninstall the Additional Features within 30 days from the date of termination.

3. Compensation. Section 4 of the Agreement, Compensation, is hereby deleted in its entirety and replaced with the following:

4. Compensation. For the Initial Term, the City shall pay Consultant an aggregate amount not to exceed \$55,500.00 for the Services and the Additional Services at the unit rates as set forth in the Amended Fee Proposal, attached hereto as Exhibit A and incorporated herein by reference. Thereafter, for each subsequent Renewal Term, if any, the City shall pay the Consultant an annual aggregate amount not to exceed \$8,497.99 for the Services and the Additional Services at the unit rates as set forth in the Amended Fee Proposal, attached hereto as Exhibit A. The maximum aggregate amount for the Agreement and this First Amendment shall not exceed \$89,491.96.

4. Effect of Amendment. In all other respects, the Agreement is affirmed and ratified and, except as expressly modified herein, all terms and conditions of the Agreement shall remain in full force and effect.

5. Non-Default. By executing this First Amendment, the Consultant affirmatively asserts that (i) the City is not currently in default, nor has been in default at any time prior to this First Amendment, under any of the terms or conditions of the Agreement and (ii) any and all claims, known and unknown, relating to the Agreement and existing on or before the date of this First Amendment are forever waived.

6. Conflict of Interest. This First Amendment and the Agreement may be canceled by the City pursuant to ARIZ. REV. STAT. § 38-511.

[SIGNATURES ON FOLLOWING PAGES]

IN WITNESS WHEREOF, the parties hereto have executed this instrument as of the date and year first set forth above.

“City”

CITY OF AVONDALE, an
Arizona municipal corporation

Charles P. McClendon, City Manager

ATTEST:

Carmen Martinez, City Clerk

(ACKNOWLEDGMENT)

STATE OF ARIZONA)
) ss.
COUNTY OF MARICOPA)

This instrument was acknowledged before me on _____, 2012,
by Charles P. McClendon, the City Manager of the CITY OF AVONDALE, an Arizona
municipal corporation, on behalf of the City of Avondale.

Notary Public in and for the State of Arizona

(affix notary seal here)

[SIGNATURES CONTINUE ON FOLLOWING PAGE]

“Consultant”

MEDIASOLV SOLUTIONS CORPORATION,
a Virginia corporation

By: _____

Name: _____

Title: _____

(ACKNOWLEDGMENT)

STATE OF VIRGINIA)
) ss.
COUNTY OF FAIRFAX)

This instrument was acknowledged before me on _____, 201_,
by _____, as _____ of MEDIASOLV SOLUTIONS CORPORATION,
a Virginia corporation, on behalf of the corporation.

Notary Public in and for the State of Virginia

(affix notary seal here)

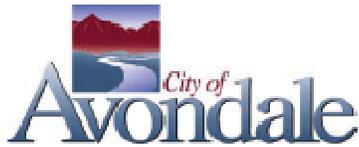
EXHIBIT A
TO
FIRST AMENDMENT
TO
PROFESSIONAL SERVICES AGREEMENT
BETWEEN
THE CITY OF AVONDALE
AND
MEDIASOLV SOLUTIONS CORPORATION

[Amended Fee Proposal]

See following pages.

**MediaSolv Solutions Corporation
Amended Fee Proposal**

Software		Pricing				Notes:
Purchase + 1st Year Maintenance & Support (Before Incentive)	\$24,204.71	MediaSolv is providing Year 1 maintenance and support at no cost.				
Financial Incentive Year 1 Maintenance and Support	\$(4,034.12)	MediaSolv is providing Year 1 maintenance and support at no cost.				
Purchase + 1st Year Maintenance & Support (Net After Incentive)	\$20,170.59					
Maintenance & Support in Successive Years		Year 2 Option (15%) \$3025.59	Year 3 Option (15%) \$3025.59	Year 4 Option (15%) \$3025.59	Year 5 Option (15%) \$3025.59	Maintenance and Support
Maintenance & Support for Additional Features (Photo, Audio and Document Asset Class Management) in Successive Years		Year 2 Option \$5472.40	Year 3 Option \$5472.40	Year 4 Option \$5472.40	Year 5 Option \$5472.40	Maintenance and Support (Additional Features)
Hardware		Pricing				Notes:
Server(s) and Storage + 5 Year Maintenance & Support	\$7,792.43	Year 2 \$0	Year 3 \$0	Year 4 \$0	Year 5 \$0	
Audio/Visual Components + 5 Year Maintenance & Support	\$16,141.21					
Installation Services		Pricing				Notes:
Installation of Complete Interview Recording System Audio/Visual Components + 1st Year Maintenance & Support	\$7,200.00	Year 2	Year 3	Year 4	Year 5	Installation support in successive years is included in the annual software maintenance & support fee.
Maintenance & Support in Successive Years		\$0	\$0	\$0	\$0	
Consultant Labor		Total Labor Hours: ____ @ \$____/hour				Not offered
Total Cost Year 1	\$51,304.23					
Total Cost Year 1 plus four one-year option renewals	\$85,296.19					
Total Cost Aggregate		Year 2 \$8,497.99	Year 3 \$8,497.99	Year 4 \$8,497.99	Year 5 \$8,497.99	



CITY COUNCIL REPORT

SUBJECT:

Cooperative Purchasing Agreement – Pueblo Mechanical and Controls, Inc.

MEETING DATE:

December 17, 2012

TO: Mayor and Council

FROM: Christopher Reams, Director of Parks, Recreation & Libraries (623) 333-2412

THROUGH: Charlie McClendon, City Manager

PURPOSE:

Staff is requesting that the City Council approve a Professional Services Agreement with Pueblo Mechanical to provide Heating, Ventilation & Air Conditioning (HVAC) services for the City of Avondale facilities in the amount not to exceed \$40,000 annually or \$80,000 over a contract term of two years and authorize the Mayor or the City Manager and the City Clerk to execute the necessary documents.

BACKGROUND:

The city of Avondale wishes to enter into a Professional Services Agreement with Pueblo Mechanical to perform the necessary HVAC services for city facilities. The contracted services will include preventive and routine maintenance as well as emergency repairs to HVAC systems at city facilities.

The City of Avondale has not previously contracted with an HVAC services provider on an annual basis. Annual services did not exceed \$40,000 during any of the years prior to this services contract request. However, staff would like to enter into a longer term agreement to enhance service consistency.

DISCUSSION:

Pueblo Mechanical was selected through a competitive procurement process and entered into Mohave Contract No. 09D-PMAC2-0902 dated September 2, 2009, as amended by letter agreement dated November 17, 2010 for Pueblo Mechanical to provide heating, ventilation and air conditioning services.

Staff evaluated the Mohave cooperative contract #09D-PMAC-0902 for mechanical services with Pueblo Mechanical and determined that this contract fully meets the city of Avondale's requirements for HVAC services for city facilities.

The term of the contract shall be a one year initial term with the ability to renew for one successive one year term if it is deemed in the best interests of the City, subject to availability and appropriation of funds for renewal in the subsequent year, the term of the Mohave Contract has been extended, and at least 30 days prior to the end of the then-current term of the Agreement

BUDGETARY IMPACT:

The City shall pay the contractor for the initial term and subsequent renewal term, if any, an annual aggregate amount not to exceed \$40,000.00 for services at the unit rates as set forth in the Mohave Contract.

The maximum aggregate amount for this agreement shall not exceed \$80,000.00. Funding for the HVAC services contract with Pueblo Mechanical has been planned and budgeted for in the Facilities Division operating budget line item 5420-6320 (Contractual Maintenance Buildings & Grounds).

RECOMMENDATION:

Staff recommends that the City Council approve a Cooperative Purchasing Agreement with Pueblo Mechanical to provide Heating, Ventilation & Air Conditioning (HVAC) services for the City of Avondale facilities in the amount not to exceed \$40,000 annually or \$80,000 over a contract term of two years and authorize the Mayor or the City Manager and the City Clerk to execute the necessary documents.

ATTACHMENTS:

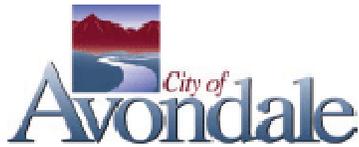
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[CPA](#)

DUE TO ITS SIZE, THIS DOCUMENT
HAS BEEN POSTED SEPARATELY

PLEASE CLICK ON THE LINK BELOW TO VIEW

<http://www.avondale.org/DocumentCenter/View/31333>



CITY COUNCIL REPORT

SUBJECT:

Contract Award - Ludvik Electric Co. for Coldwater
Booster Station VFD Installation

MEETING DATE:

December 17, 2012

TO: Mayor and Council

FROM: Wayne Janis, PE, Public Works Director, (623) 333-4444

THROUGH: Charlie McClendon, City Manager

PURPOSE:

Staff is requesting that City Council award a contract to Ludvik Electric Co. for the purpose of installing four (4) new variable frequency motor drive units (VFD's) at the Coldwater Booster Station, for a price not to exceed \$212,602, and to authorize the Mayor or City Manager and City Clerk to execute the necessary documents.

BACKGROUND:

A variable frequency motor drive (VFD) is an electronic controller that adjusts the speed of an electric motor by regulating the power demands of the drive in order to operate efficiently. VFDs provide continuous control, matching motor speed to the specific demands of the water production booster sites. VFDs are used with the City's booster pumps because they allow operators to fine-tune processes and to maintain system pressures while reducing costs for energy and equipment maintenance. The VFDs are in use on a daily basis controlling the various pumps under normal operational conditions. Our ability to procure replacement parts and/or repair the drives diminishes over time due to advancements in technology and years of continual service. There are currently four (4) motor controllers at the Coldwater Booster Station that are in need of replacement.

DISCUSSION:

The Coldwater Booster Station is an important component of the City's water production and distribution system. It allows staff to produce water which meets or exceeds water quality standards, while meeting the daily fluctuations in water demand and system pressure. Without this site running efficiently and consistently, an increased and noticeable strain is placed on the other wells and treatment sites. Through discussions, evaluations, and designs performed in conjunction with Brown and Caldwell Engineering, the water production staff has identified the four (4) VFDs at Coldwater Booster Station as critical components requiring upgrade and replacement to ensure the integrity and reliability of the City's potable water system. Due to the estimated project construction costs, staff determined that a competitive bid process would be required to award this work.

BID PROCESS:

The Invitation for Bid (IFB) PW12-067 for the Coldwater Booster Station Variable Frequency Drive Project was advertised in the West Valley View on October 26 and 30, 2012, and the Arizona Business Gazette on October 25, 2012. The bid opening was held on November 15, 2012. The following bidders met all the IFB submittal requirements:

Vendor	Total Cost
Ludvik Electric Co.	\$193,275
Felix Construction	\$199,898

Staff has contacted references in regards to the proposed installation and construction services. All references were satisfied with the quality of work and made high recommendations regarding the services of Ludvik. Staff have also used Ludvik on other projects and have confidence in their skills and ability to provide satisfactory services under this contract.

BUDGETARY IMPACT:

In addition to the Total Cost of the Ludvik Electric Co. quote (\$193,275), staff is asking for a 10% contingency amount of \$19,327 to the approved funding for a total not to exceed authorized amount of \$212,602. Given the age and condition of the site we are anticipating installation and construction unknowns that could not be quantified in the bid tab. These unknown items could impact the overall cost of the project. The funding for this work is available in the Water CIP Budget, line item no. 514-1283-00-8520.

RECOMMENDATION:

Staff is recommending that City Council award a contract to Ludvik Electric Co. for the purpose of installing four (4) new variable frequency motor drive units at the Coldwater Booster Station, for a price not to exceed \$212,602, and to authorize the Mayor or City Manager and City Clerk to execute the necessary documents.

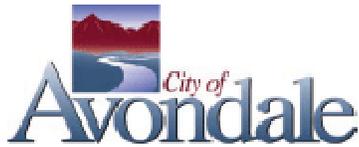
ATTACHMENTS:

Click to download

[Bid Tabulation Sheet](#)

**CITY OF AVONDALE
 BID TABULATION
 PW 12-067
 COLDWATER BOOSTER STATION VARIABLE FREQUENCY DRIVE PROJECT
 BID DATE: NOVEMBER 15, 2012**

Item No.	Description of Materials and/or Services	Qty	Unit	Felix Construction		Ludvik Electric		Keller Electrical	
				Unit Price	Total Price	Unit Price	Total Price	Unit Price	Total Price
1	Variable Speed Drives 125 Horsepower, 460Vac	1	EA	\$17,896.00	\$17,896.00	\$21,200.00	\$21,200.00		\$0.00
2	Variable Speed Drives 250 Horsepower, 460Vac	3	EA	\$21,553.00	\$64,659.00	\$24,900.00	\$74,700.00		\$0.00
3	Demolition of 4 Existing Motor Controllers	1	LS	\$3,500.00	\$3,500.00	\$3,300.00	\$3,300.00		\$0.00
4	Delivery, Unloading, Installation of 4 VFDs and 2 Temporary Motor Controllers	1	LS	\$77,088.01	\$77,088.01	\$50,100.00	\$50,100.00		\$0.00
5	Wiring to Existing Pump-Motor, Control Station, and Protection Devices	1	LS	\$3,200.00	\$3,200.00	\$2,750.00	\$2,750.00		\$0.00
6	Wiring to Existing SCADA Panel	1	LS	\$3,200.00	\$3,200.00	\$2,350.00	\$2,350.00		\$0.00
7	Other Labor, Material, and Tools	1	LS	\$4,710.73	\$4,710.73	\$12,500.00	\$12,500.00		\$0.00
8	Cost of On-Site Temporary Work Facilities	1	LS	\$1,500.00	\$1,500.00	\$600.00	\$600.00		\$0.00
9	Submittals and Spare Parts (Per Section 11069)	1	LS	\$6,983.00	\$6,983.00	\$9,000.00	\$9,000.00		\$0.00
10	Installation Coordination (2 Days)	2	LS	\$675.00	\$1,350.00	\$300.00	\$600.00		\$0.00
11	Testing and Field Service (2 Days)	2	LS	\$1,300.00	\$2,600.00	\$1,500.00	\$3,000.00		\$0.00
12	Training (2 Sessions, 2 Hours Each)	2	LS	\$650.00	\$1,300.00	\$800.00	\$1,600.00		\$0.00
SUBTOTAL					\$187,986.74		\$181,700.00		\$0.00
Taxes As Applicable					\$11,910.65		\$11,574.29		
TOTAL BASED ON UNIT PRICES					\$199,897.39		\$193,274.29		\$0.00
TOTAL SUBMITTED BY BIDDER					\$199,897.39		\$193,274.29		\$0.00
Required Attachments Included?					Yes		Yes		No



CITY COUNCIL REPORT

SUBJECT:

Contract Award – Prominent Systems, Inc., for Granular Activated Carbon Slurry Replacement Services

MEETING DATE:

December 17, 2012

TO: Mayor and Council

FROM: Wayne Janis, PE, Public Works Director, (623) 333-4444

THROUGH: Charlie McClendon, City Manager

PURPOSE:

Staff is requesting that City Council award a contract to Prominent Systems, Inc., to provide Granular Activated Carbon (GAC) Slurry Replacement Services at Well #8 at the Gateway Booster Station site, for a price not to exceed \$49,697, and to authorize the Mayor or City Manager and City Clerk to execute the necessary documents.

BACKGROUND:

Well #8 is located at the Gateway Booster Station site and supplies the northeastern quarter of the City with water and water pressure. Wellhead treatment at the site consists of a granular activated carbon (GAC) filter for removal of DBCP, and ion exchange vessels for removal of nitrates (DBCP [dibromochloropropane] is a pesticide used in agriculture until 1979). GAC is made from the heating of raw organic materials that are high in carbon (such as coal) and is being used at Well #8 to remove DBCP from the raw water supply. The GAC removes the dissolved DBCP by trapping (adsorbing) the chemical in the GAC. Eventually, the ability of the GAC to bind and remove chemicals is used up and the GAC needs to be changed.

At Well #8 the GAC was last changed five years ago (late 2007). Sampling of water at the site showed a significant reduction in the effectiveness of the existing media, and staff recognized the need to replace the GAC filter material.

DISCUSSION:

The Invitation for Bid (IFB) PW13-012 for the Granular Activated Carbon (GAC) Slurry Replacement Services was advertised in the West Valley View on October 16 and 23, 2012, and the Arizona Business Gazette on October 18, 2012. The scope of services requires the successful bidder to supply the labor, material, and equipment required to remove and dispose of the spent GAC, and provide and install pure GAC in compliance with the appropriate specifications.

The bid opening was held on November 1, 2012. The following bidders met all the IFB submittal requirements:

Vendor	Total Cost
Prominent Systems, Inc.	\$49,697
Carbon Activated Corp.	\$60,444
MP Environmental Services	\$88,489

Staff has contacted references in regards to the proposed services. All references were satisfied with the quality of work and made positive recommendations regarding the services of Prominent Systems, Inc. Staff have confidence in the ability of Prominent Systems, Inc., to provide satisfactory services under this contract.

BUDGETARY IMPACT:

Funding for this work is available in the Water Operating Budget, line item no. 501-9122-00-6740 (Repair and Maintenance - Wells).

RECOMMENDATION:

Staff is recommending that City Council award a contract to Prominent Systems, Inc., to provide Granular Activated Carbon (GAC) Slurry Replacement Services at Well #8 at the Gateway Booster Station site, for a price not to exceed \$49,697, and to authorize the Mayor or City Manager and City Clerk to execute the necessary documents.

ATTACHMENTS:

Click to download

[Bid Tabulation Sheet](#)

City of Avondale

Bid Tabulation

Solicitation No: PW13-012
 Solicitation Name: GAC Slurry Replacement Services
 E_Procurement: BuyHub.com
 Date Submitted: 11/27/2012
 Closing Date: 11/8/2012 3:00PM

(Intentionally Left Blank)				Prominent Systems		MP Environmental Services		Calgon		Norit American Inc.		Carbon Activated Corp		Siemens	
Supplier Name				IFB		IFB		IFB		IFB		IFB		IFB	
Bid Method				IFB		IFB		IFB		IFB		IFB		IFB	
Supplier Notes				Caustic wash only as needed.						Services Included.					
DBE (Y/N)				No		Yes		No		No		No		No	
Bundled Bid				No		No		Yes		Yes		No		Yes	
Make				PS Coal Base		GAC		Bituminous Reagglomerated Coal		Norit Americas Inc.		ACOL-L60		Siemens AC	
Brand Name				PS 830		VCOAW		Filtasorb 300		Norit GAC 300		Liquid Phase Acid Washed BCBC		AC830	
Manufacturer				Prominent Systems		Baker Corp		Calgon Carbon Corporation		Norit Americas Inc.		Daneng Zhengda Activated Carbon(China)		Siemens	
Shipping Fee				0		0		0		0		0		0	
Delivery Days				30		30		30		30		30		30	
Total				\$45,988.00		\$81,629.40		\$0.00		\$0.00		\$56,546.71		\$0.00	
Qty	Unit	Item No	Item Name	Price	Total	Price	Total	Price	Total	Price	Total	Price	Total	Price	Total
1,404	Cubic ft.	1	Granular Activated Carbon	\$26.950	\$37,837.80	\$49.850	\$69,989.40					\$28.325	\$39,768.30		
	Lump Sum	2	Deliver, Install Removal		\$ 8,150.20		\$ 11,640.00						\$16,778.41		
1	Other	3	(Must Specify)	Caustic Wash	\$ 4,200.00		None stated						None stated		
Sub-total Cost					\$45,988.00		\$81,629.40						\$56,546.71		
Tax					\$3,708.10		\$6,858.96						\$3,897.29		
Total Cost					\$49,696.10		\$88,488.36						\$60,444.00		
Submittal Requirements															
Complete copy of the IFB				Yes		Yes		Yes		Yes		Yes		*No	
Complete Addendum 1				Yes		Yes		Yes		No		*Incorrect Price sheet		Yes	
Signed Offer Sheet				Yes		Yes		Yes		Yes		Yes		Yes	
Licenses/Certs.				Yes		Yes		Yes		Yes		Yes		Yes	
Complete References				Yes		Yes		No		* Missing Info		No		* Missing Info	

Lowest Responsive Bidder

*Disqualified for non-compliance

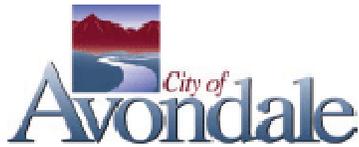
Revised Calculation

I hereby affirm the information presented herein to be true and accurate and was obtained in accordance with the City Procurement Code and Policies.

I have examined these quotes and found them to be reasonable and valid.

Leo Scheid
 Department Representative

Leo Scheid 12/10/12
 Signature Date



CITY COUNCIL REPORT

SUBJECT:

Resolution 3086-1212- Capital Improvement Plan
Committee Bylaws

MEETING DATE:

December 17, 2012

TO: Mayor and Council
FROM: Carmen Martinez, City Clerk (623) 333-1214
THROUGH: Charlie McClendon, City Manager

PURPOSE:

Staff is recommending Council adoption of a resolution approving the Bylaws of the Capital Improvement Plan Committee.

DISCUSSION:

On December 3rd staff updated the Council regarding the set of guidelines the Capital Improvement Plan Citizens' Committee has used as a governing document since it was established in 1997.

The guidelines call for a membership of 13 members. However, then Mayor Thomas Morales suggested that the city be divided into quadrants and the committee was structured to have four members represent each quadrant of the city and a member at large which meant the committee had up to 17 members. Such a large number of members makes meeting quorum challenging. In order to make it a more manageable committee, staff proposed to reduce the membership number to nine.

Based on the above, staff felt this was an opportune time for City Council to formally adopt the committee's bylaws. The proposed bylaws were prepared using the standard format used by the city's boards and committees, incorporates the powers and duties the committee has followed since it was first established and sets the membership at nine members.

RECOMMENDATION:

Staff is recommending council adoption of a resolution to formally approve the bylaws of the Capital Improvement Plan Committee.

ATTACHMENTS:

Click to download

[Resolution 3086-1212](#)

RESOLUTION NO. 3086-1212

A RESOLUTION OF THE COUNCIL OF THE CITY OF AVONDALE,
ARIZONA ADOPTING THE CITY OF AVONDALE CAPITAL
IMPROVEMENT PLAN COMMITTEE BYLAWS.

WHEREAS, the Council of the City of Avondale (the “City Council”) formed the Capital Improvement Plan Committee (the “Committee”) in 1997; and

WHEREAS, the Committee currently operates according to a set of guidelines prepared by City of Avondale staff; and

WHEREAS, the City Council desires to formalize the operations and structure of the Committee by adopting a set of bylaws.

NOW, THEREFORE, BE IT RESOLVED BY THE COUNCIL OF THE CITY OF AVONDALE, as follows:

SECTION 1. The City of Avondale Capital Improvement Plan Committee Bylaws are hereby approved in the form attached hereto in Exhibit A and incorporated herein by reference.

SECTION 2. The Mayor, the City Manager, the City Clerk and the City Attorney are hereby authorized and directed to take all steps necessary to carry out the purpose and intent of this Resolution.

PASSED AND ADOPTED by the Council of the City of Avondale, December 17, 2012.

Marie Lopez Rogers, Mayor

ATTEST:

Carmen Martinez, City Clerk

APPROVED AS TO FORM:

Andrew J. McGuire, City Attorney

EXHIBIT A
TO
RESOLUTION NO. 3086-1212

[Capital Improvement Plan Committee Bylaws]

See following pages.

**CITY OF AVONDALE
CAPITAL IMPROVEMENT PLAN COMMITTEE
BYLAWS**

I. Name.

The name of this organization shall be the Avondale Capital Improvement Plan Committee (the “Committee”).

II. Powers and Duties of the Committee.

The Committee shall advise the Mayor and City Council (the “City Council”) and City staff on matters pertaining to the City Manager’s recommended 5-year Capital Improvement Plan for the City of Avondale (the “CIP”). This includes, but is not limited to, the following policies and guidelines.

A. Capital projects should:

1. Support City Council goals and be consistent with the City’s adopted General Plan, specific area plans and infrastructure plans.
2. Prevent the deterioration of the City’s existing investment in parks, streets, buildings and utilities.
3. Support economic development in City.
4. Respond to and anticipate growth in the City.
5. Increase the efficiency and productivity of City operations.
6. Provide all geographic areas of the City with similar quality and types of service.
7. Where possible and when constructed in response to growth in the community, be financed through growth-related funding sources, including development fees.
8. Be responsive to the needs of residents and businesses, within the constraints of reasonable taxes and fees.

B. Where appropriate, Avondale projects will be planned to take maximum advantage of improvements provided by other units of government.

C. The CIP should address the impact of capital projects on the operating budget.

D. The CIP should address all legal and financial limitations, and should include procedures designed to maintain the City’s favorable investment ratings.

III. Membership and Composition.

- A. Number of Members. There shall be nine (9) members and one (1) alternate, all of which shall be Avondale residents. Members shall be appointed according to the procedure set forth in Section 15 of the Council Rules of Procedure, as amended (the “Council Rules”).
- B. Term. The term of office for an appointed Committee member shall be three (3) years, unless the member resigns sooner or is removed pursuant to the Council Rules. Terms of the members shall be staggered such that no more than three (3) member’s terms expire in the same year.
- C. Term Limits. No member of the Committee may serve more than two consecutive terms. However, a member appointed to fill a vacancy may serve two consecutive terms after conclusion of the unexpired term to which he or she was appointed.
- D. Vacancy. Any vacancy on the Committee shall be filled for the unexpired term by the alternate if one has been appointed. If an alternate has not been appointed by the City Council according to the procedures set forth in the Council Rules, the position shall remain vacant until a new member is appointed by the City Council to fill the vacancy.
- E. Removal. Any Committee member may be removed upon occurrence of one of the following:
 - 1. A vote of not less than five (5) Council Members, for any cause as determined by the City Council.
 - 2. Automatically for lack of attendance pursuant to Subsection V(B) below.

IV. Committee Officers.

- A. Chair and Vice-Chair. The Committee shall select a Chairperson and Vice-Chairperson from the appointed members. The Chairperson and Vice-Chairperson shall assume responsibilities immediately upon being selected and shall hold their positions for the remainder of their terms on the Committee. Any member serving as Chairperson or Vice-Chairperson shall be eligible for additional terms as Chairperson and Vice-Chairperson.
- B. Duties of the Chair and Vice-Chair. The Chairperson shall (1) preside at all meetings and hearings of the Committee, (2) decide all points of order and procedure, (3) appoint committees if necessary and coordinate the work of the committees, (4) serve as a representative of the Committee to other governmental units on such matters as have been approved and designated by the Committee and (5) perform any duties as required by law, ordinance or these bylaws. The

Chairperson shall have the right to vote on all matters before the Committee and shall have the right to make or second motions in the absence of a motion or a second. The Vice-Chairperson shall act as an aid to the Chairperson and shall perform the duties of the Chairperson in his or her absence or inability to serve.

- C. Removal. The Chairperson or Vice-Chairperson may be removed from office at any time by an affirmative vote of a majority of members at a regular meeting.
- D. Staff Liaison. The City of Avondale's Finance and Budget Director, or his/her designated representative, shall serve the Committee as the Department Representative and shall furnish professional and technical advice to the Committee.
- E. Legal Counsel. The determination of the Avondale City Attorney, or his/her designated representative, related to all points of order, procedure or other legal matters shall be final.

V. Meetings.

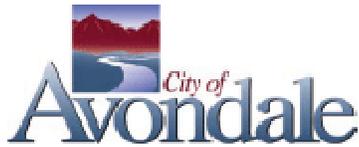
- A. Frequency. The Committee shall meet based on a schedule determined by the Finance and Budget Director. Notice, agendas and minutes of Committee meetings shall be posted in a manner consistent with the Arizona Open Meeting Law.
- B. Attendance. A Committee member who has three (3) or more unexcused absences during a 12-month period shall forfeit his or her seat on the Committee.
- C. Special Meetings. The Chairperson of the Committee may call a special meeting of the Committee at any time with not less than 24 hours prior, written notice to Committee members, subject to the provisions of the Arizona Open Meeting Law.
- D. Quorum. A majority of all of the members of the Committee shall constitute a quorum. A majority vote of those Committee members present shall be required to take official action. No action shall be taken at any meeting in absence of a quorum, except to adjourn the meeting to a subsequent date.
- E. Agenda. The agenda shall be prepared by the Staff Liaison, reviewed by the Chairperson and posted no less than 24 hours before the meeting in accordance with the Arizona Open Meeting Law.
- F. Minutes. Votes on motions shall be recorded in the minutes as approved or disapproved by voice vote or by roll call. Committee members may request that a roll call vote be taken.
- G. Procedural Rules. The Committee will conduct its meetings pursuant to the Council Rules.

VI. Standing and Special Committees.

- A. Standing Committees. The Committee may create standing committees at the beginning of each calendar year as deemed necessary to carry on the work of the Committee. The appointed term for such committees shall be for the remainder of the calendar year or until terminated by a vote of the Committee at a regular meeting.
- B. Special Committees. The Committee may create special committees for specific purposes. Each such committee shall automatically dissolve when the assigned task is completed and after its final report has been accepted by the Committee.
- C. Arizona Open Meeting Law. All standing and special committees shall be subject to the Arizona Open Meeting Law.

VII. Amendments.

Recommendations for amendments to these Bylaws may be made by the affirmative vote of a two-thirds majority of the Committee. The Committee will forward the recommendations for amendments to the bylaws to the City Council for its consideration.



CITY COUNCIL REPORT

SUBJECT:

Ordinance 1504-1212 - Amendment to City Code,
Chapter 23 Relating to Parking of Tow Vehicles

MEETING DATE:

December 17, 2012

TO: Mayor and Council
FROM: Kevin Kotsur, Chief of Police (623) 333-7201
THROUGH: Charlie McClendon, City Manager

PURPOSE:

Staff is presenting an amendment to the existing parking ordinance (23-62.A) which limits certain vehicle types from parking in residential neighborhoods. The amendment would allow an on-duty contract tow truck to be exempt from the existing ordinance.

BACKGROUND:

The current parking ordinance (23-62.A) limits the type of vehicles that can park on public streets or parking lots. Vehicles cannot be rated for a GVW in excess of 10,000 lbs., and have a chassis rating of greater than one ton, or consist of a tractor, semi-trailer, trailer, bus, mobile home, recreational vehicle, farm implement, livestock trailer, or similar equipment. Staff presented this information during a City Council work session on November 5th, 2012. Staff received direction from Council to present a revision to this parking ordinance which provides an exemption to allow tow trucks, on contract with the City of Avondale, to park in residential neighborhoods while on-duty.

DISCUSSION:

Currently the City of Avondale has an existing contract with four tow Truck companies that provide tow services for vehicles involved in traffic accidents or for other police initiated vehicle towing. These tow Trucks must adhere to the existing parking ordinance;

Current ordinance - 23-62.A states - "No person shall stand or park a vehicle having both (i) a gross vehicle weight rating in excess of ten thousand (10,000) pounds and (ii) exceeding one (1) ton chassis rating, or a tractor, semi-trailer, trailer, bus, mobile home, recreational vehicle, farm implement, livestock trailer or similar equipment on a public street or in a parking lot of any retail, industrial, office, commercial establishment".

There are exceptions to the ordinance when addressing vehicles in parking lots which are defined in 23-62.B and includes exemptions for school buses (on school grounds) commercial dealerships, municipal vehicles on city property, vehicles in a fenced yard operated by a trucking company, vehicles at truck stops, and vehicles parked or stored at tow-lots.

In order to allow on-duty tow trucks that are awarded the city Contract for towing, an additional exception to the parking ordinance is recommended. This exception would allow tow trucks on city contract to park in residential neighborhoods under the following conditions;

1. The tow truck driver resides at a residential address in the City of Avondale.
2. The tow truck driver must be on contract with the City of Avondale for "police towing" of other vehicles.
3. The tow truck driver must be on-duty and available to respond to requests from the Avondale

Police department to tow a vehicle.

4. The tow truck driver must display a police department approved parking placard which indicates the tow truck is exempt from the parking ordinance.
5. Only one tow truck per company would be exempt at any given time.

It is important to note that restrictions in valid CC&R's within Homeowner's Associations may contractually prohibit tow trucks from parking within the HOA. Enforcement of such contractual restrictions is the responsibility of the HOA.

BUDGETARY IMPACT:

There is no fiscal impact to this revision

RECOMMENDATION:

Staff is recommending Council adoption of an ordinance amending City Code Chapter 23, Article III, Section 23-62 relating to limited parking of tow vehicles to allow for on-duty / on-call City contract tow truck to be exempt from the existing ordinance.

ATTACHMENTS:

Click to download

[Ordinance 1504-1212](#)

ORDINANCE NO. 1504-1212

AN ORDINANCE OF THE COUNCIL OF THE CITY OF AVONDALE, ARIZONA, AMENDING THE AVONDALE CITY CODE, CHAPTER 23, TRAFFIC, ARTICLE III, STOPPING, STANDING OR PARKING, SECTION 23-62, PARKING OF TRUCKS AND TRAILERS, RELATING TO LIMITED PARKING OF TOW VEHICLES.

BE IT ORDAINED BY THE COUNCIL OF THE CITY OF AVONDALE as follows:

SECTION 1. The Avondale City Code, Chapter 23 (Traffic), Article III (Stopping, Standing or Parking), Section 23-62 (Parking of trucks and trailers), is hereby amended as follows:

23-62 Parking of trucks and trailers.

- (a) EXCEPT AS SPECIFICALLY SET FORTH BELOW, no person shall stand or park a vehicle having both (i) a gross vehicle weight rating in excess of ten thousand (10,000) pounds and (ii) exceeding one (1) ton chassis rating, or a tractor, semi-trailer, trailer, bus, mobile home, recreational vehicle, farm implement, livestock trailer or similar equipment on a public street or in a parking lot of any retail, industrial, office, commercial establishment.
- (b) The restrictions set forth in subsection (a) of this section shall not apply to school buses parked on school grounds, vehicles listed above held for sale at a licensed commercial dealership, municipal operations vehicles on municipal property, vehicles parked in a fenced parking area owned and operated by a trucking company, vehicles lawfully parked at truck stops, vehicles parked in private or public tow lots AND TOWING VEHICLES PARKED AT THE RESIDENCE OF A TOWING COMPANY EMPLOYEE WHO IS REQUIRED TO RESPOND TO INCIDENTS AFTER TYPICAL BUSINESS HOURS PURSUANT TO AN AGREEMENT WITH THE CITY; PROVIDED, HOWEVER, THAT SUCH PARKING SHALL BE LIMITED TO (1) ONE TOW VEHICLE PER COMPANY UNDER CONTRACT WITH THE CITY AND (2) THE HOURS THE EMPLOYEE IS REQUIRED TO RESPOND. NOTWITHSTANDING THE FOREGOING, TOWING VEHICLES SHALL NOT BE PERMITTED TO PARK IN ANY AREA DESIGNATED AS A RESIDENTIAL NO PARKING AREA PURSUANT TO SECTION 23-64 OF THIS ARTICLE.

. . .

SECTION 2. The Mayor, the City Manager, the City Clerk and the City Attorney are hereby authorized and directed to take all steps necessary to carry out the purpose and intent of this Ordinance.

PASSED AND ADOPTED by the Council of the City of Avondale, December 17, 2012.

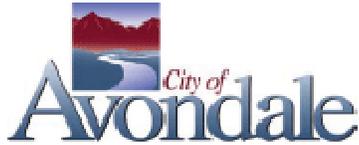
Marie Lopez Rogers, Mayor

ATTEST:

Carmen Martinez, City Clerk

APPROVED:

Andrew J. McGuire, City Attorney



CITY COUNCIL REPORT

SUBJECT:

Ordinance 1506-1212 - Dedication of Power Distribution Easement to SRP for Holy Cross Cemetery

MEETING DATE:

December 17, 2012

TO: Mayor and Council

FROM: Charles Andrews, Assistant City Engineer, 623-333-4216

THROUGH: Charlie McClendon, City Manager

PURPOSE:

Staff is requesting that the City Council adopt an ordinance dedicating a power distribution easement to Salt River Project (SRP) for Holy Cross Cemetery and authorize the Mayor or City Manager, and City Clerk to execute the necessary documents.

DISCUSSION:

On June 18, 2012, City Council approved the Holy Cross Cemetery Map of Dedication. The document included dedication to the City of a Tract B, which is intended for relocation of the SRP Irrigation Lateral. SRP has requested a Power Distribution easement crossing this tract to serve the Holy Cross Cemetery. The easement is an 8 foot wide strip approximately 35 foot long, located about 134 feet south of Thomas Road on the west side of 99th Avenue.

BUDGETARY IMPACT:

The proposed dedication of easements to SRP will have no budgetary impact on the City.

RECOMMENDATION:

Staff recommends the City Council adopt an ordinance dedicating a power distribution easement to Salt River Project (SRP) for Holy Cross Cemetery and authorize the Mayor or City Manager, and City Clerk to execute the necessary documents.

ATTACHMENTS:

Click to download

[Vicinity Map](#)

[Ordinance 1506-1212](#)

VICINITY MAP



SRP Power Distribution Easement Location

ORDINANCE NO. 1506-1212

AN ORDINANCE OF THE COUNCIL OF THE CITY OF AVONDALE,
ARIZONA, GRANTING AN EASEMENT TO SALT RIVER PROJECT
AGRICULTURAL IMPROVEMENT AND POWER DISTRICT.

BE IT ORDAINED BY THE COUNCIL OF THE CITY OF AVONDALE as follows:

SECTION 1. An easement is hereby granted to Salt River Project Agricultural Improvement and Power District in the form attached hereto as Exhibit 1 and incorporated herein by reference, through, over, under and across certain real property, generally located along the west side of 99th Avenue, south of Thomas Road, as more particularly described and depicted in the easement form attached hereto as Exhibit 1.

SECTION 2. The Mayor, the City Manager, the City Clerk and the City Attorney are hereby authorized and directed to execute all documents and take all steps necessary to carry out the purpose and intent of this Ordinance.

PASSED AND ADOPTED by the Council of the City of Avondale, December 17, 2012.

Marie Lopez Rogers, Mayor

ATTEST:

Carmen Martinez, City Clerk

APPROVED AS TO FORM:

Andrew J. McGuire, City Attorney

EXHIBIT 1
TO
ORDINANCE NO. 1506-1212

[Power Distribution Easement]

See following pages.

WHEN RECORDED MAIL TO:

SALT RIVER PROJECT

Land Department/PAB350
P. O. Box 52025
Phoenix, Arizona 85072-2025

POWER DISTRIBUTION EASEMENT

Maricopa County
Parcel # 102-31-006-X
NE ¼, SEC. 32, T2N, R1E

Agt. RDP
Job # KJB-1668 *10/2/21*
AMP# 81567987
W RDP *C/M/G/M*

CITY OF AVONDALE, ARIZONA,

hereinafter called Grantor, for and in consideration of the sum of One Dollar, and other valuable consideration, receipt of which is hereby acknowledged, does hereby grant and convey to **SALT RIVER PROJECT AGRICULTURAL IMPROVEMENT AND POWER DISTRICT**, an agricultural improvement district organized and existing under the laws of the State of Arizona, its agents, employees, contractors and permittees and its and their respective successors and assigns, hereinafter called the Grantee, a non-exclusive easement in, upon, over, under, across, through and along the lands hereinafter described (such lands hereinafter described being sometimes referred to herein as the "Easement Parcel") to construct, install, reconstruct, replace, remove, repair, operate and maintain underground electrical conductors, conduits, pipes, cables, vaults, pads, switching equipment, enclosures, manholes and transformers and all other appliances, appurtenances and fixtures (collectively "Facilities") for the transmission and distribution of electricity and for all other purposes connected therewith at such locations and elevations, in, upon, over, under, across, through and along the Easement Parcel as Grantee may now or hereafter deem convenient or necessary from time to time, together with the right of ingress and egress to, from, across and along the Grantor's Property. Grantee is hereby authorized to permit others to use the Easement Parcel for additional Facilities jointly with or separately from the Grantee for their purposes.

The lands in, upon, over, under, across, through and along which this easement is granted are situated in the County of Maricopa, State of Arizona, and are more particularly described as:

Grantor's Property:

TRACT B as shown per Book 1119, Page 49 records of Maricopa County, Arizona.

Easement Parcel:

Said easement being a strip of land 8.00 feet in width, lying 4.00 feet on each side of the line described as "C/L OF PROPOSED 8' ELECTRIC EASEMENT" delineated on Exhibit "A" (HOLY CROSS CEMETERY, SRP JOB NO: KJB-1668, prepared by Vesecky Engineering and Surveying, dated 11/19/2012), said Exhibit "A" attached hereto and made a part hereof.

REMAINDER OF THIS PAGE INTENTIONALLY LEFT BLANK

CAUTION: Facilities placed within the Easement Parcel may contain high voltage electrical equipment. Notice is hereby given that the location of underground electrical conductors or facilities must be verified as required by Arizona Revised Statutes, Section 40-360.21, et seq., Arizona Blue Stake Law, prior to any excavation.

Grantor shall maintain a clear area that extends 3.00 feet from and around all edges of all transformer pads and other equipment pads, and a clear operational area that extends 12.00 feet immediately in front of all transformer and other equipment openings. No obstruction, trees, shrubs, fixtures or permanent structures shall be placed within said areas.

Grantor shall not construct, install or place, or permit to be constructed, installed or placed any building or other structure, plant any trees, drill any well, store materials of any kind, or alter ground level by cut or fill, within the area of the Easement Parcel.

Grantee shall have the right (but not the obligation) to trim, cut and clear away trees, brush or other vegetation on the Easement Parcel whenever in its judgment the same shall be necessary for the convenient and safe exercise of the rights herein granted.

In the event Grantee records a document to formally abandon the easement granted herein, all Grantee's rights hereunder shall cease, except the right to remove any and all property placed upon the Easement Parcel within a reasonable time subsequent to such abandonment.

The covenants and agreements herein set forth shall extend and inure in favor and to the benefit of and shall be binding on the heirs, administrators, executors, personal representatives, legal representatives, successors (including successors in ownership and estate), assigns and lessees of the Grantor and Grantee.

The individual executing this document represents and warrants: (i) that he or she is authorized to do so on behalf of Grantor; (ii) that he or she has full legal power and authority to bind Grantor in accordance with the terms herein and, if necessary, has obtained all required consents or delegations of such power and authority (whether from any partner, owner, spouse, shareholder, director, member, manager, creditor, investor, developer, governmental authority, judicial or administrative body, association, or other person or entity); and (iii) that the execution, delivery, and performance by Grantor of this document and all others relating to the easement will not constitute a default under any agreement of which Grantor is a party. The individual executing this document shall indemnify, defend and hold harmless Grantee for, from and against any and all losses, costs, expenses, liabilities, claims, demands, and actions of any kind or nature, including court costs and attorneys' fees, arising or accruing as a result of the falsity of any of his or her representations and warranties contained in this document.

IN WITNESS WHEREOF, **CITY OF AVONDALE**, Arizona, has caused its name to be executed by its duly authorized representative(s), this _____ day of _____, _____.

CITY OF AVONDALE, ARIZONA,

By _____

Its _____

By _____

Its _____

STATE OF _____)

) ss

COUNTY OF _____)

)

The foregoing instrument was acknowledged before me this _____ day of _____, _____ by _____ and _____,

_____, as _____ and _____, respectively, of **CITY OF AVONDALE**, Arizona, on behalf of such city.

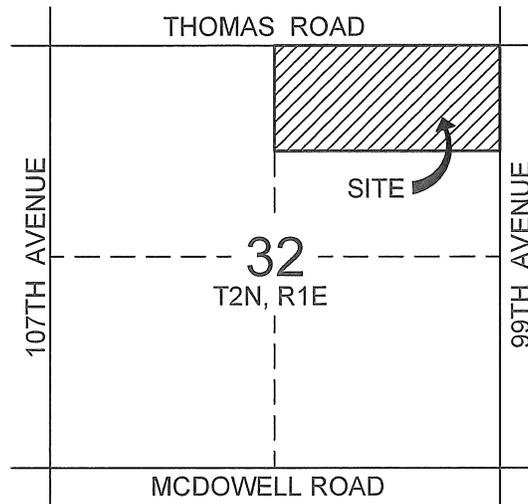
My Commission Expires:

Notary Public

Notary Stamp/Seal

Note: This instrument is exempt from the real estate transfer fee and affidavit of legal value required under A.R.S. Sections 11-1132 and 11-1133 pursuant to the exemptions set forth in A.R.S. Sections 11-1134(A)(2) and (A)(3).

EXHIBIT "A"



VICINITY MAP
(NOT TO SCALE)

COORDINATES IN THIS TABLE REPRESENT STATE PLANE COORDINATES (GRID) ZONE 0202 BASED OFF NAD 83 AND GEOID 03 AND A SCALE FACTOR OF 1.00013 EXACTLY HAS BEEN APPLIED FOR GRID TO GROUND CONVERSION.

POINT	NORTHING (Y)	EASTING (X)	DESCRIPTION
NE CORNER	901602.863N	600603.946E	BRASS CAP IN HAND HOLE
E/4 CORNER	904243.205N	600674.418E	BRASS CAP IN POTHOLE

- SHEET 2 - CERTIFICATION AND LEGEND
- SHEET 3 - SUBJECT PROPERTY DATA
- SHEET 4 - SUBJECT PROPERTY DATA (CONT'D)
- SHEET 5 - EASEMENT DETAIL

APPROVED
12/3/12

NOTE:
THIS EXHIBIT IS INTENDED TO
ACCOMPANY AN EASEMENT DOCUMENT.

<p>PREPARED FOR SRP BY: VESECKY ENGINEERING AND SURVEYING 8502 E. VIA DE VENTURA, SUITE 101 SCOTTSDALE, AZ 85258</p>
<p>JOB NAME: HOLY CROSS CEMETERY MAP: NE 1/4, SECTION 32, T.2 N., R.1 E. COORDS: 1 15/16 E - 6 15/16 N <i>N 1/3/12</i></p>
<p>DRAWN: <u>RTW</u> APPROVED: <u>PV</u> DATE: <u>11/19/12</u> SRP JOB NO: <u>KJB-01668</u> SCALE: <u>N.T.S.</u> SHEET: <u>1 OF 3</u></p>

EXHIBIT "A"

CERTIFICATION

"THESE RESULTS ARE BASED ON DATA GATHERED FROM FIELD SURVEY MEASUREMENT WORK PERFORMED UNDER MY OVERALL DIRECTION. THE PURPOSE OF SAID RESULTS OF SURVEY IS TO BECOME THE BASIS FOR THE PREPARATION OF SRP ELECTRIC AND/OR IRRIGATION UTILITY LAND RIGHTS, DOCUMENTS AND EXHIBITS, AND IT WAS CREATED AND/OR GATHERED SOLELY TO MEET THAT SPECIFIC PURPOSE. USAGE BY OTHERS FOR ANY OTHER PURPOSE MAY NOT BE APPROPRIATE. IT IS ENTIRELY THE RESPONSIBILITY OF ANY OTHER USERS TO DETERMINE ITS SUITABILITY FOR ANOTHER PURPOSE."

11/9/12
DATE

RLS 16913
NUMBER

PETER VESECKY
REGISTERED LAND SURVEYOR

VESECKY ENGINEERING AND SURVEYING
8502 E VIA DE VENTURA SUITE 101
SCOTTSDALE, AZ 85258
480-393-3640



LEGEND

- - FOUND MONUMENT AS NOTED
- ⊙ - FOUND BRASS CAP FLUSH
- ⊠ - FOUND BRASS CAP IN HAND HOLE
- (M) - MEASURED
- (R) - RECORDED (BK. 1119, PG. 49)
- (M) - MEASURED
- (C) - CALCULATED
- R/W - RIGHT-OF-WAY
- PUE - PUBLIC UTILITY EASEMENT
- MCR - MARICOPA COUNTY RECORDER
- APN - ASSESSOR PARCEL NUMBER

REFERENCE DOCUMENTS

MCR: 2012-0674815 (MAP OF DEDICATION)
APN: 102-31-006X

FIELD CREW: JEFF HILSMAN 09/12/12
RICH WAAGE 09/14/12

PROPERTY LINE

SECTION / CENTER LINE

TIE LINE

⊕ OF PROPOSED 8' ELEC. EASEMENT

PREPARED FOR SRP BY:
VESECKY ENGINEERING AND SURVEYING
8502 E. VIA DE VENTURA, SUITE 101
SCOTTSDALE, AZ 85258

JOB NAME: HOLY CROSS CEMETERY
MAP: NE 1/4, SECTION 32, T.2 N., R.1 E.
COORDS: 1 15/16 E - 6 15/16 N *12/3/12*

DRAWN: RTW APPROVED: PV
DATE: 11/19/12 SRP JOB NO: KJB-01668
SCALE: N.T.S. SHEET: 2 OF 3

EXHIBIT "A" - DETAIL "A"

THOMAS ROAD

FOUND; BRASS CAP IN HAND HOLE AT THE
NORTHEAST CORNER OF SECTION 32, T2N-R1E

FOUND 1/2" REBAR
W/TAG LS#16913

S44°14'44"E 48.84'(R)
S44°04'51"E 48.75'(M)

LINE TABLE (MEASURED)		
LINE	LENGTH	BEARING
L1	34.84'	N89°30'42"W

FOUND 1/2" REBAR
W/TAG LS#16913

134.04'(C)

TRACT
"B"

(TIE)
N88°28'16"W
70.06'(C)

TRACT "B"
PER BK. 1119, PG. 49 M.C.R.
APN: 102-31-006X
DEED# 2012-0674815 M.C.R.
OWNER: CITY OF AVONDALE

70' R/W
PER BK. 1119,
PG. 49 M.C.R.



(NOT TO SCALE)

FOUND 1/2" REBAR
W/TAG LS#16913

N 1°31'48" E 1250.58'(R)
N 1°31'59" E 1250.52'(M)

1188.66'(C)

N89°58'59"W 35.01'(R)
S89°52'58"W 34.97'(M)

1188.43'(C)

S 01°31'48" W 1215.60'(R)
N 01°31'38" E 1215.56'(M)

99TH AVENUE

FOUND; BRASS CAP IN POTHOLE
AT THE EAST QUARTER CORNER
OF SECTION 32, T2N-R1E

2507.24'(C)

S 01°31'44" W 2641.35'(R)
S 01°31'44" W 2641.28'(M)

FOUND 1/2" REBAR
W/TAG LS#16913

NOTES:

NO BUILDINGS ON SITE ARE
WITHIN 10 FEET OF SRP
ELECTRIC LINE(S) OR E-PAD(S).

EQUIPMENT PAD(S) ARE A PART
OF THE EASEMENT UNLESS
OTHERWISE NOTED.

CAUTION:

THE EASEMENT LOCATED HEREON
DELINEATED MAY CONTAIN HIGH
VOLTAGE ELECTRICAL EQUIPMENT.
NOTICE IS HEREBY GIVEN THAT
THE LOCATION OF UNDERGROUND
ELECTRICAL CONDUCTORS OR
FACILITIES MUST BE VERIFIED AS
REQUIRED BY ARIZONA REVISED
STATUTES, SECTION 40-380.21,
ET. SWQ., ARIZONA BLUE STAKE
LAW, PRIOR TO ANY EXCAVATION.

PREPARED FOR SRP BY:

VESECKY ENGINEERING AND SURVEYING
8502 E. VIA DE VENTURA, SUITE 101
SCOTTSDALE, AZ 85258

JOB NAME: HOLY CROSS CEMETERY

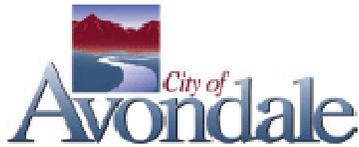
MAP: NE 1/4, SECTION 32, T.2 N., R.1 E.

COORDS: 1 15/16 E - 6 15/16 N *12/3/12*

DRAWN: RTW APPROVED: PV

DATE: 11/19/12 SRP JOB NO: KJB-01668

SCALE: N.T.S. SHEET: 3 OF 3



DEVELOPMENT SERVICES

SUBJECT:

Public Hearing - Time Extension for Entorno PAD
Zoning, Alternatively Ordinance 1505-1212 -
Zoning Reversion - Continuance

MEETING DATE:

December 17, 2012

TO: Mayor and Council
FROM: Rogene Hill, Assistant City Manager (623) 333-1012
THROUGH: Charlie McClendon, City Manager

REQUEST: The applicant is requesting a six-month continuance of the application to June 17, 2013. The original request was for a one-year extension of Planned Area Development zoning on the subject property to November 1, 2013. However, this action is to approve a six-month continuance of the application to resolve conformance issues.

PARCEL SIZE: Approximately 160 acres

LOCATION: Southwest corner of 99th Avenue and Indian School Road

APPLICANT: Mr. Ed Bull, Burch & Cracchiolo, P.A. (602) 234-9913

OWNER: AG/RW-Entorno, LLC (c/o Brett Owings, Ridgewood Real Estate Partners) (973) 593-0003

BACKGROUND:

The General Plan Land Use Map shows Medium/High Density Residential, Mixed Use, and Office uses on the subject property (Exhibit A). The current zoning is Planned Area Development (PAD) with an expired Development Plan, which expired November 1, 2012 (Exhibit B). The property is currently vacant and being farmed (Exhibit C). The subject property is located within the Prendergast Elementary School District and Tolleson Union High School District, and abuts two arterial roadways along the north and east (Exhibit D). There are no water or sewer utilities currently serving this property.

The subject property was annexed in two separate actions on May 26, 1981 and October 21, 1989. The property was subsequently rezoned from AG (Agricultural) to PAD (Planned Area Development) on October 1, 2007 through Ordinance 1269-1007 (application Z-06-13) (Exhibit E).

On December 17, 2007, City Council adopted Ordinance 1284-1207 to correct an error in the legal description of Ordinance 1269-1007 for Entorno (Exhibit E). The approved PAD separates development of the site into two general phases (Exhibit F). Phase One includes off-site and on-site infrastructure and improvements. Phase Two includes the development of individual parcels. The uses allowed include a mix of regional and neighborhood commercial, office, commerce park, urban mixed-use and medium-high to multi-family residential densities organized in a village style. Within the Urban Mixed-Use district, up to 8-story residential-over-retail buildings are allowed. In the commercial districts, 3-story buildings are allowed.

On August 28, 2012, the voters of Avondale adopted General Plan 2030. Changes to the land use

map pertaining to the subject property are summarized as: Removal of the area shown as Freeway Commercial; the addition of Medium/High Density Residential and Office land use areas; and, a change to the boundaries of the Mixed Use area. As a result, the Entorno Development Plan no longer complies with the General Plan Land Use Map.

Previous PAD Zoning Extensions (PL-10-0048 & PL-11-0127)

On September 20, 2010, and October 17, 2011, City Council granted one-year extensions of PAD zoning for the Entorno PAD with the following conditions of approval:

1. Unless listed below, all standards, requirements, and stipulations of the Entorno PAD approval on October 1, 2007 shall remain in full force and effect. Any language or graphics contained within the PAD General Development Plan and/or any original stipulation of approval that is in disagreement with the requirements listed below shall be disregarded.
 - a. 99th Avenue shall be constructed per City of Phoenix standards with 70' of half street right-of-way.
 - b. The intersection of 99th Avenue and Indian School Road shall be constructed per City of Phoenix standards with a dedicated right turn lane having an island.
 - c. The SRP irrigation ditch along 99th Avenue is fee title and will require 35 feet for the undergrounding of the irrigation line. This 35 feet shall not be within public right-of-way. Going west from the 99th Avenue monument line, there would be 70' of right-of-way, 35' to SRP for irrigation ditch, and an 8' PUE.
 - d. All irrigation ditches on the Entorno property that need to be kept in service shall be undergrounded outside of public right-of-way.
 - e. Tables 4, 5, 6, and 7 of the PAD are required to meet the current design standards from the City of Avondale General Engineering Requirements (GER) Manual, dated 2008.
 - f. The developer shall be responsible for the construction of a 16" water main in 99th Avenue along the property frontage.
2. Parking area landscaping within the Regional Commercial/Office, Neighborhood Commercial/Office, and Office/Commerce Park subareas is subject to the parking area landscaping requirements in Avondale Zoning Ordinance Section 12, Landscaping, Walls, and Fences, adopted on May 3, 2010.
3. Public art shall be provided on non-residential portions of the development site in accordance with the Avondale Zoning Ordinance Section 11, Public Art. This language shall replace existing stipulation #14 which requires public art be provided at the SWC of Indian School Road and 99th Avenue.

SUMMARY OF REQUEST:

The applicant originally submitted an application requesting a one-year extension of the expiration date of PAD zoning to November 1, 2013 (Exhibit G). However, the applicant recently filed a request for a six month continuance to work with staff on the proposed land uses for the site (Exhibit H).

PARTICIPATION:

Not required.

PLANNING COMMISSION ACTION:

Not required.

ANALYSIS:

Conformance with the 2002 General Plan

The Entorno PAD Development Plan was approved by City Council in conformance with the General Plan 2002. The land use map of the General Plan showed Freeway Commercial in the northeast quarter of the property and Mixed Use on the remaining three-quarters of the property (Exhibit I). The 2002 General Plan Freeway Commercial land use category was intended for the more intense uses near the Loop 101 corridor, allowing regional retail, neighborhood retail, family entertainment, office, and employment uses. The 2002 General Plan Mixed Use land use category was intended for high intensity uses with a retail commercial emphasis, allowing community and neighborhood commercial, hotel/motel, employment, and residential up to 45%.

On the 2002 General Plan Freeway Corridor portion of the Entorno site, the Entorno Development Plan provides for Regional Commercial and Office development (red outlined buildings) and Urban Mixed Use (blue outlined buildings). The Entorno Regional Commercial and Office development uses are substantially comparable to the Community Commercial (C-2) Zoning District, with provisions in the PAD for building heights up to 8-stories and residential densities up to 60 dwelling units per acre (du/ac) in the Urban Mixed Use area. The Entorno Development Plan provides for Regional Commercial and Office (red outlined buildings), Neighborhood Commercial (light red outlined buildings), Office and Commerce Park (purple outlined buildings & peach colored areas), and single-family residential (SFR) development (tan areas) on the remaining three-quarters of the property, designated Mixed Use on the 2002 General Plan Land Use Map. The Entorno Development Plan shows SFR development occupying approximately 35% of the gross property, and provides for density ranges of 4 to 24 du/ac with SFR detached, attached, and multi-family residential products. The Entorno Development Plan complied with the 2002 General Plan.

Non-Conformance with the 2030 General Plan

On August 28, 2012, Avondale voters adopted the General Plan 2030. The current property owner and applicant worked with staff on the proposed land use map changes currently shown on the General Plan 2030 land use map. The General Plan 2030 Land Use Map was changed and approved with mixed use, medium/high density, and office (Exhibit I). Mixed Use is intended for a mixture of commercial and residential in a village core where residents can live, work, and recreate within the development, or nearby, and encourages non-automotive transportation modes and connections. Office is intended for professional/medical office uses, which are typically quiet with moderate traffic volumes. Medium/High Density Residential is intended for a combination of residential housing choices within the density range of 4 to 12 du/ac, with a target of 8 du/ac. Medium/High Density Residential allows for SFR detached, SFR attached, and townhomes, or condominiums, patio homes, casita housing.

The Entorno Development Plan no longer conforms to the 2030 General Plan Land Use Map in the following specific instances:

- A. Provision of Regional Commercial and Office development (red outlined buildings) in the Medium/High Density Residential area in the northwest corner of the subject property abutting the Westwind community. Medium/High Density Residential does not allow commercial or office uses.
- B. Provision of Neighborhood Commercial development (green outlined buildings) in the Medium/High Density Residential area in the center of the subject property. Medium/High Density Residential does not allow commercial uses.
- C. Provision of Office and Commerce Park development (purple outline buildings & peach colored areas) in the Medium/High Density Residential area in the southeast-central portion of the subject property. Medium/High Density Residential does not allow office or commerce park uses.

D. Provision for a residential density range of 15 - 24 du/ac in the Medium/High Density Residential area on Parcel 12 in the southwest-central portion of the subject property. Medium/High Density Residential has a density range of 4 - 12 du/ac, which the Development Plan exceeds.

E. Provision for a residential density of 8 - 14 du/ac in the Medium/High Density Residential area on Parcel 14 in the west-central portion of the subject property. Medium/High Density Residential has a maximum density of 12 du/ac, which the Development Plan exceeds.

Conformance with the Zoning Ordinance and Design Manuals

The Entorno Development Plan remains in substantial conformance with the uses and development requirements of the Zoning Ordinance. Where the PAD Development Plan provides for a standard that deviates from the Zoning Ordinance are summarized as follows:

§ The Entorno Development Plan provides for building heights up to 8-stories in the Urban Mixed Use residential-over-ground-floor-commercial area (purple outlined buildings) and up to 3-stories height in the Regional Commercial and Office areas (red outlined buildings). These exceed the maximum building height of 2-stories/30 feet in the Zoning Ordinance Section 3.

§ The approved PAD requires all off-site and on-site infrastructure improvements in the first phase of development. This varies from the Zoning Ordinance Section 6 minimum requirement of only all off-site infrastructure improvements being completed with the first phase.

PAD Zoning Expiration

The Zoning Ordinance requires that development of the first phase commence within three years of the effective date of the ordinance rezoning the property to PAD. Application for a one-year extension of this deadline may be made to City Council. City Council may grant a maximum of four such extensions. If an extension is denied, City Council may revert the zoning of the property to its previous zoning.

The effective date of the Entorno PAD rezoning ordinance was November 1, 2007. City Council granted two one-year PAD zoning extensions on September 20, 2010, and October 17, 2011. The PAD expired November 1, 2012. If the PAD zoning extension application is granted, the property will remain zoned PAD through November 1, 2013. If it is denied, staff has prepared an ordinance for reverting the property's zoning back to AG through rezoning.

Applicant Request for Continuance

The applicant is requesting a six-month continuance of this application (Exhibit H). The applicant states that the continuance is to allow further time for staff and the applicant to produce a new PAD Development Plan for the subject property that is in conformance with the General Plan 2030. If a six-month continuance is granted by City Council, this case would be heard Monday, June 17, 2013.

The applicant and staff held one PreApplication meeting on the subject property for a new Development Plan called Parkside Village on August 15, 2012, as case PL-12-0163. The applicant has expressed the intention of requesting a second PreApplication meeting with staff to further refine the development concept, then to proceed with submittal of an application for rezoning to PAD. The rezoning process is typically four months. Staff does not oppose the six-month continuance.

Conclusion:

Staff recommends approval of the request for a six-month continuance of this application to June 17, 2013. Should the City Council not grant the continuance, based on the information provided by the applicant and the analysis by staff, staff recommends denial of the requested one-year extension of PAD zoning.

FINDINGS:

The proposed request for a one-year extension of the existing PAD zoning is not in conformance with the requirements of the General Plan 2030. Therefore, staff and the applicant will continue to work towards bringing a proposed project and rezoning application into conformance with the recently adopted General Plan 2030 land use map.

RECOMMENDATION:

Staff recommends that the City Council **APPROVE** the applicant's request for a six-month continuance of this application to June 17, 2013.

PROPOSED MOTION:

I move that the City Council **CONTINUE** the public hearing regarding application PL-12-0225, a request for a one-year extension of PAD zoning for Entorno, to the June 17, 2013 City Council meeting.

(Should the motion to continue fail...)

I move that the City Council **DENY** application PL-12-0225, a request for a one-year extension of PAD zoning for Entorno to expire November 1, 2013.

ATTACHMENTS:

Click to download

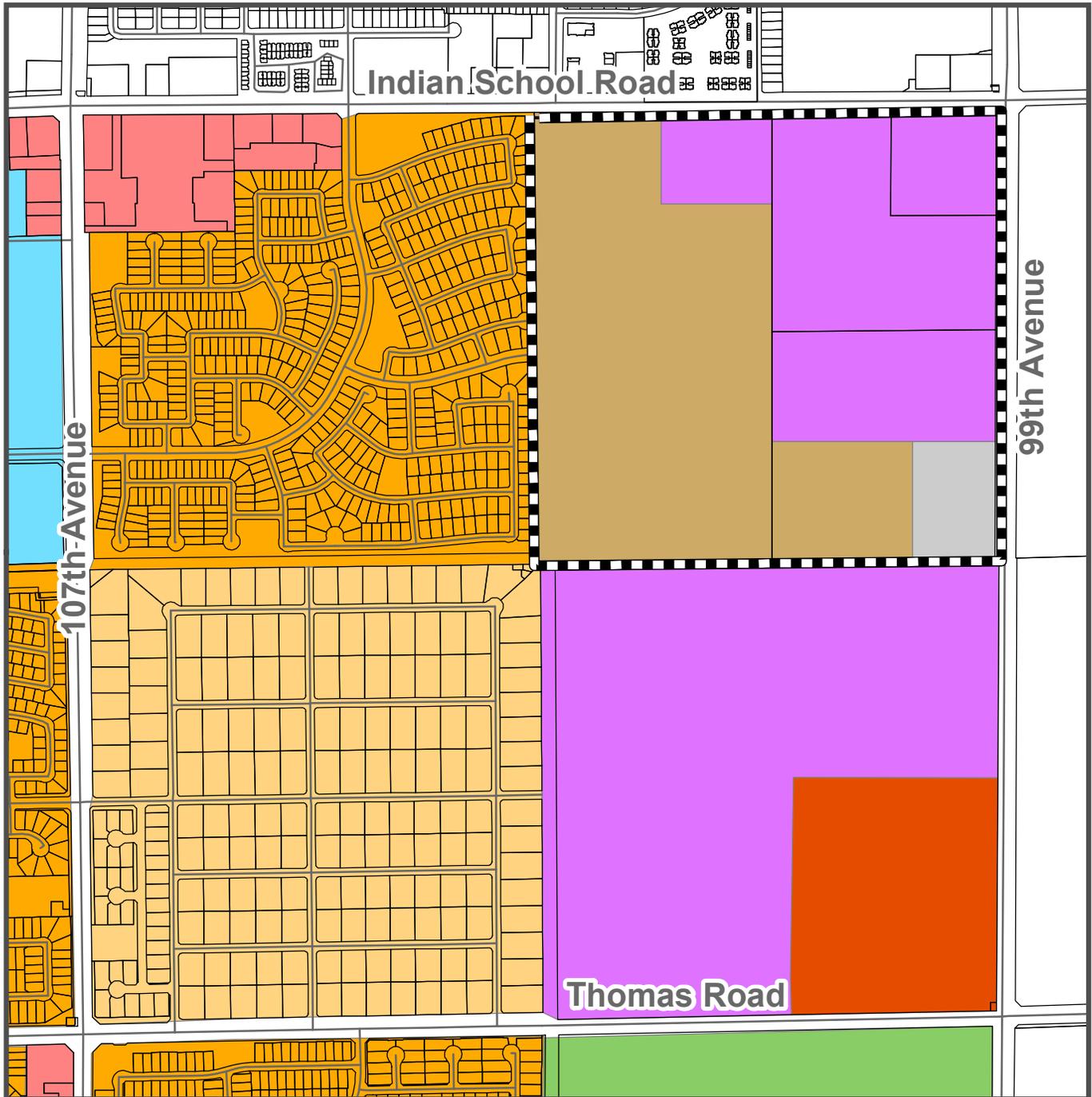
- [Exhibit A - General Plan Vicinity Map](#)
- [Exhibit B - Zoning Vicinity Map](#)
- [Exhibit C - Vicinity Aerial Photo 2012](#)
- [Exhibit D - Summary of Related Facts](#)
- [Exhibit E - Ordinance Rezoning Entorno to PAD](#)
- [Exhibit F.1 - Entorno PAD Development Plan \(1 of 5\)](#)
- [Exhibit F.2 - Entorno PAD Development Plan \(2 of 5\)](#)
- [Exhibit F.3 - Entorno PAD Development Plan \(3 of 5\)](#)
- [Exhibit F.4 - Entorno PAD Development Plan \(4 of 5\)](#)
- [Exhibit F.5 - Entorno PAD Development Plan \(5 of 5\)](#)
- [Exhibit G - PAD Extension Application Request Narrative](#)
- [Exhibit H - Request for a Continuance Narrative](#)
- [Exhibit I - Development Plan & General Plans Land Use Maps](#)
- [Ordinance 1505-1212](#)

FULL SIZE COPIES (Council Only):

None

PROJECT MANAGER:

Eric Morgan, Planner II (623) 333-4017

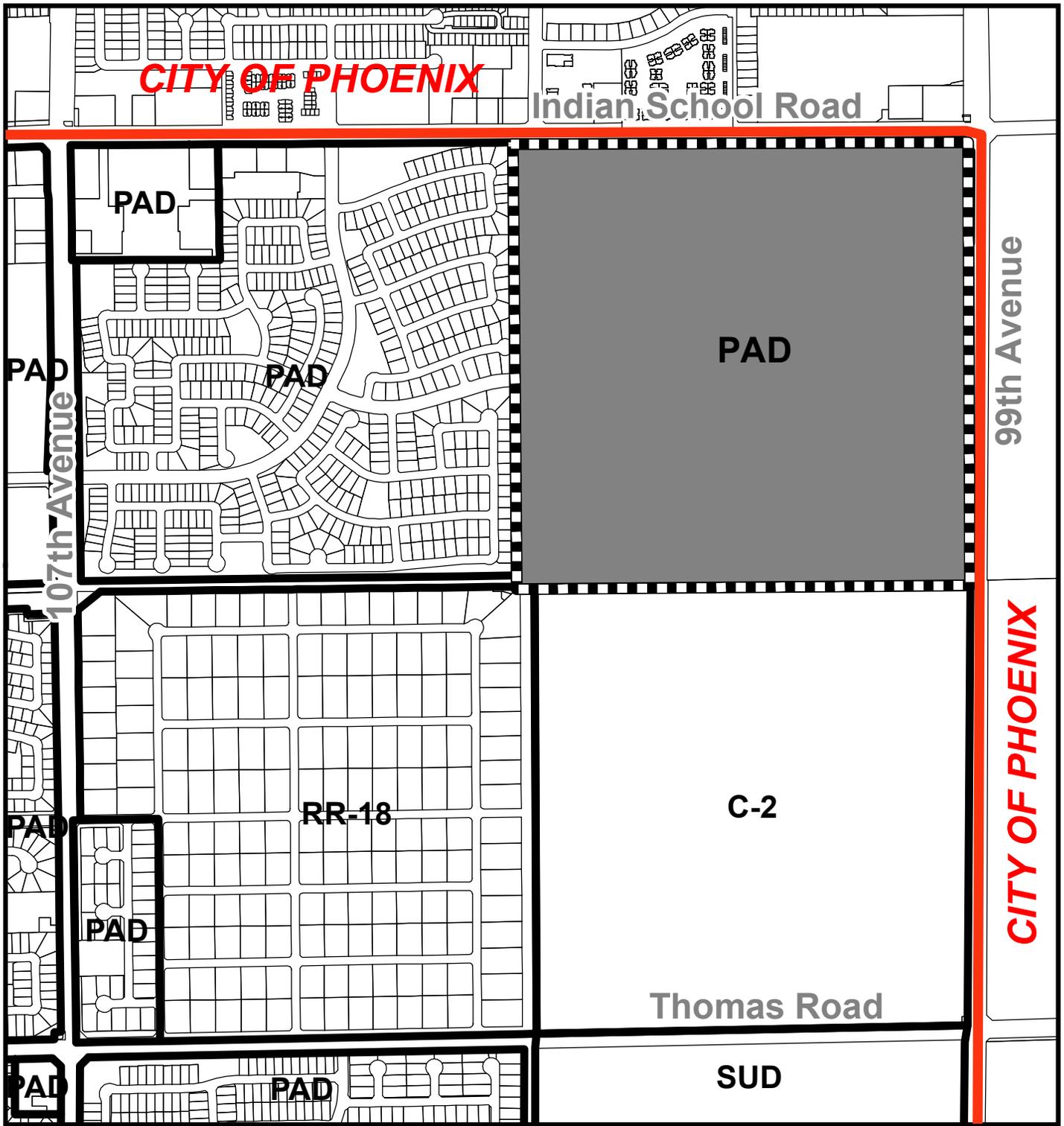


Entorno PAD Extension
PL-12-0225

General Plan Land Use Map

- | | |
|---|--|
|  Estate/Low Density Residential |  Freeway Commercial |
|  Medium Density Residential |  Office/Professional |
|  Medium/High Density Residential |  Mixed Use |
|  Subject Property |  Open Space and Parks |
| |  Education |





**Zoning Vicinity Map
Entorno PAD Extension
PL-12-0225**



Subject Property





Aerial Photograph 2012
Entorno PAD Extension
PL-12-0225



Subject Property



*SUMMARY OF RELATED FACTS
APPLICATION PL-12-0225 ENTORNO PAD EXTENSION*

<i>THE PROPERTY</i>	
PARCEL SIZE	Approximately 160 acres
LOCATION	SWC of Indian School Road & 99 th Avenue
PHYSICAL CHARACTERISTICS	Relatively flat square property
EXISTING LAND USE	Agricultural field
EXISTING ZONING	Planned Area Development (PAD)
ZONING HISTORY	Annexed 5/26/1981 & 10/21/1989, Rezoned to PAD 10/1/2007, one year PAD extensions granted 9/20/2010 & 10/17/2011
DEVELOPMENT AGREEMENT	No.

<i>SURROUNDING ZONING AND LAND USE</i>	
NORTH	City of Phoenix – Multi-Family Residential, vacant commercial, and 7-Elevent Convenience Store
EAST	City of Phoenix – vacant commercial
SOUTH	Community Commercial (C-2) – vacant farmland
WEST	Planned Area Development (PAD) – Westwind (Single-Family Detached Residential)

<i>GENERAL PLAN</i>	
<p>The western portion of the property, comprising approximately 82 acres, is shown as Medium High Density Residential on the General Plan Land Use Map.</p> <p>The eastern portion of the property, comprising approximately 70 acres, is shown as Mixed Use on the General Plan Land Use Map.</p> <p>The southeastern portion of the property, comprising approximately 8 acres, is shown as Office on the General Plan Land Use Map.</p>	

<i>PUBLIC SCHOOLS</i>	
SCHOOL DISTRICT(S)	Pendergast Elementary School District Tolleson Union High School District
ELEMENTARY SCHOOLS	Garden Lakes Elementary School
HIGH SCHOOL	Westview High School

STREETS

99th Avenue

Classification	Arterial
Existing half street ROW	40' (plus 20' SRP irrigation canal fee title)
Standard half street ROW	70' (City of Phoenix standard)
Existing half street improvements	2 vehicular travel lanes
Standard half street improvements	3 vehicular travel lanes, ½-median/turn lane, bicycle lanes, sidewalks, landscaping, curb & gutter, and streetlights

Indian School Road

Classification	Arterial
Existing half street ROW	40'
Standard half street ROW	65'
Existing half street improvements	2 vehicular travel lanes
Standard half street improvements	3 vehicular travel lanes, ½-median/turn lane, bicycle lanes, sidewalks, landscaping, curb & gutter, and streetlights

UTILITIES

There are no water or wastewater lines abutting this property. Both water and sewer would be brought from Westwind at Clarendon Avenue.

ORDINANCE NO. 1269-1007

AN ORDINANCE OF THE COUNCIL OF THE CITY OF AVONDALE, ARIZONA, AMENDING THE OFFICIAL ZONING ATLAS OF THE CITY OF AVONDALE FOR APPROXIMATELY 160 ACRES LOCATED AT THE SOUTHWEST CORNER OF INDIAN SCHOOL ROAD AND 99TH AVENUE AS SHOWN IN FILENAME Z-06-13, REZONING SUCH PROPERTY FROM AGRICULTURAL (AG) TO PLANNED AREA DEVELOPMENT (PAD).

WHEREAS, the Council of the City of Avondale (the "City Council") desires to amend the City of Avondale Zoning Atlas (the "Zoning Atlas") for approximately 160 acres of real property at the southwest corner of Indian School and 99th Avenue from Agricultural (AG) to Planned Area Development (PAD) pursuant to ARIZ. REV. STAT. § 9-462.04; and

WHEREAS, all due and proper notices of public hearings on the intended amendment to be held before the City of Avondale Planning and Zoning Commission (the "Commission") and the City Council were given in the time, form, substance and manner provided by Ariz. Rev. Stat. § 9-462.04; and

WHEREAS, the Commission held a public hearing on Thursday, August 16, 2007, on the amendment to the Zoning Atlas pursuant to such notices and as required by ARIZ. REV. STAT. § 9-462.04 and unanimously recommended approval; and

WHEREAS, the City Council held a public hearing regarding the amendment to the Zoning Atlas on October 1, 2007.

NOW, THEREFORE, BE IT ORDAINED BY THE COUNCIL OF THE CITY OF AVONDALE as follows:

SECTION 1. That ± 160 acres of certain real property generally located at the southwest corner of Indian School and 99th Avenue as shown in filename Z-06-13 (the "Property"), more particularly described and depicted in Exhibit A, attached hereto and incorporated herein by reference, are hereby rezoned from Agricultural (AG) to Planned Area Development (PAD) subject to the following stipulations:

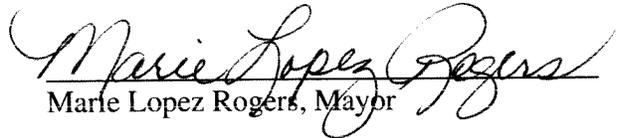
1. Development shall be in substantial conformance with the development plan and narrative dated August 2, 2007, except as modified by these stipulations.
2. The North Avondale Specific Plan must be amended to allow the height increase as proposed for this project.

3. The Master Circulation Plan shall be revised to include a connection to the existing traffic signal at 103rd Avenue and Indian School Road.
4. Full traffic impact analysis reports shall be required at master site plan. Additional comments will be forthcoming based on review and results of traffic study.
5. Cost contribution for traffic signals shall be required as follows: 50% for Indian School & 100th Avenue, 50% for Clarendon Avenue & 99th Avenue, and 25% for potential future signal at 99th Avenue & Osborn and all improvement costs for modifying the existing traffic signal and driveway at Indian School & 103rd Avenue. Additional contribution toward any other traffic signals as identified in the results of future traffic studies may be required.
6. Medians shall be required on Indian School and 99th Avenue and channelized access at non-signalized intersections shall be required based on results of the traffic impact analysis at master site plan. The intersection of Indian School Road and the proposed minor collector will have restricted access.
7. 100th Avenue south of Indian School Road will be required to be widened to support turn lanes and other intersection needs at the signalized intersection.
8. Traffic calming features will be required at master site plan to discourage cut-through traffic and excessive speeds on collectors.
9. Pedestrian-friendly design elements shall be required with the proposed collector roadway.
10. Bus pull-out bays and concrete bus pads per City of Phoenix Standard details including additional right-of-way for bus pull-out bays and pads will be required at master site plan.
11. Additional right-of-way shall be required as needed for deceleration lanes, turn lanes, and transit stops, to include intersections.
12. A comprehensive sign package shall be submitted at time of master site plan submittal for review and approval by Planning staff.
13. All water rights on the property shall be conveyed to the City of Avondale, excluding any water rights for the potential water feature, prior to recordation of the final plat.
14. Public Art shall be incorporated at the southwest corner of 99th Avenue and Indian School Road.

15. Office/Commerce Park District, Permitted Uses 'K & L' shall be amended as follows:
K. 'Retail sales of new merchandise provided it does not exceed 50% of the gross floor area per unit and is directly related to a permitted use' and
L. 'Warehousing and/or inventory provided it does not exceed 50% of the gross floor area per unit and is directly related to a permitted use.'
16. The following use shall be prohibited in all districts: Indoor and outdoor shooting ranges, fairgrounds, amusement parks, commercial racetrack, rodeo grounds, and ambulance service facility.

SECTION 2. If any provision of this Ordinance is for any reason held by any court of competent jurisdiction to be unenforceable, such provision or portion hereof shall be deemed separate, distinct and independent of all other provisions and such holding shall not affect the validity of the remaining portions of this Ordinance.

PASSED AND ADOPTED by the Council of the City of Avondale, October 1, 2007.


Marie Lopez Rogers, Mayor

ATTEST:


Linda M. Farris, City Clerk

APPROVED:


Andrew J. McGuire, City Attorney

EXHIBIT A

Parcel No. 1:

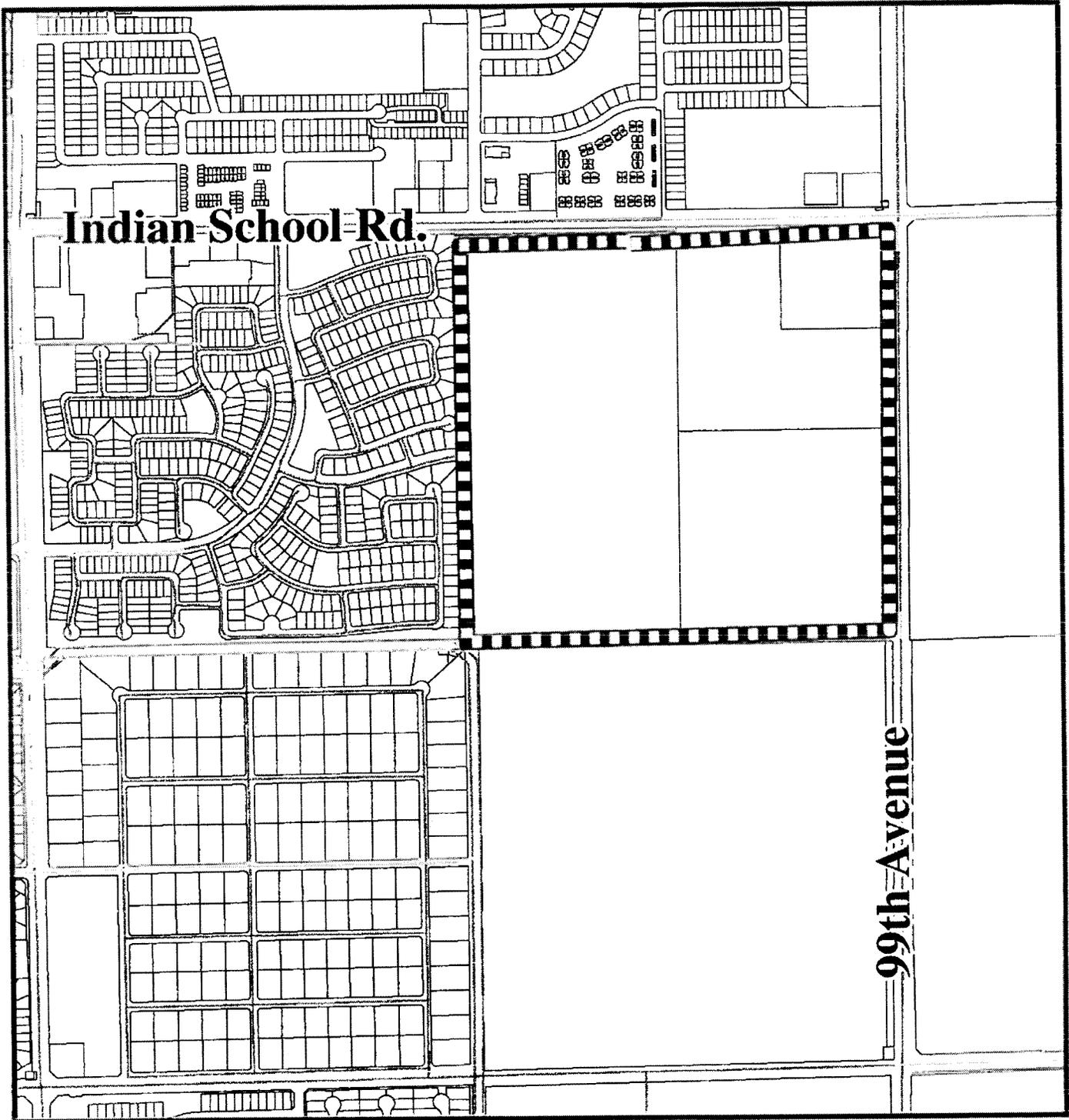
The East half of the Northeast quarter of Section 29, Township 2 North, Range 1 East of the Gila and Salt River Base and Meridian, Maricopa County, Arizona;

EXCEPT the Northeast quarter of the Northeast quarter of the Northeast quarter.

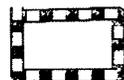
Parcel No. 2:

The West half of the Northeast quarter of Section 29, Township 2 North, Range 1 East of the Gila and Salt River Base and Meridian, Maricopa County, Arizona.

Entorno



Zoning Vicinity Map



Subject Property



ORDINANCE NO. 1284-1207

AN ORDINANCE OF THE COUNCIL OF THE CITY OF AVONDALE, ARIZONA, CORRECTING A SCRIVENER'S ERROR IN ORDINANCE NUMBER 1269-1007, WHICH AMENDED THE OFFICIAL ZONING ATLAS OF THE CITY OF AVONDALE FOR APPROXIMATELY 160 ACRES LOCATED AT THE SOUTHWEST CORNER OF INDIAN SCHOOL ROAD AND 99TH AVENUE AS SHOWN IN FILENAME Z-06-13, REZONING SUCH PROPERTY FROM AGRICULTURAL (AG) TO PLANNED AREA DEVELOPMENT (PAD).

WHEREAS, on October 1, 2007, the Council of the City of Avondale (the "City Council") passed and adopted Ordinance No. 1269-1007 (the "Original Ordinance"), approving the amendment of the City of Avondale Zoning Atlas (the "Zoning Atlas") relating to rezoning approximately 160 acres of real property at the southwest corner of Indian School and 99th Avenue from Agricultural (AG) to Planned Area Development (PAD) (the "Rezoned Property"); and

WHEREAS, the legal description included in the Original Ordinance was incomplete and did not accurately reflect the entire Rezoned Property; and

WHEREAS, the City Council desires to correct the legal description error in the Original Ordinance by including the proper legal description.

NOW, THEREFORE, BE IT ORDAINED BY THE COUNCIL OF THE CITY OF AVONDALE as follows:

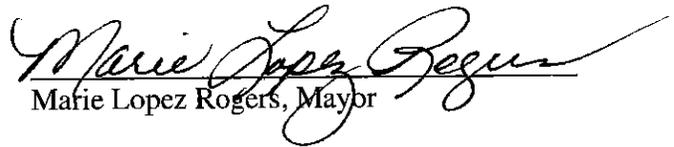
SECTION 1. That the legal description included as Exhibit A in Ordinance No. 1269-1007 is hereby deleted in its entirety and replaced with the following:

"The Northeast Quarter of Section 29, Township Two North, Range One East, Gila and Salt River Base and Meridian, Maricopa County, Arizona."

SECTION 2. That the Mayor, the City Manager, the City Clerk and the City Attorney are hereby authorized and directed to execute all documents and take all steps necessary to carry out the purpose and intent of this Ordinance.

SECTION 3. If any provision of this Ordinance is for any reason held by any court of competent jurisdiction to be unenforceable, such provision or portion hereof shall be deemed separate, distinct and independent of all other provisions and such holding shall not affect the validity of the remaining portions of this Ordinance.

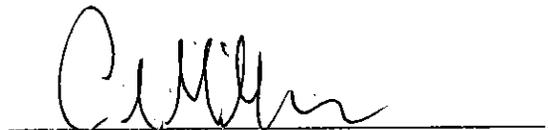
PASSED AND ADOPTED by the Council of the City of Avondale, December 17, 2007.


Marie Lopez Rogers, Mayor

ATTEST:


Linda M. Farris, City Clerk

APPROVED:


Andrew J. McGuire, City Attorney

JULY 2007

Entorno

PLANNED AREA DEVELOPMENT

SWC 99TH AVENUE AND INDIAN SCHOOL ROAD
AVONDALE, ARIZONA



*This document provides many graphical representations of a wide range of topics such as amenities, land uses, park components, trails, housing products. All figures, plans and graphics are only conceptual, solely intended to convey concepts and opportunities. These graphics may be further refined or amended as the project continues through the development process, and are not to be regulatory, nor indicative of final design elements.



Entorno
PLANNED AREA DEVELOPMENT



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Appendix

1. Entorno Drainage Memo

Project Team

Owners:

99th & Indian School LLC

c/o Millennium Properties & Development Inc.
2355 East Camelback Road, Suite 610
Phoenix, AZ 85016

Developer:

Millennium Properties & Development Inc.

2355 East Camelback Road, Suite 610
Phoenix, AZ 85016
(602) 522-2205

Site Plan Architect:

Archicon, L.C.

Mr. Vince Dalke
4041 North Central Avenue, Suite C-100
Phoenix, AZ 85012
(602) 222-4266

Legal:

Rose Law Group, P.C.

Ms. Carolyn K. Oberholtzer
6613 North Scottsdale Road, Suite 200
Scottsdale, AZ 85250
(480) 505-3934

**Planning and
Engineering:**

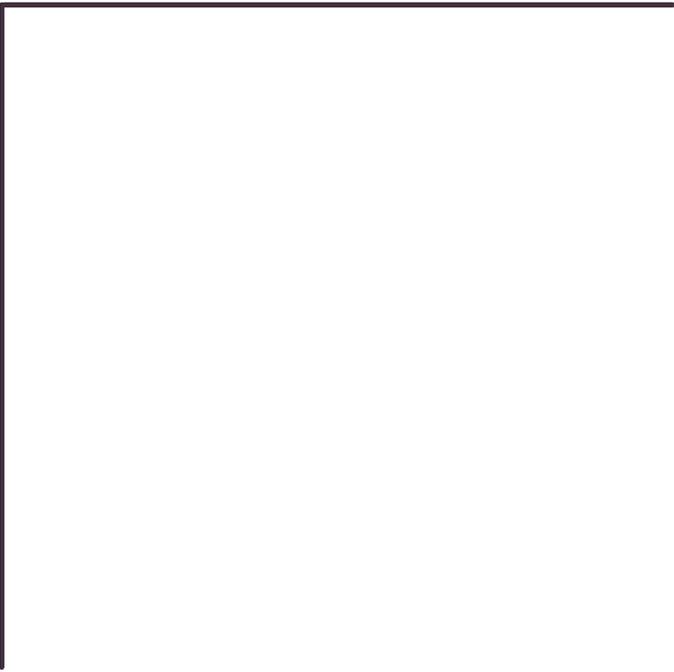
CMX, L.L.C.

Mr. Robert Pikora
7740 North 16th Street, Suite 100
Phoenix, AZ 85020
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Section 1.0 - Introduction



Figure 1 - Architectural Vision

Section 1.0 - Introduction

The Spanish translation for the word Entorno is “social environment”. The adaptation of this word to the project name is fitting because Entorno is designed as a true mixed-use development with a strong sense of community identity and endless opportunities for interaction.

Entorno is a 163-acre lifestyle center conveniently located at the southwest corner of 99th Avenue and Indian School Road (**Figure 1, Architectural Vision**). As the only corner at this intersection within Avondale’s incorporated boundaries, Entorno (the Project) will serve as the City’s northeastern gateway. The Project uniquely combines employment, retail, hotel/resort and residential uses to provide a destination attracting visitors from throughout the Valley.

The development of Entorno will implement the vision of Millennium Properties and Development Inc.; an accomplished development company with substantial investment and commitment in the West Valley. Development of this project will help shape the face of this burgeoning area and showcase Avondale’s presence at this prime arterial corner, achieve greater land use productivity, and provide enhanced creativity and innovative design through city guidance.

This narrative has been prepared to assist Avondale in the implementation of a comprehensive master plan, consistent with all regulatory standards and in accordance with the Avondale General Plan, the North Avondale Specific Plan and the Avondale Zoning Ordinance. The Entorno PAD narrative provides a detailed description of proposed commercial, commerce park, urban mixed-use and residential uses, design character and themes, and infrastructure requirements. A Conceptual Project Layout (**Figure 2**) is included for illustrative purposes only. Certain design and development standards have been incorporated to assist in creating a new lifestyle center uniquely representative of the City of Avondale’s vision.

The primary goals of Entorno are to create a new destination point for Avondale attracting employment, urban mixed uses, entertainment and residential opportunities unique to this area. The purpose and intent of this document is to:

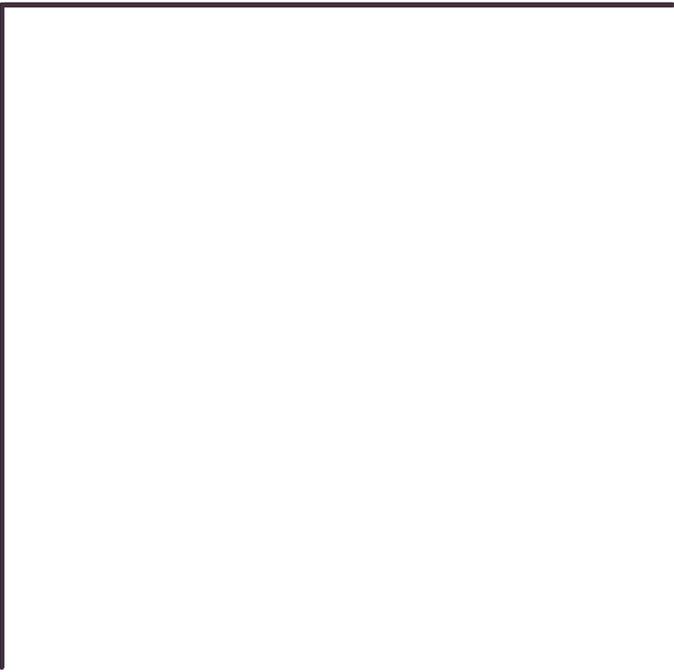
- Promote quality development consistent with the goals and policies of Avondale's General Plan and the North Avondale Specific Plan;
- Develop an economically feasible plan, responsible and capable of being implemented, based on existing and future economic conditions;
- Provide for comprehensive planning assuring methodical development sensitive to the existing and future neighborhoods;
- Establish development standards allowing for a varying array of commercial, commerce park, live-work mixed uses and residential options;
- Ensure appropriate phasing and financing for Entorno's facilities, circulation, utilities, domestic water, drainage, wastewater collection and conveyance;
- Maintain a compatible development and infrastructure relationship with the City of Phoenix which shares a common boundary on the north and east.

The planning and design, as described in this PAD narrative, reflects a commitment to creating a vibrant gateway and lifestyle center for Avondale.



Figure 2 - Conceptual Project Layout

Legend	
	Conceptual Pocket Park
	Conceptual Neighborhood Park
	Pedestrian Path
	RID Canal - Pedestrian Trail
	Potential Water Feature



Section 2.0 - Existing Conditions

Section 2.0 - Existing Conditions

2.1 Location

The Entorno Project consists of approximately 163 acres, located at the southwest corner of 99th Avenue and Indian School Road as shown on the Regional Vicinity Map (**Figure 3, Regional Vicinity Map**). This property serves as the northeast gateway of the City of Avondale, with the City of Phoenix contiguous to the north and east. In addition to major arterial access via 99th Avenue and Indian School Road, the Loop 101 Agua Fria Freeway is located just one-half mile east of Entorno. This freeway provides easy access to Interstate-10 two miles south, downtown Avondale and Phoenix International Raceway. Other nearby regional amenities includes the new University of Phoenix Stadium, Jobing.Com Arena and the Glendale Municipal Airport.

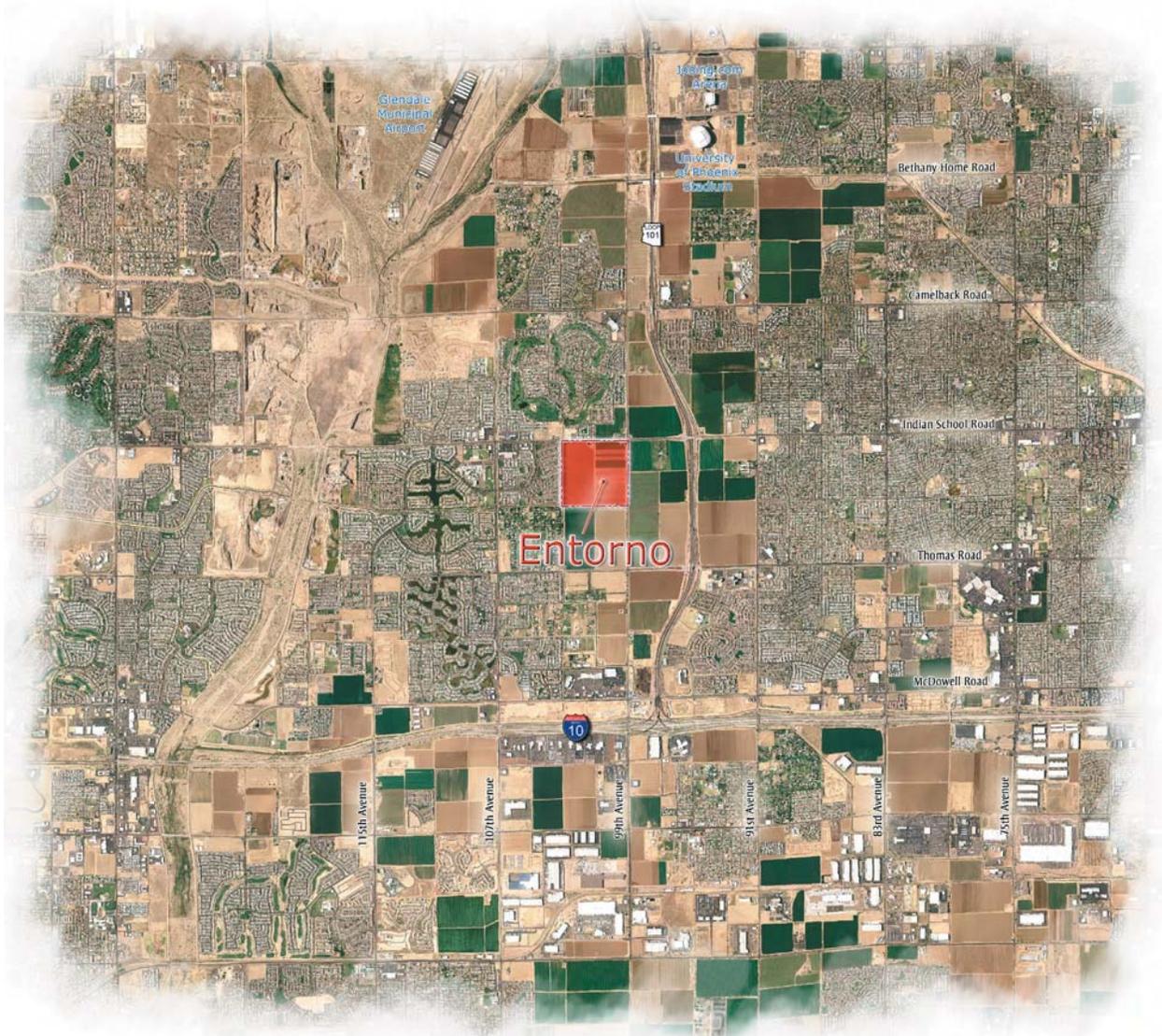


Figure 3 - Regional Vicinity Map

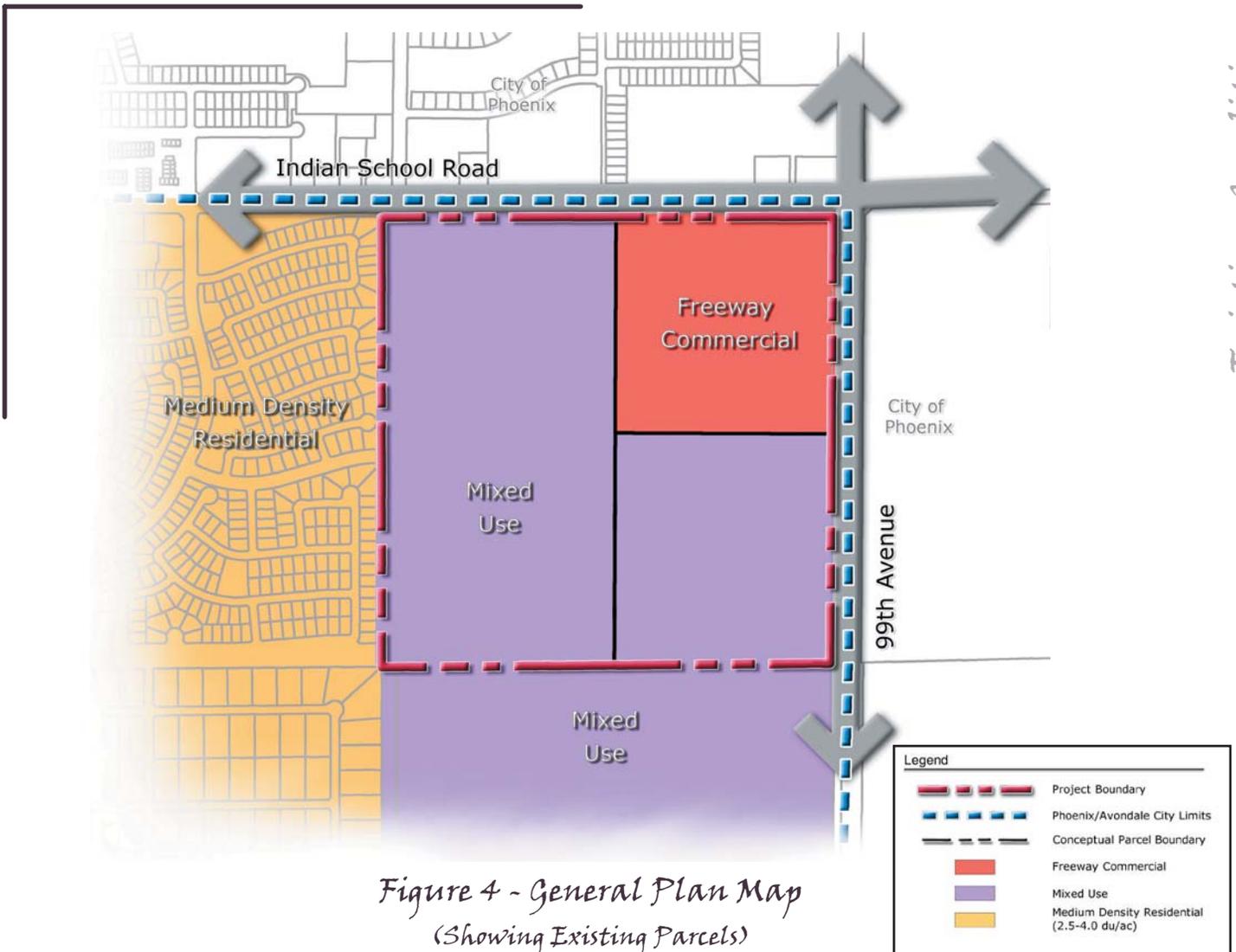


Figure 4 - General Plan Map
(Showing Existing Parcels)

2.2 Existing Avondale General Plan Designation

The goals and objectives of the Avondale General Plan identify the importance of planning land uses to minimize conflicts between them and encourage a mix of land uses to promote the development of unique areas within the City. Entorno seeks to exceed these goals and objectives by not only minimizing potential conflicts between uses, but integrating the uses themselves. Entorno provides opportunity for a mix of street level office and retail uses with residential units above. These parcels provide transitions from the commercial uses near the corner of 99th Avenue and Indian School Road to the residential uses of Entorno and the Westwind subdivision. Using the General Plan designations as a guide, Entorno achieves the stated goals by proposing a true mixed-use development weaving parcels together via the enhanced architectural themes, character treatments, integrated site planning, and landscaping demonstrated in this application.

The Avondale General Plan currently designates the land uses for Entorno as Mixed-Use and Freeway Commercial (**Figure 4, General Plan Map Showing Existing Parcels**). The Freeway Commercial designation is applicable to the northeast forty (40) acres and promotes substantial commercial development by encouraging community commercial, regional employment, hotel, and office uses. The Mixed-Use designation applies to the remainder of the site (i.e., approximately 120 acres) and provides for retail, commerce and office uses as well as residential uses of varying densities. Further, the proposed parcel boundaries of Entorno were overlaid on the General Plan Map to depict how the site plan layout conforms to the General Plan Land Use categories (**Figure 5, General Plan Map Showing Proposed Parcels**).

According to the Avondale General Plan, Entorno successfully meets the goals and objectives for the following General Plan Elements: Land Use, Economic Development, Housing, Open Space, Circulation, and Bicycling. The following illustrates how Entorno shall meet and exceed key objectives of these elements.

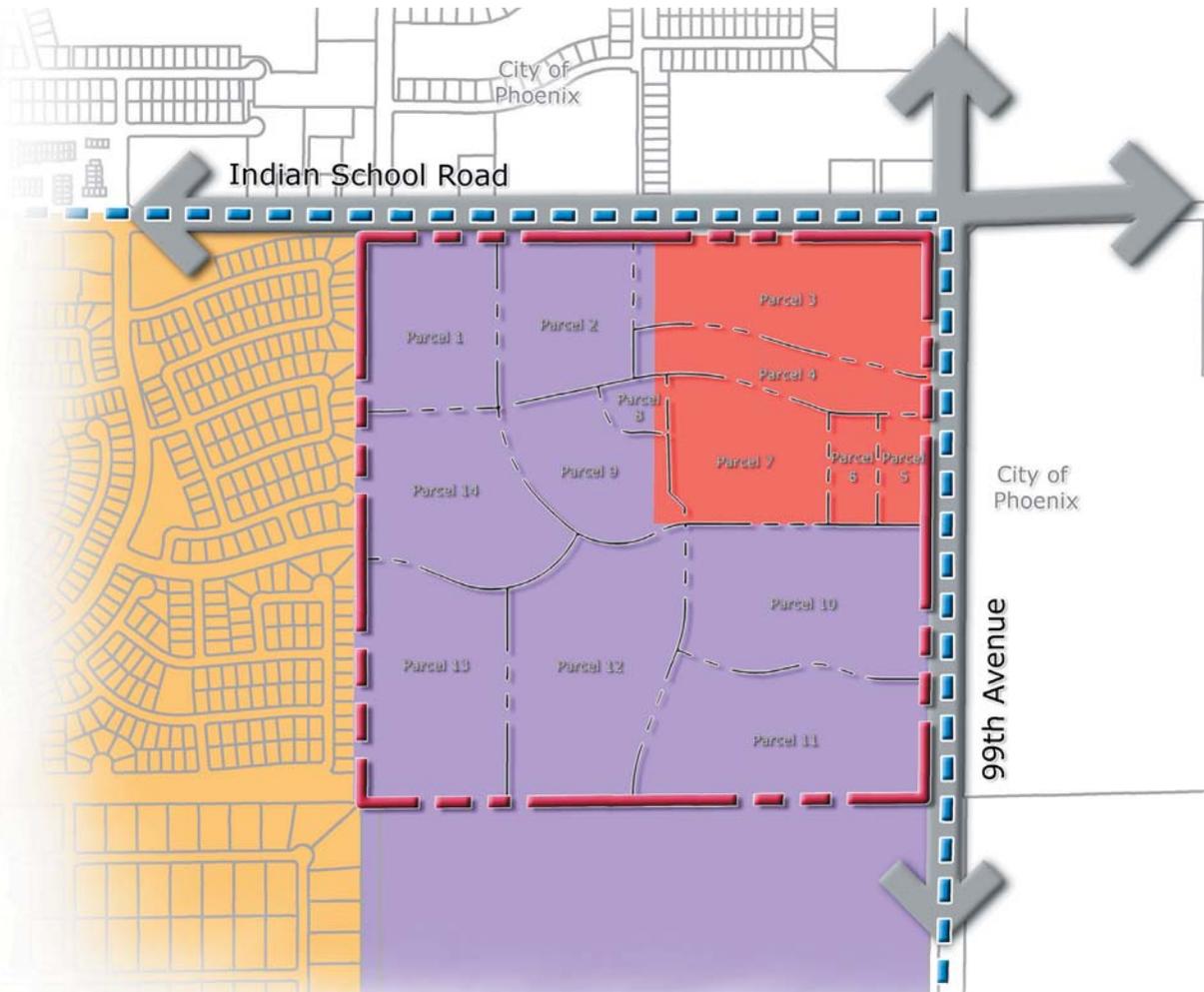


Figure 5 - General Plan Map (Showing Proposed Parcels)

Existing Conditions

Legend	
	Project Boundary
	Phoenix/Avondale City Limits
	Conceptual Parcel Boundary
	Freeway Commercial
	Mixed Use
	Medium Density Residential (2.5-4.0 du/ac)

Consistency with Avondale General Plan	
Land Use Element	
<p>Goal 1:</p> <p>Maintain a demographically and culturally diverse sustainable community that celebrates its heritage.</p>	<p>Entorno: <input checked="" type="checkbox"/> Exceeds this goal</p> <ul style="list-style-type: none"> Entorno has been designed to enhance the diversity of Avondale by providing housing options for families and individuals in every stage of life. Students, newlyweds, established families and empty-nesters can all find what they are looking for at Entorno with convenient employment and commercial opportunities making it a practical, sustainable live-work community. Entorno succeeds at providing this diversity while maintaining a character and flair that is truly 'southwestern'. This is achieved by incorporating southwestern earth tones and architectural elements into a Southwestern Desert Contemporary Style.
<p>Goal 1, Objective C:</p> <p>Encourage a mix of land uses within large-scale residential communities (e.g., single family, multi-family, office, and commercial).</p>	<p>Entorno: <input checked="" type="checkbox"/> Exceeds this goal</p> <ul style="list-style-type: none"> Entorno exceeds this goal by incorporating a wide variety of residential, commercial and employment uses within a large-scale mixed-use development.
<p>Goal 3:</p> <p>Plan Land Uses to minimize conflicts between them.</p>	<p>Entorno: <input checked="" type="checkbox"/> Exceeds this goal</p> <ul style="list-style-type: none"> Entorno exceeds this goal by providing numerous transitions of uses and intensities specifically intended to minimize conflicts. Conflicts with the existing Westwind Subdivision to the west have been mitigated by providing an open space buffer and limiting to single-story, those homes that back to the Westwind Subdivision. 99th Avenue is expected to develop with intense commercial and employment uses that are not compatible with the low-density single-family residential development at Westwind. Entorno offers a gradual transition of uses and densities to effectively eliminate conflicts between uses.
<p>Goal 4:</p> <p>Encourage development patterns that use land in an efficient and sustainable manner</p>	<p>Entorno: <input checked="" type="checkbox"/> Exceeds this goal</p> <ul style="list-style-type: none"> Entorno exceeds this goal with its wide range of densities and land uses that create a diverse, self-sustaining community. The site is laid out in a very deliberate manner to efficiently manage the variety of land uses which are held together by cohesive design elements, integrated trails and open space amenities, and progression of intensities throughout.

Economic Development Theme, Economic Element	
<p>Goal 1, Objective A:</p> <p>Reserve adequate land to accommodate commercial and future light industrial development to meet a job-to-population ratio of one job for every two residents.</p>	<p>Entorno: <input checked="" type="checkbox"/> Exceeds this goal</p> <ul style="list-style-type: none"> Entorno is designed to exceed this goal by providing over 31 acres for an office park and a commerce park (Parcels 10 and 11). Nearly 60 acres have been designated for commercial uses that provide regional and neighborhood retail and employment opportunities (Parcels 1-5, 8 and 9). In conjunction with the 60 acres of commercial uses, the mixed-use portion of Entorno will provide an additional 16 acres of retail and employment uses with residential uses above (Parcels 6 and 7). The total employment area comprises more than half the project area allowing for a variety of business options that help meet the City's job-to-population ratio goals. As the gateway to Avondale, the proposed combination of employment and residential land uses is consistent with the General Plan's designation of medium intensity development. Industrial land uses would not provide an appropriate transition from the City's gateway to the adjacent residential neighborhoods and is not proposed within Entorno.
<p>Goal 1, Objective C:</p> <p>Encourage the development of commercial service areas that have unique planning and design features that meet community needs and are compatible with adjacent land uses.</p>	<p>Entorno: <input checked="" type="checkbox"/> Exceeds this goal</p> <ul style="list-style-type: none"> Architectural and design continuity will remain consistent throughout Entorno, incorporating a "southwest desert contemporary" theme within the architecture, monumentation, and landscaping elements. The close proximity to shopping and employment land uses is intended to offer residents a unique live/work experience. The theme promotes a casual environment where residents and their guests can enjoy both passive and active amenities throughout the project. The proposed development standards to ensure its compatibility with the Westwind subdivision to the west.
Neighborhoods Themes, Housing Element	
<p>Goal 2, Objective B:</p> <p>Encourage the dispersion of housing types and values throughout the City.</p> <p>Policy 1): Encourage multi-family development at appropriate locations along major arterial streets, adjacent to employment uses and transit lines.</p>	<p>Entorno: <input checked="" type="checkbox"/> Exceeds this goal</p> <ul style="list-style-type: none"> Entorno's residential neighborhoods will accommodate a broad array of housing product variations ranging from 4.0 to 24.0 dwelling units per acre (du/ac). To provide a transition from the Westwind subdivision to the west, single-family detached homes are proposed with court homes, townhomes, condominiums, and apartments provide housing accommodations for the planned employment uses adjacent to 99th Avenue and Indian School Road. Urban mixed use, mid-rise condominiums near the center of Entorno will provide homes for families and individuals seeking loft-style housing options. The project will be serviced by existing transit along the two arterial streets. It is anticipated the internal major and minor collector street circulation will have the ability to utilize transit services.

Open Space Theme, Open Space Element	
<p>Goal 2, Objective A:</p> <p>Create a network of pathways, trails, and open spaces throughout the City as an important element of recreation, transportation, and quality of life enhancement for Avondale residents.</p>	<p>Entorno: <input checked="" type="checkbox"/> Exceeds this goal</p> <ul style="list-style-type: none"> Entorno will have a comprehensive network of pedestrian paths, trails, and open spaces which allow residents access throughout the development. Connections for the continuation of the current and future municipal trail system will also be created. A pedestrian trail along the western boundary from Indian School Road to the southern boundary at the Osborn Road alignment will act as a buffer to the Westwind subdivision to the west. Residential and commercial open space amenities will be accessible from all parts of the project site.
Civic Infrastructure Theme, Circulation Element	
<p>Goal 5, Objective A, Policy 1:</p> <p>Provide an interconnected street and pathway network that is accessible and friendly to all modes of travel.</p>	<p>Entorno: <input checked="" type="checkbox"/> Exceeds this goal</p> <ul style="list-style-type: none"> Entorno’s roadway infrastructure will integrate with the existing arterial roadways of 99th Avenue and Indian School Road. A major collector street circulating through the Project will serve as the central road through Entorno. Additional minor collector streets connecting with private accessways and private drives will serve the remainder of the Project. Bicyclists will be able to share the collector and arterial roads with vehicles - bike lanes will be constructed along the outer edge of the pavement areas. Pedestrians will have access to the entire community of Entorno through a network of sidewalks and pedestrian paths connecting various parcels and land uses.
<p>Goal 8, Objective A:</p> <p>Encourage pedestrian movement throughout the City by providing a convenient and safe pedestrian system within and between activity centers and adjacent neighborhoods.</p> <p>Policy 1) Use bike trails, pedestrian trails, and sidewalks as connections between existing and planned parks, schools, residential areas, and other destinations.</p> <p>Policy 2) Sidewalks and bike lanes, in conformance with current AASHTO standards, will be included in all new developments.</p>	<p>Entorno: <input checked="" type="checkbox"/> Exceeds this goal</p> <ul style="list-style-type: none"> Entorno will have a network of bike lanes, pedestrian trails and sidewalks that physically connect the Project site. Planned connections between parks and open spaces, and mixed use and commercial areas will provide a high degree of accessibility throughout the community. All bike lanes, pedestrian trails and sidewalks will be designed to meet current AASHTO standards.

2.3 North Avondale Specific Plan

Entorno is also located within the North Avondale Specific Plan (NASP). Several goals and objectives of the North Avondale Specific Plan focus on enhancing the image of North Avondale, promoting balanced development, and planning for adequate public facilities and services. Entorno expects to meet or exceed these goals and objectives by providing a mixed use development with a variety of uses cohesively planned to complement adjacent uses, both existing and future. In addition, the Project provides a true gateway feature for North Avondale by establishing a significant presence on this key arterial corner.

A. Consistency with the North Avondale Specific Plan:

The list below exemplifies how Entorno meets and in many cases, exceeds NASP expectations.

Consistency with North Avondale Specific Plan	
Goal A: Enhance North Avondale Image	
<p>Objective:</p> <p>Encourage attractive, well-planned residential subdivisions.</p> <ul style="list-style-type: none"> • Adopt flexible, "development option" alternatives for planned residential areas. • Provide for master developer allocation of open space or contribution to recreation programs. • Emphasize neighborhood: continuity among subdivisions. 	<p>Entorno: <input checked="" type="checkbox"/> Exceeds this goal</p> <ul style="list-style-type: none"> • Entorno exceeds this goal with its cohesive design, variety of housing options, integration and transition of uses and its self-sustainability. • Residential development flexibility is provided by ensuring a variety of housing options are available. Such options include detached single family homes, attached single family homes, z-lots, auto and green-court homes, townhomes, and urban lofts. • The residential design guidelines encourage four-sided architecture, varying rooflines, articulating wall planes, and southwest earth tone color palettes. • To emphasize continuity with adjacent subdivisions and within the overall project, the architectural character will remain consistent – featuring a "southwest desert contemporary" theme. • The "social environment" theme is reflected in the open space amenities provided throughout the development. The parks, trails and open space areas have been designed to provide recreational opportunities for residents of all ages. • The "social environment" theme continues into the urban mixed use and commercial areas with the encouragement for sidewalk cafes, more pedestrian trails, and specialty retail shops. • The office/retail and commerce park developments share design elements similar to the residential theme of four-sided architecture, durable materials, and southwest earth tone color palettes.

<p>Objective:</p> <p>Suggest distinctive themes for landscaping, entry treatments, residential/ retail perimeters.</p> <ul style="list-style-type: none"> • Define acceptable landscaping materials and groupings. • Encourage theme features to identify neighborhoods and North Avondale. • Buffer non-residential uses with attractive, useable open space features. 	<p>Entorno: <input checked="" type="checkbox"/> Exceeds this goal</p> <ul style="list-style-type: none"> • Landscaping, entry treatments, residential and retail perimeters shall continue the "Southwest desert contemporary" theme. • Specifically, the landscape palette has been designed to blend the sites agricultural heritage into the native desert through the use of two distinct, yet complimentary plant palettes. The use of drought-resistant plant materials for passive recreation areas, trails/pathway corridors and visual focal points will be directly from the Arizona Department of Water Resources low-water use plant list. Activity areas will receive an enhanced landscape palette, which allows additional shade opportunities, creating an ambiance more conducive to social gathering areas. • Neighborhood entry monuments blended with landscaping borrow from the overall architectural character to create continuity between neighborhoods. • Landscaping theme will have uniform groupings of groundcover, shrubs and trees in open space tracts and landscaped areas. • Residential areas will be connected via pedestrian trails and sidewalks to other amenities and commercial areas. • Residential areas will be buffered from the retail commercial and commerce park uses by landscaping treatments and open spaces. • Residential architecture and neighborhood entry monuments follow "southwest desert contemporary" architecture.
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Goal B: Promote Balanced Development

<p>Objective:</p> <p>Reduce visual blight and emphasize attractive views of mountains or highly-visible recreation/open space amenities. - Encourage planned, open vistas.</p> <ul style="list-style-type: none"> • Define acceptable landscaping materials and groupings. • Encourage theme features to identify neighborhoods and North Avondale. • Buffer non-residential uses with attractive, useable open space features. 	<p>Entorno: <input checked="" type="checkbox"/> Exceeds this goal</p> <ul style="list-style-type: none"> • The landscape palette is designed with two distinct, yet complimentary plant palettes which define acceptable plant materials and groups suitable to the location and intended use of space. For example, activity areas such as parks will receive an enhanced landscape palette, which allows additional shade opportunities. Drought-resistant plant materials will be utilized within the balance of the site. • The landscape theme and signage at the corner of 99th Avenue and Indian School Road acts as a focal point, creating a unique identify for the Project as well as welcoming residents and visitors into Avondale. • Residential areas will be connected via pedestrian trails and sidewalks to other amenities and commercial areas. • Residential areas will be buffered from the retail commercial and commerce park uses by landscaping treatments and open spaces. • Entorno’s neighborhood park and commercial open space features will be the highlight of their respective areas. The neighborhood park will feature amenities inviting to residents from within Entorno, while the commercial open space and potential water feature will make for a pleasant amenity for those who work or shop at Entorno. Both features will be centrally located and connected via pedestrian pathways.
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<p>Objective:</p> <p>Attend to housing value needs, including rental opportunities, with insistence on quality construction and maintenance. - Encourage multi-family developments that are highly compatible in blending with adjacent single-family developments.</p>	<p>Entorno: <input checked="" type="checkbox"/> Exceeds this goal</p> <ul style="list-style-type: none"> Entorno shall have multi-family developments as a transition from the commercial and commerce park uses to the single family detached product intended to be adjacent to the Westwind subdivision to the west. With the potential different product variations that can be accommodated as part of the transition, high quality construction is anticipated to maintain the overall site theme of southwest desert contemporary architecture.
<p>Objective:</p> <p>Provide sites for retail and employment uses commensurate with the area's build out population projections. - Preserve Avondale economic development and revenue opportunities in competition with adjacent communities.</p>	<p>Entorno: <input checked="" type="checkbox"/> Exceeds this goal</p> <ul style="list-style-type: none"> Entorno shall provide a variety of business options, retail and office, and commerce park uses on approximately 107 acres adjacent to 99th Avenue and Indian School Road. At this time, Entorno is the largest planned mixed use development at this intersection. The Algodón Center is planned east and south of Entorno. Currently, no plans have been filed for this commercial development with either Phoenix or Avondale. Thus as Entorno develops, Avondale should enjoy an "economic" foothold at this intersection when compared with Phoenix commercial uses on the north and east sides of the intersection of 99th Avenue and Indian School Road.
<p>Goal C: Plan Adequate Public Facilities and Services</p>	
<p>Objective:</p> <p>Establish standards for connecting planned residential developments into City-wide water, sewer, circulation, drainage, open space and other systems. Reserve space for parks, pathways, and provide developer incentives to install necessary improvements. Provide for homeowner association maintenance of the facilities within planned developments.</p>	<p>Entorno: <input checked="" type="checkbox"/> Exceeds this goal</p> <ul style="list-style-type: none"> Entorno's water and wastewater system has been designed in accordance with the City of Avondale's Engineering Design Standards. Drainage for the project will provide on-site storage for runoff from a 100-year, 2-hour storm event per City of Avondale's Engineering Design Standards. The street circulation and proposed cross-sections comply with the City of Avondale's Transportation Plan dated October 2006, except private driveways as approved by the City Engineer. Entorno meets, and in many instances exceeds the level and type of open space and neighborhood amenities required of projects this size. By providing exceptional amenities and open space areas, Entorno has been designed to attract employers, business owners and residents seeking a unique environment. Various property owners' associations are planned for Entorno to care for and maintain all community open space, amenities, landscape tracts and right-of-way landscaping within the residential development. A master property owners' association will be established in commercial areas to ensure that their respective parcels are cared, maintained and litter-free.

B. Consistency with the Land Use Element:

The NASP encourages flexible approaches that enable marketing of a variety of housing types, and neighborhood commercial uses within a single master planned community like Entorno. Specifically, the NASP identifies that “reasonable residential densities may be achieved through clustering homes into efficient unit groupings with ample open space, parking and access to community shopping and recreation.” Entorno is a thoughtfully planned community providing a broad range of residential development options, a broad range of open space and neighborhood amenities, and character continuity amongst its various neighborhoods. (Residential Open Space and Amenities are discussed in further detail within Section 3.2) This will ensure that Entorno is a desirable, high-quality, family living environment.

The Avondale General Plan identifies the area within the North Avondale Specific Plan area as a medium intensity growth area. This is due to its proximity to the Loop 101 Freeway Corridor, establishment of the Estrella Mountain Community College, and convenient transportation access to the I-10 Freeway. For these reasons, the NASP identified this area as “ripe for development as a transition from predominantly rural uses to a thriving urban area”.

Another goal cited within the NASP is that the “City seeks creativity and innovative design rather than rigid controls.” Accordingly, the proposed densities provide the necessary flexibility to provide appropriate residential product that is compatible with the surrounding existing communities as well as densities specified within the NASP. Residential Area I and II are envisioned to provide a transition from the Low Density Residential (LDR) of the surrounding areas to more Moderate Density Residential (MDR) as envisioned for the area.

Within the NASP land use element, housing density associated within the LDR land use category is consistent with 4.0 -7.0 dwelling units per acre, while a target density range of 8.0 -14.0 dwelling units is anticipated within the MDR land use category. Entorno is proposed with a density range of 4.0 - 14.0 within Residential Areas I and II, allowing a variety of housing types in keeping with the area’s moderate growth character. The NASP specifically indicates the northern tier of the planning area is anticipated to average eight to nine homes per acre, which is in keeping with the expected densities in the Residential I and II areas within Entorno. To ensure compatibility with neighboring communities, limitations on housing product building height are proposed, resulting in a density gradation that is sensitive to the surrounding development (see Residential Development Standards in Section 3.4 for additional information).

As a transition from the moderate density residential areas of Residential I and II to the commercial gateway corner at 99th Avenue and Indian School Road, Entorno proposes a higher density residential within Residential Area III. The typical Higher Density Residential (HDR) within the NASP identifies base densities of 15.0 to 24.0 housing units per acre. Within Residential Area III, the proposed density range matches the allowed base density identified within the NASP.

Although not specifically contemplated within the NASP, mixed-use development as proposed within Entorno offers residents the unique opportunity to live, work and play within a highly amenitized environment. Due to the limited amount of mixed-use area proposed, Entorno provides urban loft opportunities at the typical market density of 20.0 – 60.0 dwelling units per acre, and commercial areas consisting of boutiques and cafes at street and pedestrian levels. Accordingly, approximately two-thirds of Entorno’s residents would reside within the mixed-use area, allowing for a greater amount of amenities and open space within the remaining portion of the Project.

Commercial land use classification within the NASP is “primarily utilized to designate retail and services business, including hospitality and food establishments.” Both the Regional and Neighborhood Commercial/Office and Office/Commerce Park districts, identified within Table 1, are intended to provide residents and the surrounding community a variety of prime retail, personal services, hospitality and food establishments and professions and general office opportunities. Permitted uses within these categories are further discussed in Section 3.4.B.

2.4 Avondale Land Use and Zoning

The property is currently zoned for Agriculture (AG) and has historically been utilized for agricultural production (**Figure 6, Existing Zoning**). Along the northern boundary, existing development includes a mix of high-density and commercial uses designated R-2 and R-4A Multifamily Residential and C-2 Commercial (in the City of Phoenix). While currently used for agriculture purposes, the properties to the east of Entorno have City of Phoenix zoning designations of C-2 Commercial on the immediate corner, and Suburban Ranch (S-1). The Phoenix General Plan Map indicates this area to be Mixed Use in the future. South of the Project, the property is zoned Community Commercial (C-2) and is also currently in agricultural use. The proposed John F. Long “Algodón Center”, a 1,000 acre master-planned business and commercial park, abuts the Entorno project to the south and east. The Westwind subdivision, adjacent to Entorno’s western boundary, is a fully developed master-planned community with an overall density of 4.07 dwelling units per acre (du/ac). By approving the Entorno application, the City will bring this property into conformance not only with the approved General Plan and North Avondale Specific Plan designations for the Property, but will provide a transition and balance of uses to compliment the adjacent developments both existing and proposed.

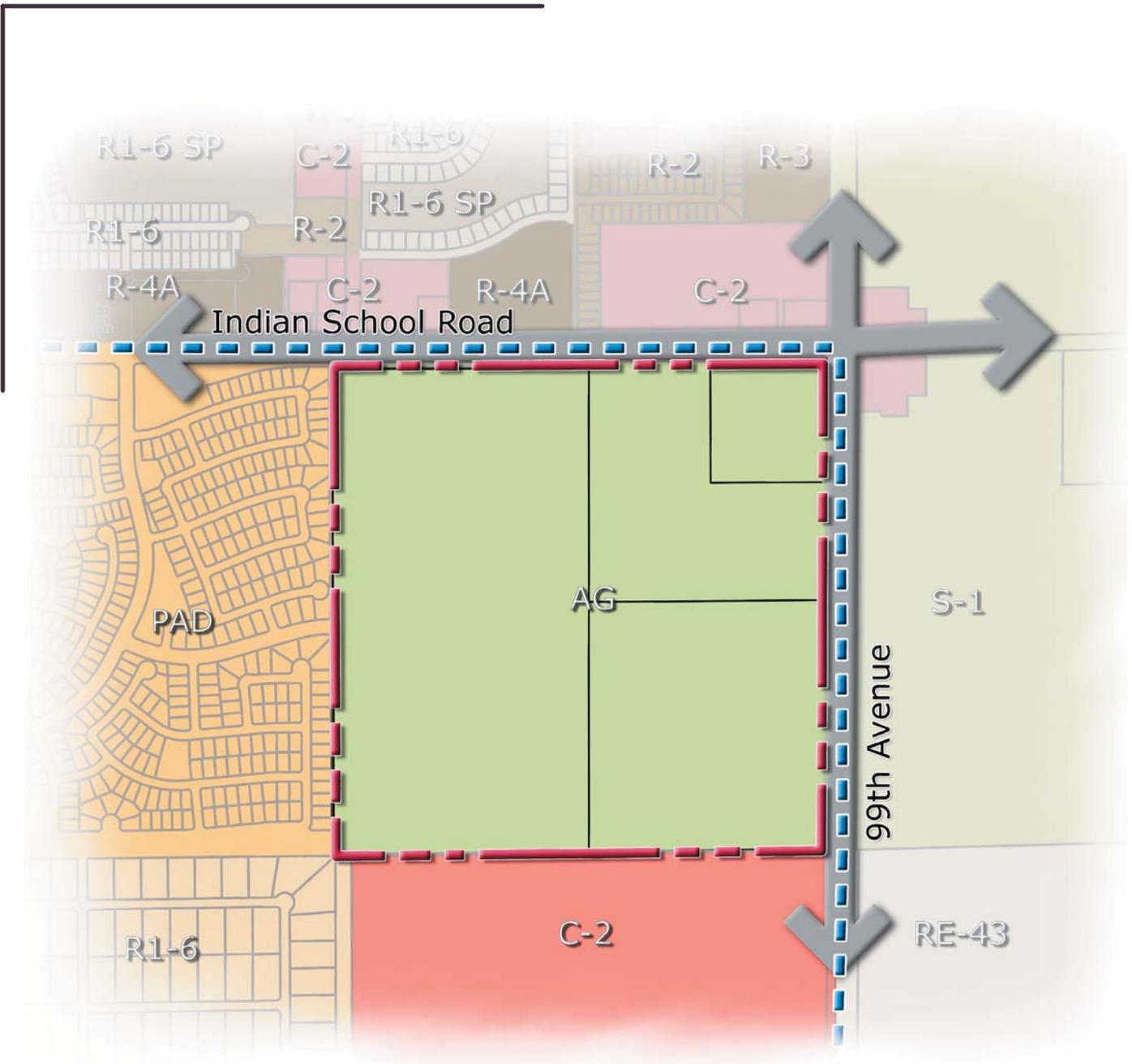
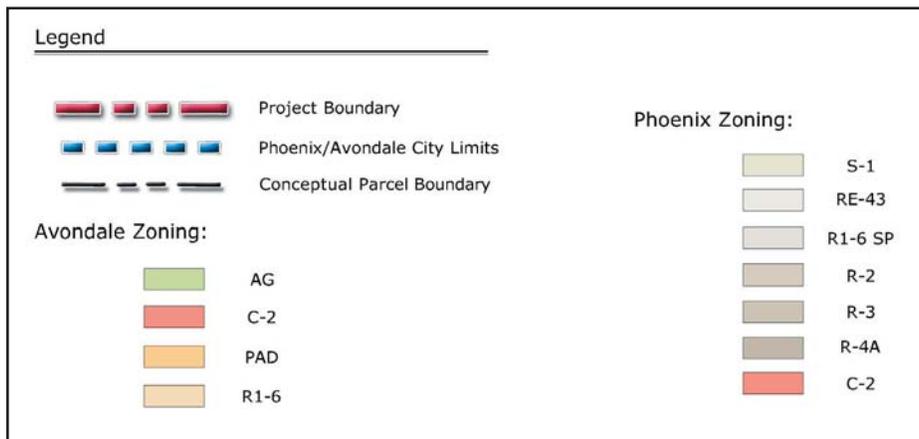
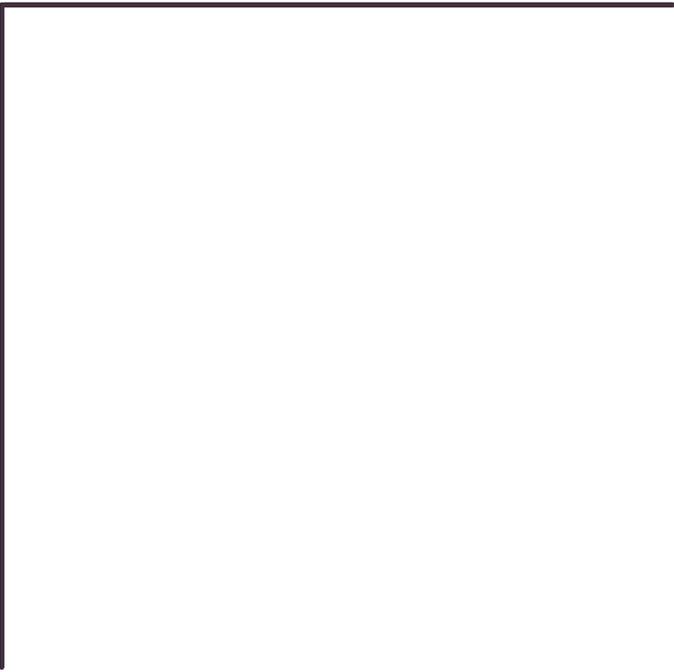


Figure 6 - Existing Zoning





Section 3.0 - Proposed Project

Section 3.0 - Proposed Project

Entorno is located at Avondale's northeast gateway, at the southwest corner of 99th Avenue and Indian School Road. The vision behind Entorno and its "social environment" is to celebrate the City's unique and vibrant heritage with an array of regional and neighborhood commercial retail and office uses, urban mixed uses and housing styles and densities to satisfy a broad range of people.

An increased demand for employment and commercial opportunities has been realized by the valley's growth in recent years. Entorno's retail commercial and office/commerce park development offers Avondale residents the proximity and convenience of local employment uses. New mixed uses and neighborhoods will attract future residents to the diverse employment opportunities.

To meet this demand and in advancing the goals and objectives of the City's General Plan and the North Avondale Specific Plan, the Project Team requests a zone change to Planned Area Development (PAD) zoning (**refer to Figure 7, Proposed Zoning**).

Entorno shall be unified by a common architectural and design theme for all its parcels, streetscape enhancements, walls and monumentation. The theme chosen is representative of the southwestern desert and shall incorporate contemporary styling cues. Specific earth-tone colors, materials, finishes and construction techniques will link the commercial and office areas with the new residential neighborhoods.

Neighborhoods will be designed to be visually appealing, utilizing landscaped streetscapes that will carry the southwestern desert color theming and materials, as well as the centrally located active and passive amenities, appropriately placed visible open spaces, pedestrian trails and pathways. Likewise, commercial areas will be sufficiently significant in scale and intensity to act as a focal point for the region, and a highly desirable asset to the City of Avondale. Together, the proposed land uses within Entorno embody a rich mix of environments: living, working and recreation, strengthening and building upon the values making this location special.

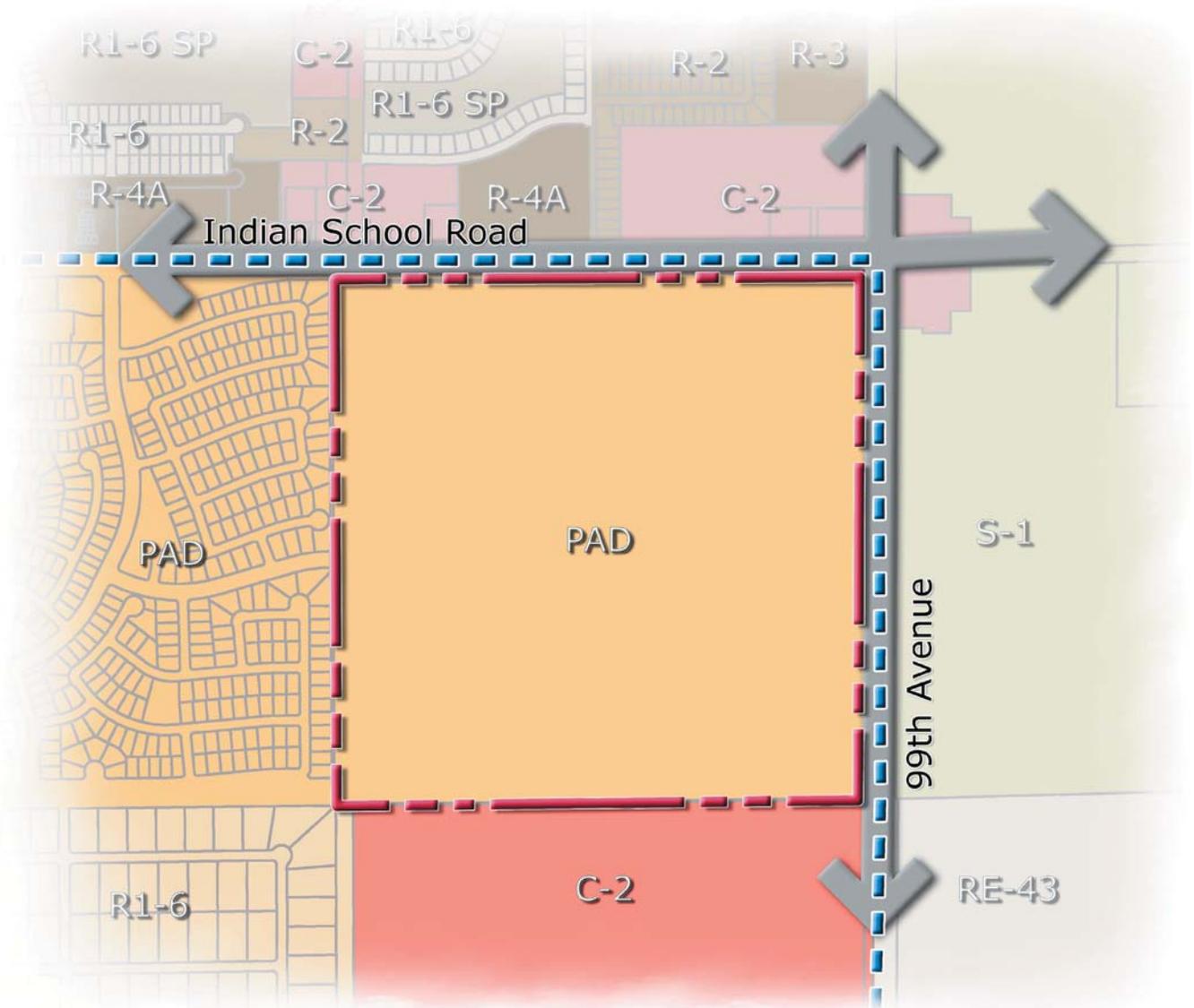
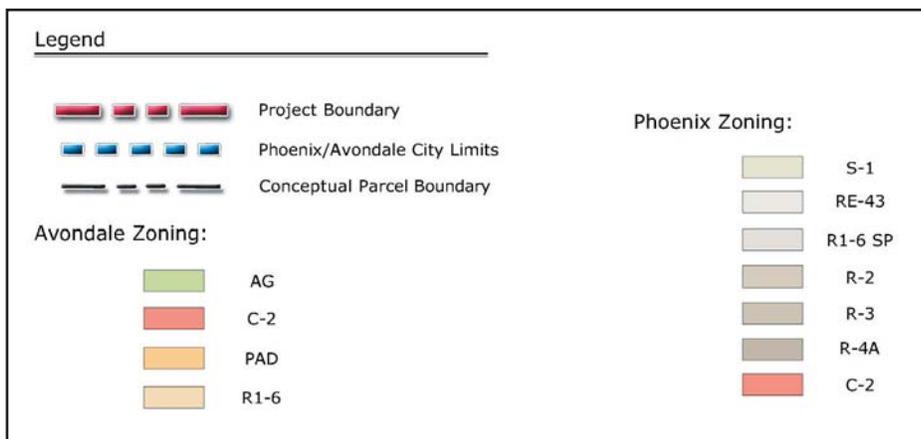


Figure 7 - Proposed Zoning



3.1 *Land Use Categories*

The land use categories of Residential, Regional and Neighborhood Commercial, Office/Commerce Park and Urban Mixed Use, proposed for Entorno comprise the overall land use plan and provide flexibility to accommodate a highly integrated mix of land uses (**Table 1 Land Use Summary and Figure 8 Land Use Plan**). This flexibility is necessary to create a highly amenitized development, which will meet the needs and desires of the City's diverse population.

A. Residential Component:

Entorno will be designed to provide a mixture of neighborhoods with a variety of lot sizes and housing types including but not limited to: single family detached and attached, green-court homes, cottages, auto-court clusters, duplexes, tri-plexes through five-plexes, townhomes and urban-style live-work lofts. To accomplish this variety, the proposed residential land use categories carry with them a range of densities. Establishing a density range allows for logical and appropriate land use transitions, while simultaneously assuring diversity of home types throughout the Project. Within the Mixed Use General Plan classification, the residential area is limited and cannot exceed 45% of the total area (i.e. approximately 54 of the 120 acres).

1. Residential Land Use Categories: The following residential land use categories are proposed for the Entorno Project as summarized in Table 1:

Residential I – Residential uses are proposed as a transition between adjoining existing residential neighborhoods ranging in densities of 4.0 to 7.0 du/ac, this land use category (proposed for Parcel 13) is primarily intended for single-family detached/attached neighborhoods such as Z-lots, zero lot line, alley-loaded, auto-court, green-court and townhomes.

Residential II – Where residential uses are proposed as a transition between adjoining Entorno residential neighborhoods and commercial, densities for single-family detached and attached neighborhoods may range in densities from 8.0 to 14.0 du/ac. This designation (proposed for Parcel 14) is also primarily intended for a wider range of housing products, such as attached single-family home types and detached/attached product types consisting of zero lot line, alley-loaded, auto-court, green-court, and townhomes.

Residential III – Ranging in densities of 15.0 to 24.0 du/ac, this land use category (proposed for Parcel 12) will also be varied. Diversity will be achieved through the introduction of a range of urban density products, including multifamily units consisting of attached alley-loaded, auto-court, green-court, duplexes, tri-plexes through five-plexes, condominiums and apartments.

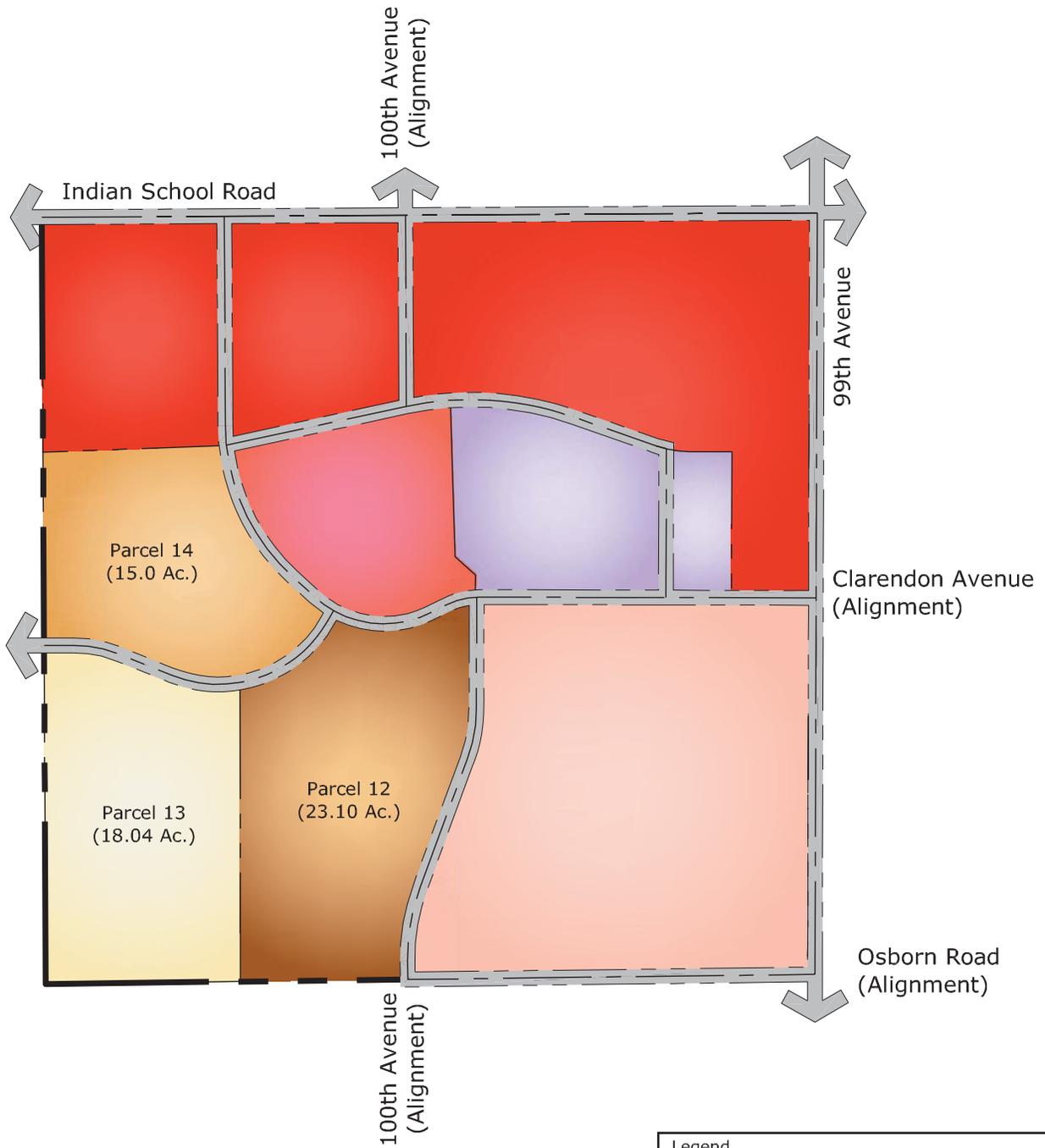


Figure 8 - Land Use Plan

Legend	
	Project Boundary
	Conceptual Parcel Boundary
	Residential I
	Residential II
	Residential III
	Regional Commercial/Office
	Neighborhood Commercial/Office
	Office/Commerce Park
	Urban Mixed Use

B. Commercial and Mixed-Use Component:

Various types of commercial uses are proposed to offer residents and guests a variety of goods and services.

1. Commercial and Mixed-Use Land Use Categories: The following commercial and mixed-use land use categories are proposed for the Entorno Project:

Regional Commercial/Office (Parcels 1-5) - The uses proposed in the Entorno project are based on the land use matrix found in Section 303 of City of Avondale Zoning Ordinance. The office component of this category works in conjunction with the Office/Commerce Park designation to provide much needed office space in Northeast Avondale. Hotel and Resort uses are also allowed as part of this designation to provide necessary lodging and conference accommodations with easy access to I-10 and the Loop 101.

Neighborhood Commercial/Office (Parcels 8-9) - The uses proposed in the Neighborhood Commercial/Office are also based on the land use matrix found in Section 303 of City of Avondale Zoning Ordinance. Located interior to the Project site, commercial and office uses here augment the regional uses found in Parcels 1 – 5, and offer a unique atmosphere adjacent to the central open space and potential water feature.

Office/Commerce Park (Parcels 10-11) - These types of uses are employment generators with a high degree of visibility and desirable work spaces. Uses here typically include offices, research, wholesaling and warehousing in a business park setting. Development standards enable these uses to co-exist with nearby residential or commercial uses. Business operations will be generally conducted indoors.

Urban Mixed-Use Component (Parcels 6-7) - Providing residential densities up to 60.0 du/ac and street-level commercial and office uses. Urban Mixed-Use areas will be centrally located within Entorno and provide a dynamic “live, work and play” experience. These parcels will be primarily reserved for urban density residential-over-retail such as lofts, condominiums and apartments.

Table 1. Land Use Summary					
Land Use Category	Gross Acreage	Net Acreage	Proposed Density⁽¹⁾ (du/ac)	Maximum # of Units⁽¹⁾ (Gross)	Maximum # of Units⁽¹⁾ (Net)
Residential (Parcels 12, 13 and 14)					
Residential I (Parcel 13)	18.04	14.55	4.0 - 7.0	126	-
Residential II (Parcel 14)	15.00	11.08	8.0 - 14.0	210	-
Residential III (Parcel 12)	23.10	15.90	15.0 - 24.0	-	381
Residential Sub-Total	56.14	41.53	-	336	381
Regional Commercial/Office (Parcels 1 - 5)	59.29	45.03	-	-	-
Neighborhood Commercial/Office (Parcels 8 - 9)					
Office/Commerce Park (Parcels 10 - 11)	31.49	30.87	-	-	-
Urban Mixed Use (Parcels 6 - 7)	16.15	10.02	20.0 - 60.0	-	601
Total	163.07	127.45		336	982
Note:					
1. The ratio of dwelling units per acre. In Residential I and II, the density and maximum number of units shall be based on gross site area of land to be developed, including land dedications at no cost for proposed streets, alleys, or other right-of-ways, but excluding lands dedicated prior to development. In Residential III, density and maximum number of units shall be based on net site area. Net site area is the remaining ground area of the gross site area after deleting all portions for proposed perimeter right-of-ways and alleys.					

C. Consistency with the General Plan and North Avondale Specific Plan:

Entorno has been designed to meet or exceed the land use goals and objectives of the Avondale General Plan and the North Avondale Specific Plan, which is discussed in detail within Section 2.3.

3.2 Residential Open Space and Amenities

A sense of community identity is achieved upon arrival at the corner of 99th Avenue and Indian School Road. Abundant landscaping and distinct monumentation accentuate the gateway area, signifying arrival into the City of Avondale as well as the Project. Orientation of streets and buildings are designed to consider vistas from every vantage point within the Project, as well as maintain view sheds. Mountain views are available of the White Tanks to the west, the Estrellas to the south and in the distance, Phoenix South Mountain. Substantial open space enhances the quality of life for residents, providing numerous opportunities for passive and active recreation.

Entorno is designed to create a sense of community and walkability, accordingly, recreational opportunities abound within the residential and mixed use areas. Entorno’s pedestrian network, neighborhood and pocket parks and mixed use promenade features depicted in **Figure 9, Conceptual Open Space Plan**, are the focal points of their respective areas. The Conceptual Open Space Plan provides for a centrally located four-acre park and other pocket parks and recreation centers that will all be amenitized with ramadas, tot lots and barbecue areas, as well as active recreation elements and a pedestrian network. Overall, open spaces will be provided at the rate of fifteen percent (15%) of the gross parcel area within the Project neighborhoods and parks will be provided at a rate in excess of one three-acre park per 1,000 residents. The design and location of the open space amenities will allow for easy access by residents, employees, and visitors to Entorno.



Typical Neighborhood Park

Potential Amenities Include:

- Pedestrian Connections
- Shaded Tot Lot
- Active and passive turf areas
- Ramada/Barbeque Areas
- Sport Court



Typical Pocket Park

Potential Amenities Include:

- Pedestrian Connections
- Shaded Tot Lot
- Active and passive turf areas
- Ramada/Barbeque Areas



Proposed Project

Indian School Road

Parcel 1

Parcel 2

Parcel 9

Parcel 14

Parcel 13

Parcel 12

Pedestrian Connection to RID canal network



Village Center

Potential Amenities Include:

- Pedestrian Connections
- Potential Water Feature or Amphitheater
- Outdoor Seating
- Plazas
- Courtyards

Promenade

Shops on ground floor such as cafes and boutiques

Pedestrian walkways will provide connections between buildings on adjacent parcels.

Legend



Conceptual Pocket Park



Conceptual Neighborhood Park



Pedestrian Path

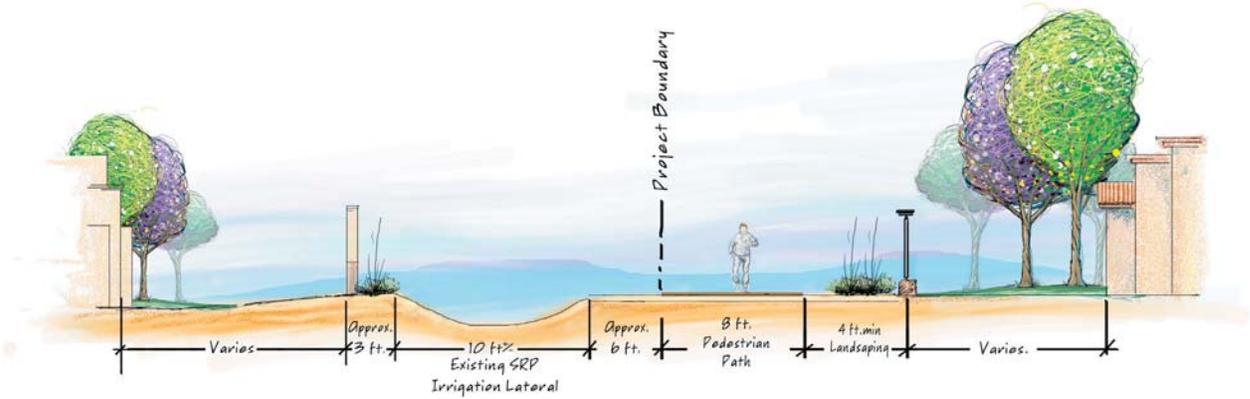


RID Canal - Pedestrian Trail



Potential Water Feature

Figure 9 - Conceptual Open Space Plan



Note:
 - Conceptual rendering is not to scale
 - Perspective is viewing North

*Conceptual Pedestrian Path Cross-Section
 (Along Western Boundary)*



*Conceptual Park Cross-Section
 (with Potential Water Feature shown)*

Figure 10 - Conceptual Pedestrian Path and Park Cross-Sections

The internal pedestrian network of paths and trails will function as a non-vehicular link to the residential neighborhoods as well as other amenities. All the pedestrian trails and walkways will be designed with a minimum eight (8)-foot wide improved surface with a minimum four (4)-foot wide landscape buffer. Where these paths and trails intersect with the adjacent vehicle drive aisles, they will be denoted with special pavement treatments and/or pavers. The 1.5 acre linear park along the western boundary will incorporate the same design standards. This linear park will provide a pleasant recreation environment and serving as a view corridor for both residents of Westwind and Entorno, will include pedestrian refuges with amenities such as seating areas, benches and trash receptacles (**Figure 10, Conceptual Pedestrian Path and Park Cross-Section**). Additionally, as the linear park is located north and east of the Roosevelt Irrigation District (RID) canal which traverses the North Avondale Specific Planning Area between Thomas and Indian School Roads, it will connect Entorno to the RID pedestrian trail and will allow residents and visitors the unique advantage of utilizing Avondale's extensive recreational path network.

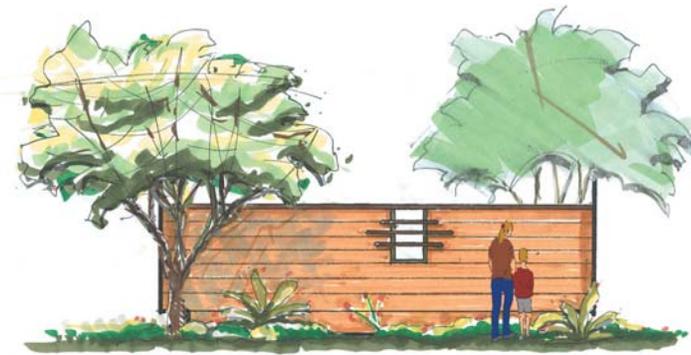
The Urban Mixed-Use parcels where residents will live above the commercial areas, will be amenitized with promenades and centralized gathering areas. Open space here has been maximized by utilizing structured parking located either below grade or integral to the buildings and by eliminating the need for large parking lots for the building residents and visitors. Surrounding the promenade, may be inviting shops, boutiques and cafes located along the pedestrian level, where residents will have convenient access to shopping and entertainment. The amount of common open space provided will equal or exceed the multiple of one and one-half (1.5) times the first floor area of all buildings up to a maximum of 45% of the net lot area.

To complement the urban living lifestyle, the inclusion of exterior balconies facing major pedestrian areas may be incorporated. Buildings will be designed to provide shade along the walkways, and pedestrian paths, and the promenade. The goal is to provide inviting linkages for residents to the employment opportunities within the surrounding commercial and office/park areas.

3.3 Walls and Entry Monumentation

The theme walls, entry monumentation and wall signage are a vital part of the design because they provide the initial impression for the project. **Figure 11** provides conceptual examples of the quality of design for the proposed walls, and entry monument theme. Since the location of the project is of key importance to the City as a gateway point, the owner will work with the City of Avondale Municipal Committee during the master site plan approval process to provide a public art installation (e.g. sculpture) at the corner of 99th Avenue and Indian School.

All project walls and entry monumentation will incorporate specific earth tone colors and materials and will represent the southwest desert contemporary theme for the project. Further enhancements include designing staggered wall planes and visual breaks within the perimeter and view walls to maximize the visual interest into the community from adjacent streets.



Conceptual Wall - Option 1



Conceptual Wall - Option 2



Conceptual Wall - Option 3

Figure 11 - Conceptual Walls and Entry Monumentation

A. Colors and Materials:

- Utilize earth tone color combinations to reduce glare and create dramatic effects.
- Finish colored concrete with hand-troweled or form-finished techniques similar to those used on the buildings for all the parcels.
- Use cast-in-place or precast concrete blocks and panels with similar construction techniques designed for the structures on all the parcels.
- Encourage the use of smooth and split-face concrete textures, exposed aggregate, stucco or plaster, brick or stone veneers.

B. Location:

- Place theme walls and view walls where they can be seen from arterial and collector streets, as well as at entry points and intersections.
- Combine decorative landscaping with enhanced wall details to promote a sense of arrival into Entorno.
- Utilize perimeter walls with staggers and visual breaks located approximately every two hundred (200) feet, where viable, to maximize visual interest.
- Construct view walls shall where visibility is paramount as in areas adjacent to open spaces and trails.



Commercial Entry Monumentation

C. Entry Monument Signage:

- Utilize complementary colors and design similar to the overall architectural features of the proposed buildings.
- Develop a specific font unique to Entorno to be used for residential and commercial signage.
- Employ monumentation with a subdivision name and adjacent landscaping to distinguish the character of each neighborhood.
- Use signage in commercial and urban mixed-use areas that is of appropriate height to promote visibility at corners, while also permitting easy identification of the employment and services in the area.

Entorno is the gateway into Avondale and requires ample visibility and signage height at the corner of 99th Avenue and Indian School to attract visitors to the Project and Avondale. Entorno will draw visitors from a larger service area due to its proximity to the Loop 101 Freeway. As such, a comprehensive sign package will be submitted to the City of Avondale for review of signage at the corner of 99th Avenue and Indian School Road and from throughout the Project.



Residential Entry Monumentation

3.4 Development Standards

Entorno utilizes development standards unique to each type of land use designation. The regulations and provisions for land use along with the Project's development standards including density, intensity and types of uses are contained within the PAD rezoning narrative and will take precedence over regulatory standards for land use and development within the Avondale General Plan, North Avondale Specific Plan, and the Avondale Zoning Ordinance. Administrative procedures and development standards contained in the aforementioned Plans or Ordinances, not covered by the PAD shall remain applicable to development within the PAD. In the event of a conflict between the provisions of the PAD and its development standards and the aforementioned Avondale Plans or Ordinances, the new laws, rules or regulations and standards of development shall govern subject to vesting provisions of Arizona law.

A. Residential Development Standards (Parcels 12 – 14)

Development standards for the residential component of Entorno meet or exceed those set forth in **Table 2 and Table 2A**.

Development Standard	Land Use Category		
	Residential I (Parcel 13)	Residential II (Parcel 14)	Residential III (Parcel 12)
Density Range	4.0-7.0 Du/Ac	8.0-14.0 Du/Ac	15.0-24.0 Du/Ac
Minimum Parcel Area	4 acres ⁽¹⁾	3 acres ⁽¹⁾	3 acres ⁽¹⁾
Minimum Perimeter Building Setback Parcel	10' adjacent to a collector R/W, open space tract, commercial or multifamily residential;	10' adjacent to a collector R/W, open space tract, commercial or multifamily residential;	10' adjacent to a collector R/W, open space tract, commercial or multifamily residential;
	20' adjacent to existing single-family residential	20' adjacent to existing single-family residential	25' adjacent to existing single-family residential
Minimum Lot Area Per Dwelling Unit⁽²⁾	2,250 SF	2,100 SF	1,400 SF
Minimum Lot Width	25'	20'	15'
Minimum Building Separation⁽¹⁾	10'	8'	6'
Minimum Building Separation Courts and Alleys with opposing garages	30' garage face to garage face or structure	30' garage face to garage face or structure	30' garage face to garage face or structure
Minimum Lot Setbacks	See Table 2A	See Table 2A	See Table 2A
Maximum Building Height⁽³⁾	45' (3 stories)	45' (3 stories)	45' (3 stories)
Lot Coverage - Single Family Detached⁽⁴⁾	Primary structure, not including attached shade structures:45%, Total:50%	Primary structure, not including attached shade structures:50%, Total:55%	N/A
Lot Coverage - Single Family Attached and Multifamily⁽⁵⁾	65%	70%	75%
Parking Spaces Per Dwelling Unit	1.5	1.3	1
Notes:			
1.	The entire Parcel Area shall be considered as one lot (parcel). Each individual parcel may contain multiple buildings and each building may include multiple dwelling units. The dwelling units may be attached with zero (0)-foot separation between units, and each separate multi-unit building can be separated from other structures on a single parcel. No individual parcel may be reduced in size below the minimum area as indicated in Table 2.		
2.	Minimum Lot area per dwelling unit = total area of lots and all open space, excluding all public and/or private streets, divided by the total number of units.		
3.	There shall be a 20-foot maximum height within 20 feet of a single-family zoned district, which height may be increased one foot for each additional one foot of building setback to the maximum permitted height. Additionally, units immediately adjacent to single-family zoned districts shall not exceed 1-story or 30 feet, unless the structure has a minimum separation of 100 feet from the single-family zoned district. Building height shall be measured as defined within the Avondale Zoning Ordinance.		
4.	Lot Coverage - Single Family-detached = the total structural coverage provided on a lot or site inclusive of all roofed areas or structures capable of supporting a roof divided by the net area of the lot. The first three feet of roof overhang or projection shall not be inclusive in the lot coverage.		
5.	Lot Coverage - Single Family-attached and multifamily = the total structural coverage provided on the sum of all the units within the Parcel of which is divided or prorated between each of the units after streets (collector and arterial streets only) are subtracted from the total net area.		

Table 2A. Residential Building Standards (1)

Product Type Development	Land Use Category			
	Residential I	Residential II	Residential III	Urban Mixed Use
Proposed Density Range	4.0 - 7.0 du/ac	8.0 - 14.0 du/ac	15.0 - 24.0 du/ac	20.0 - 60.0 du/ac
Single Family - detached	X	X		
Front, Structure to Private Accessway	15'	15'		
Front Facing Garage to Private Accessway	18'	18'		
Rear Yard	5'	3'		
Side Yard, interior	5'	3'		
Side Yard to Private Accessway	15'	15'		
Single Family - attached	X	X		
Front, Structure to Private Accessway	15'	15'		
Front Facing Garage to Private Accessway	18'	18'		
Rear Yard	5'	3'		
Side Yard, interior	N/A	N/A		
Side Yard to Private Accessway	15'	15'		
Z-Lots - detached	X	X		
Front or Side Garage of Structure	15'	15'		
Front Facing Garage to Private Accessway	18'	18'		
Rear Yard	5'	3'		
Side Yard, Interior Use & Benefit Easement	3'	3'		
Side Yard to Private Accessway	15'	15'		
Zero Lot Line - detached	X	X		
Front, Structure to Private Accessway	15'	15'		
Front Facing Garage to Private Accessway	18'	18'		
Rear Yard	5'	3'		
Side Yard, interior	5', one side	5', one side		
Side Yard to Private Accessway	15'	15'		
Alley-loaded - detached	X	X		
Front, Structure to Private Accessway	15'	15'		
Rear Facing Garage on Alley	3'	3'		
Face of Garage to opposing Face of Garage	30'	30'		
Side Yard, interior	5'	3'		
Side Yard to Private Accessway	15'	15'		
Alley-loaded - attached		X		
Front, Structure to Private Accessway		15'		
Rear Facing Garage on Alley		3'		
Face of Garage to opposing Face of Garage		30'		
Side Yard, interior		N/A		
Side Yard to Private Accessway		15'		
Auto Court - detached	X	X		
Front, facing Garage in Court	3'	3'		
Face of Garage to opposing Face of Garage	30'	30'		
Rear	5'	3'		
Side Yard, interior	5'	3'		
Side Yard to Private Accessway	15'	15'		
Auto Court - attached	X	X		
Front, facing Garage in Court	3'	3'		
Face of Garage to opposing Face of Garage	30'	30'		
Rear	5'	3'		
Side Yard, interior	N/A	N/A		
Side Yard to Private Accessway	15'	15'		
Green Court - detached	X	X		
Front, facing Green Court	5'	3'		
Rear, with Garage	3'	3'		
Face of Garage to opposing Face of Garage	30'	30'		
Side Yard, interior	5'	3'		
Side Yard to Private Accessway	15'	15'		
Green Court - attached	X	X		
Front, facing Green Court	5'	3'		
Rear, with Garage	3'	3'		
Face of Garage to opposing Face of Garage	30'	30'		
Side Yard, interior	N/A	N/A		
Side Yard to Private Accessway	15'	15'		
Townhomes - detached	X	X		
Front, Structure to Private Accessway	15'	15'		
Front Facing Garage to Private Accessway	18'	18'		
Rear Yard	5'	3'		
Side Yard, interior	5'	3'		
Side Yard to Private Accessway	15'	15'		
Townhomes - attached	X	X		
Front, Structure to Private Accessway	15'	15'		
Front Facing Garage to Private Accessway	18'	18'		
Rear Yard	5'	3'		
Side Yard, interior	N/A	N/A		
Side Yard to Private Accessway	15'	15'		

Table 2A. Residential Building Standards (1)

Product Type Development	Land Use Category			
	Residential I	Residential II	Residential III	Urban Mixed Use
Proposed Density Range	4.0 - 7.0 du/ac	8.0 - 14.0 du/ac	15.0 - 24.0 du/ac	20.0 - 60.0 du/ac
Duplex - attached			X	
Front, Structure to Private Accessway			15'	
Front Facing Garage to Private Accessway			18'	
Rear Yard			3'	
Side Yard, interior			N/A	
Side Yard to Private Accessway			15'	
Tri-plex - attached			X	
Front, Structure to Private Accessway			15'	
Front Facing Garage to Private Accessway			18'	
Front, facing Open Space			3'	
Rear, facing Garage in Court			3'	
Face of Garage to opposing Face of Garage			30'	
Side Yard, interior			N/A	
Side Yard to Private Accessway			15'	
Four-plex - attached			X	
Front, Structure to Private Accessway			15'	
Front Facing Garage to Private Accessway			18'	
Front, facing Open Space			3'	
Rear, facing Garage in Court, if applicable			3'	
Face of Garage to opposing Face of Garage			30'	
Side Yard, interior			N/A	
Side Yard to Private Accessway			15'	
Five-plex - attached			X	
Front, Structure to Private Accessway			15'	
Front Facing Garage to Private Accessway			18'	
Front, facing Open Space			3'	
Rear, facing Garage in Court, if applicable			3'	
Face of Garage to opposing Face of Garage			30'	
Side Yard, interior			N/A	
Side Yard to Private Accessway			15'	
Condominium			X	X
Front, Structure to Private Accessway			15'	N/A
Front to Parcel Boundary			N/A	20'
Front Facing Garage to Private Accessway			18'	N/A
Front, facing Open Space			3'	N/A
Rear, facing Garage in Court, if applicable			3'	N/A
Face of Garage to opposing Face of Garage			30'	N/A
Side Yard, interior			N/A	None
Side Yard to Private Accessway			15'	N/A
Side Yard to Street			N/A	20'
Min. Setback from Residential Use/District			N/A	10' per story (2)
Apartments			X	X
Front, Structure to Private Accessway			15'	N/A
Front to Parcel Boundary			N/A	20'
Front Facing Garage to Private Accessway			18'	N/A
Front, facing Open Space			3'	N/A
Rear, facing Garage in Court, if applicable			3'	N/A
Face of Garage to opposing Face of Garage			30'	N/A
Side Yard, interior			N/A	None
Side Yard to Private Accessway			15'	N/A
Side Yard to Street			N/A	20'
Min. Setback from Residential Use/District			N/A	10' per story (2)
Urban Lofts				X
Front to Parcel Boundary				20'
Side Yard, interior				None
Side Yard to Street				20'
Min. Setback from Residential Use/District				10' per story (2)

Notes:

N/A = Not Applicable.

(1) All setback dimensions are minimums.

(2) Setback does not apply to adjacent mixed-use districts.

1. Permitted Uses

A. Residential I Permitted Uses (Parcel 13)

The following uses are allowed within the Residential I District:

1) Permitted Uses:

- a) One (1) single-family detached dwelling unit per lot.
- b) One (1) single-family attached dwelling unit per lot.
- c) Accessory uses and buildings incidental to the principal use such as pools, garages, sheds and provided any accessory building is not used for sleeping or living quarters.
- d) Home Occupations in accordance with Section 202.E. of the Avondale Zoning Ordinance.
- e) Public parks and public recreation areas.
- f) Community swimming pools and similar recreational facilities of a non-profit nature when owned and maintained by the homeowners' association.
- g) Temporary construction office, shed and/or storage yard in conjunction with on-site construction, subject to Section 202.B.8 of the City of Avondale Zoning Ordinance.
- h) Temporary residential sales office for the on-site sale of homes, subject to Section 202.B.9 of the City of Avondale Zoning Ordinance.
- i) Subdivision model home complex for the on-site and off-site sale of homes, subject to Section 202.B.10 of the City of Avondale Zoning Ordinance.

2) Uses Permitted Subject to Conditional Use Permit:

- a) Public and municipal facilities.
- b) Group housing subject to Section 202.C.6. of the City of Avondale Zoning Ordinance.
- c) Day care or nursery school in conjunction with a church provided such activities are on the same lot.
- d) Country Clubs, golf courses, community swimming pools.
- e) Bed and Breakfasts.
- f) Boarding and rooming houses.
- g) Private clubs and lodges of a non-profit nature.
- h) Home child care for 5-10 children not related to the residents, subject to conditions.
- i) Child care center in conjunction with a church.

3) Prohibited Uses:

Any use not expressly stated herein and/or the following are not permitted:

- a) Agricultural uses, such as but not limited to farming including all types of agriculture and horticulture, cultivating or harvesting uses, grazing and keeping of livestock, apiaries, horse ranches, dairy farms, cattle feed lots, retailing of farm products, keeping of farm and small animals, plant nurseries and greenhouses, and commercial stables.
- b) Commercial ranch, guest ranch or resort.
- c) Plant nurseries and greenhouses (wholesale).
- d) Sales stands for the sale of farm products produced on the premises.

- e) Corrals, barns, stables and pens.
- f) Fowl, aviaries and apiaries.
- g) Guest houses.
- h) Group recovery home.
- i) Independent care or nursery schools.
- j) Cemeteries, mausoleums and crematoriums.
- k) Mobile home, recreational vehicle or similar vehicle occupied for dwelling purposes.
- l) Mobile home subdivisions.
- m) Recreational vehicle parks.
- n) Accessory uses common to mobile home and recreational vehicle parks.

B. Residential II Permitted Uses (Parcel 14)

The following uses are allowed within the Residential II District:

1) Permitted Uses:

- a) All permitted uses under the Residential I District.

2) Uses Permitted Subject to Conditional Use Permit:

- a) All uses permitted subject to a conditional use permit under the Residential I District.
- b) Nursing homes.
- c) Adult assisted living centers

3) Prohibited Uses:

All non-permitted uses under the Residential I District and any use not expressly stated herein.

C. Residential III Permitted Uses (Parcel 12)

The following uses are allowed with the Residential III District:

1) Permitted Uses:

- a) All uses permitted in the Residential II District.
- b) Two (2) or more family units per lot and multifamily units.

2) Uses Permitted Subject to Conditional Use Permit:

- a) All uses permitted subject to a conditional use permit under the Residential II District.
- b) Private clubs and lodges of a non-profit nature.
- c) Nursery schools and day care centers.

3) Prohibited Uses:

All non-permitted uses under the Residential I District and any use not expressly stated herein.

B. Commercial and Mixed Use Development Standards (Parcels 1 through 11)

Table 3. Regional and Neighborhood Commercial/Office, Urban Mixed Use and Office/Commerce Park Development Standards

Development Standard	Land Use Category		
	Retail Commercial/Office	Urban Mixed-Use	Office/Commerce Park
Minimum Lot Width:	None	None	None
Minimum Lot Area:	None	None	None
Minimum Site Depth	None	None	None
Maximum Lot Coverage:	None	None	None
Maximum Building Height: ⁽¹⁾	45' (3 stories)	120' (8 stories) ⁽²⁾	45' (3 stories)
Required Parking ⁽⁴⁾⁽⁵⁾	See Note 3	1 Bedroom/Loft: 1 space/unit	See Note 3
		2+Bedrooms: 1.5 spaces/unit	
		All Other Uses: See Note 3	
Setbacks:			
Minimum Front Setback	20'	See Table 2A	20'
Minimum Street Setback	20'	See Table 2A	20'
Minimum Interior Setback	None	See Table 2A	None
Minimum Setback from a Residential District or Use	25' (1 Story)	See Table 2A	25' (1 Story)
	30' (2 Story)	-----	30' (2 Story)
	35' (3 Story)	-----	35' (3 Story)
Notes:			
1.	Mechanical equipment may exceed the maximum height up to twenty (20) feet, must be completely screened from view, and comprise less than 50% of the roof area.		
2.	Maximum height for Urban Mixed Use is limited to 120 feet and 8 stories. A two-story height increase, as described in the North Avondale Specific Plan, Section V. Implementation Strategy, Section A. Development Guidance, is not permitted.		
3.	Required parking for commercial parcels will conform with Section 804: Required Parking Schedule, of the City of Avondale Zoning Ordinance.		
4.	All residential parking shall be provided in surface or below grade parking structures.		
5.	A shared parking option may be granted by the City of Avondale staff per industry standards to reduce the nonresidential parking requirement based on studies indicating less nonresidential parking is needed during certain time of the day. This shared parking option may consider nonresident parking available in all areas of the project, on-street parking, and parking available within 300 feet of the project in determining the total amount of nonresidential parking to be provided.		

1. Permitted Uses

A. Regional Commercial/Office Permitted Uses

The following uses are allowed within this Commercial District:

1) Permitted Uses:

- a) Retail Sales of new merchandise within an enclosed building.
- b) Restaurants, restaurant/bars, sidewalk cafes, and cafes of a sit-down nature and similar uses (including drive-throughs subject to Section 505.C.2. of the City of Avondale Zoning Ordinance and those with outdoor dining but without entertainment and/ or dancing).

Proposed Project

- c) Professional, administrative, business, clerical or sales offices.
- d) Banks and financial or similar uses (including drive-throughs subject to Section 505.C.2. of the City of Avondale Zoning Ordinance).
- e) Automated teller machine (ATM) and kiosks.
- f) Hotels, motels and resorts.
- g) Emergency medical care facilities.
- h) Hospitals.
- i) Medical, dental, or health offices, clinics, and laboratories.
- j) Personal service establishments, such as day spas including beauty salons, barber shops, nail salons, except as listed...
- k) Clothing alteration, custom dressmaking or tailor shop.
- l) Dry cleaning and laundry establishment, excluding drive-through facilities. Drop-off services only.
- m) Laundromat, self-service.
- n) Post Office.
- o) Appliance service and repair.
- p) Ticket and travel agency.
- q) Churches, synagogues, temples, convents and parish houses, or other places of general assembly for worship.
- r) Schools and educational institutions, public and private, such as vocational, business, technical, medical, dental, college or university.
- s) Cultural institutions.
- t) Dancing, theatrical or music studio.
- u) Libraries and museums.
- v) Retail sales of lumber, landscaping and building materials (excluding outdoor storage).
- w) Indoor commercial uses such as movie theaters, swimming and racquet clubs, bowling alleys, game rooms, video arcades, ice and skating rinks, shooting ranges, pool and dance halls, excluding adult uses, taverns, bars or lounges.
- x) Pharmacy.
- y) Art galleries.
- z) Artist's studios, artisans' and craftsmens' studio or workshops, including retail sales.
- aa) Antiques and collectible shops.
- bb) Bakeries.
- cc) Bicycle and sporting good stores.
- dd) Bookstores.
- ee) Camera shops.
- ff) Candy/ confectioner's shops.
- gg) Clothing, resort wear, and t-shirt shops, selling only new merchandise.
- hh) Clothing consignment shops.
- ii) Coffee houses.
- jj) Curio shops.
- kk) Delicatessens.
- ll) Florists and flower shops.
- mm) Furniture sales and rental.
- nn) Gift shops.
- oo) Herbal, natural remedy and metaphysical shops.
- pp) Ice cream shops.
- qq) Import stores.

- rr) Jewelry stores.
- ss) Juice bars.
- tt) Music, record, cd and DVD stores, for retail or rental sales.
- uu) Newsstands.
- vv) Outdoor gear stores and sales.
- ww) Photography studios.
- xx) Photographic developing and printing studio.
- yy) Shoe stores and shoe repair shops.
- zz) Specialty grocers and food stores without gasoline sales.
- aaa) Specialty retail stores and services, indoor, such as toys, maps, flag, kite, magic, and puppet shops, etc.

2) Accessory Uses:

- a) Accessory buildings, structures and uses customarily incidental to a permitted use.

3) Uses Permitted Subject to Conditional Use Permit:

- a) Veterinary hospitals, offices, and clinics, excluding animal boarding.
- b) Day care centers.
- c) Pet boarding and day care facility.
- d) Dwelling units above the ground floor of a building.
- e) Dwellings not part of a commercial development.
- f) Clubs and lodges.
- g) Health and exercise centers, athletic clubs, health clubs.
- h) Commercial sporting complexes, concert facilities, stadiums and similar outdoor recreational facilities.
- i) Outdoor commercial recreation/ entertainment uses such as: fairgrounds, golf courses, amusement parks, golf driving ranges, commercial racetrack, rodeo grounds, shooting range, swimming and tennis club.
- j) Commercial parking lot and garages.
- k) Motion picture studios.
- l) Service and gas stations subject to Section 305.D. of the City of Avondale Zoning Ordinance.
- m) Alcoholic beverage sales for off premises consumption.
- n) Performing arts theaters, but excluding adult live entertainment establishments.
- o) Sidewalk vendors.
- p) Automobile leasing facilities.
- q) Auto supply store, indoor.
- r) Automobile, boat, recreational vehicle, or motorcycle, sales and rental.
- s) Carwash, mechanical or self-service.
- t) Tire sales, repair, and mounting.
- u) Tavern, bar, lounge or establishment with entertainment and/or dancing that sells beer or intoxicating liquor for consumption on premise, excluding restaurants and adult uses subject to Section 305.E. of the City of Avondale Zoning Ordinance.
- v) Tavern, bar, lounge or establishment with entertainment and/ or dancing.
- w) Reception centers, recreation and social/ private clubs.
- x) Assisted living facility, nursing, or convalescent home, long term care facility and hospices, and group care facilities.

- y) Public service or non-profit community use.
- z) Public utility buildings, structures, uses, facilities and equipment.
- aa) Ambulance service facility.
- bb) Employment agencies.
- cc) Research laboratories.
- dd) Personal service establishments such as tanning salon, massage therapy, tattoo, body piercing parlor, palm readers, phrenologists, fortune tellers and astrologers, excluding adult uses.
- ee) Plant nurseries with outdoor display.
- ff) Retail sales of new merchandise and produce in open-air markets (mercados), excluding liquor sales and sidewalk sales.

4) Prohibited Uses:

Any use not expressly stated within the permitted or conditional uses sections above and the following are not permitted:

- a) Cemetery, crematorium, mausoleum, funeral home and chapel, mortuaries and columbarium.
- b) Monument sales and engraving shop.
- c) One residence of a caretaker and family employed on the premises.

B. Neighborhood Commercial/Office Permitted Uses

The following uses are allowed with the Commercial District:

1) Permitted Uses:

- a) Retail Sales of new merchandise within an enclosed building.
- b) Restaurants, restaurant/bars, sidewalk cafes, and cafes of a sit-down nature and similar uses, excluding drive-through facilities.
- c) Professional, administrative, business, clerical or sales offices.
- d) Banks and financial or similar uses (including drive-throughs subject to Section 505.C.2. of the City of Avondale Zoning Ordinance).
- e) Automated teller machine (ATM) and kiosks.
- f) Medical, dental, or health offices, clinics, and laboratories.
- g) Personal service establishments, such as day spas including beauty salons, barber shops, nail salons, except as listed...
- h) Clothing alteration, custom dressmaking or tailor shop.
- i) Dry cleaning and laundry establishment.
- j) Laundromat, self-service.
- k) Post Office.
- l) Appliance service and repair.
- m) Ticket and travel agency.
- n) Churches, synagogues, temples, convents and parish houses, or other places of general assembly for worship.
- o) Schools and educational institutions, public and private, such as vocational, business, technical, medical, dental, college or university.
- p) Cultural institutions.
- q) Dancing, theatrical or music studio.
- r) Libraries and museums.
- s) Indoor commercial uses such as movie theaters, swimming and racquet clubs, bowling alleys, game rooms, video arcades, ice and skating rinks,, pool and dance halls, excluding adult uses, taverns, bars or lounges.
- t) Pharmacy.
- u) Art galleries.

- v) Artist's studios, artisans' and craftsmens' studio or workshops, including retail sales.
- w) Antiques and collectible shops.
- x) Bakeries.
- y) Bicycle and sporting good stores.
- z) Bookstores.
- aa) Camera shops.
- bb) Candy/ confectioner's shops.
- cc) Clothing, resort wear, and t-shirt shops, selling only new merchandise.
- dd) Clothing consignment shops.
- ee) Coffee houses.
- ff) Curio shops.
- gg) Delicatessens.
- hh) Florists and flower shops.
- ii) Gift shops.
- jj) Herbal, natural remedy and metaphysical shops.
- kk) Ice cream shops.
- ll) Import stores.
- mm) Jewelry stores.
- nn) Juice bars.
- oo) Music, record, cd and DVD stores, for retail or rental sales.
- pp) Newsstands.
- qq) Outdoor gear stores and sales.
- rr) Photography studios.
- ss) Photographic developing and printing studio.
- tt) Shoe stores and shoe repair shops.
- uu) Specialty grocers and food stores without gasoline sales.
- vv) Specialty retail stores and services, indoor, such as toys, maps, flag, kite, magic, and puppet shops, etc.

2) Accessory Uses:

- a) Accessory buildings, structures and uses customarily incidental to a permitted use.

3) Uses Permitted Subject to Conditional Use Permit:

- a) Veterinary hospitals, offices, and clinics, excluding animal boarding.
- b) Day care centers.
- c) Dwelling units above the ground floor of a building.
- d) Clubs and lodges.
- e) Health and exercise centers, athletic clubs, health clubs.
- f) Commercial sporting complexes, concert facilities, stadiums and similar outdoor recreational facilities.
- g) Commercial parking lot and garages.
- h) Motion picture studios.
- i) Alcoholic beverage sales for off premises consumption.
- j) Performing arts theaters, but excluding adult live entertainment establishments.
- k) Sidewalk vendors.
- l) Tavern, bar, lounge or establishment with entertainment and/or dancing that sells beer or intoxicating liquor for consumption on premise, excluding restaurants and adult uses subject to Section 305.E. of the City of Avondale Zoning Ordinance.

- m) Tavern, bar, lounge or establishment with entertainment and/ or dancing.
- n) Reception centers, recreation and social/ private clubs.
- o) Public service or non-profit community use.
- p) Employment agencies.
- q) Research laboratories.
- r) Personal service establishments such as tanning salon, massage therapy, tattoo, body piercing parlor, palm readers, phrenologists, fortune tellers and astrologers, excluding adult uses.
- s) Retail sales of new merchandise and produce in open-air markets (mercados), excluding liquor sales and sidewalk sales.

4) Prohibited Uses:

Any use not expressly stated within the permitted, conditional, or accessory uses sections above and the following are not permitted:

- a) Cemetery, crematorium, mausoleum, funeral home and chapel, mortuaries and columbarium.
- b) Monument sales and engraving shop.
- c) One residence of a caretaker and family employed on the premises.

C. Office/Commerce Park

The following uses are allowed with the Office/Commerce Park District:

1) Permitted Uses:

- a) Offices for professional, administrative, clerical, and sales service.
- b) Financial institutions, excluding drive-through facilities.
- c) Research laboratories.
- d) Medical, dental or health school, office, clinic or laboratory.
- e) Pharmacy.
- f) Hospitals and other health care facilities.
- g) Hotels, motels and resorts.
- h) Restaurants, restaurant/bars, sidewalk cafes, and cafes of a sit-down nature and similar uses, excluding drive-through facilities.
- i) Motion picture production studios.
- j) Wholesaling of goods and merchandise to retailers or jobbers for resale to the ultimate consumer.
- k) Warehousing and distribution, excluding dead vehicle storage, trucking companies and moving storage companies, provided storage does not exceed fifty (50) percent of the gross floor area of the primary use.
- l) Retail commercial operations directly related to the primary industrial use, provided storage does not exceed fifty (50) percent of the gross floor area of the primary use.

2) Accessory Uses:

- a) Accessory buildings, structures and uses customarily incidental to a permitted use.

3) Uses Permitted Subject to Conditional Use Permit:

- a) Health and exercise centers, athletic clubs, health clubs.
- b) Motion picture studios.
- c) Radio and television studios with receiving and transmitting towers.
- d) Public utility buildings.
- e) Day care, nursery schools, and child care center.
- f) Transmitting and receiving towers, cellular and digital telecommunications monopoles.

4) Prohibited Uses:

Any use not expressly stated within the permitted, conditional, or accessory uses sections above and the following are not permitted.

- a) Dead vehicle storage.
- b) Outside storage of materials, goods, vehicles.
- c) Outdoor commercial/recreation uses such as amusement parks, fairgrounds, golf courses, golf driving ranges, commercial racetrack, rodeo grounds, shooting range, zoos, drive-in theaters, miniature golf courses, sports courts and fields, outdoor arenas, sports stadiums, water parks and paintball parks.
- d) Electrical substations, generating plants and other public utilities when subject to municipal zoning authority.
- e) Drive through uses, including restaurants, financial institutions, stand alone pharmacies with drive-through facilities.
- f) Service and gas stations.

D. Urban Mixed-Use Permitted Uses

The following are allowed in the Urban Mixed-Use District:

1) Permitted Uses:

- a) Multifamily residential dwelling units above the ground floor of a building.
- b) Retail Sales of new merchandise within an enclosed building.
- c) Restaurants, restaurant/bars, sidewalk cafes, and cafes of a sit-down nature and similar uses.
- d) Professional, administrative, business, clerical or sales offices.
- e) Financial institutions, including drive-through facilities subject to Section 505.C.2. of the City of Avondale Zoning Ordinance.
- f) Automated teller machine (ATM) and kiosks.
- g) Medical, dental, or health offices, and clinics.
- h) Personal service establishments, such as day spas, beauty salons, barber shops, nail salons, tanning salon, massage therapy, except as listed...
- i) Clothing alteration, custom dressmaking or tailor shop.
- j) Dry cleaning and laundry establishment.
- k) Laundromat, self-service.
- l) Post Office.
- m) Ticket and travel agency.
- n) Dancing, theatrical or music studio.
- o) Libraries and museums.
- p) Indoor commercial uses such as game rooms, video arcades, and pool halls, excluding adult uses, taverns, bars or lounges.
- q) Pharmacy.
- r) Art galleries.
- s) Artist's studios, artisans' and craftsmens' studio or workshops, including retail sales.
- t) Antiques and collectible shops.
- u) Bakeries.
- v) Bicycle and sporting good stores.

- w) Bookstores.
- x) Camera shops.
- y) Candy/ confectioner's shops.
- z) Clothing, resort wear, and t-shirt shops, selling only new merchandise.
- aa) Coffee houses.
- bb) Curio shops.
- cc) Delicatessens.
- dd) Florists and flower shops.
- ee) Gift shops.
- ff) Herbal, natural remedy and metaphysical shops.
- gg) Ice cream shops.
- hh) Import stores.
- ii) Jewelry stores.
- jj) Juice bars.
- kk) Music, record, cd and DVD stores, for retail or rental sales.
- ll) Newsstands.
- mm) Outdoor gear stores and sales.
- nn) Photography studios.
- oo) Photographic developing and printing studio.
- pp) Shoe stores and shoe repair shops.
- qq) Specialty grocers and food stores.
- rr) Specialty retail stores and services, such as toys, maps, flag, kite, magic, and puppet shops, etc.
- ss) Retail sales of new merchandise and produce in open-air markets (mercados), excluding liquor sales and sidewalk sales.

2) Uses Permitted Subject to Conditional Use Permit:

- a) Commercial and residential parking garages.
- b) Alcoholic beverage sales for off premises consumption.
- c) Performing art theaters, but excluding adult live entertainment establishments.
- d) Health and exercise centers, athletic clubs, health clubs.
- e) Sidewalk vendors.
- f) Tavern, bar, lounge or establishment with entertainment and/or dancing that sells beer or intoxicating liquor for consumption on premise, excluding restaurants and adult uses subject to Section 305.E. of the City of Avondale Zoning Ordinance.
- g) Tavern, bar, lounge or establishment with entertainment and/ or dancing.
- h) Public service or non-profit community use.
- i) Employment agencies.
- j) Personal service establishments such as tattoo, body piercing parlor, palm readers, phrenologists, fortune tellers and astrologers, excluding adult uses.

3) Prohibited Uses:

All non-permitted uses under the Regional and Neighborhood Commercial Non-Permitted Uses found in Section 3.4.B.1.A and Section 3.4.B.1.B and any use not expressly stated herein.

3.5 *Design Guidelines and Architectural Character*

The architectural character of Entorno will enhance the quality of life for residents, their guests and surrounding neighbors. The intent is to promote a "southwest desert contemporary" architecture style. Combining common design elements, native materials and a southwestern desert earth-tone color palette, Entorno respects the flavor of the southwest while providing an attractive, modern project. In addition, Entorno's design utilizes curvilinear streetscapes trimmed with drought tolerant trees such as palo verdes and acacias, centrally located recreational amenity areas and ample open spaces. The Entorno project encourages pedestrian interaction by providing generous landscaped boulevards and a pedestrian trail system.

A. Residential Design Guidelines (Parcels 12 – 14)

All single-family detached/attached buildings and multifamily located within the Entorno project will have common design elements and features to help create a distinct atmosphere. This will be accomplished by:

- Creating visual interest through articulation of wall planes;
- Varying roof forms and other similar methods;
- Utilizing four-sided architecture;
- Providing architectural treatments to large wall expanses.

Refer to Figures 12-22 for design concepts of potential housing styles and conceptual single and multifamily residential architecture.

1) Single Family Architectural Character

- To prevent a monotonous streetscape, the following standards shall apply:
- a. Homebuilders shall provide not less than three (3) elevations for each house plan.
 - b. No adjacent home or home directly across the street shall have the same elevation or roofline.
 - c. For all pitched roofs, homebuilders shall provide at least twelve (12) inches of roof overhang (eave) to all walls.
 - d. Homebuilders will offer homebuyers not less than six (6) house color combinations, three (3) tile colors and two (2) tile types.
 - e. Exterior colors shall be southwestern earth tones.

Although a final home product is not yet available for review, residential buildings may include the following architectural details:

- Asymmetrical massing;
- Gable or hipped rooflines;
- Stucco or concrete fiber siding;
- Brick or stone veneers;
- Tile roofs;
- Side entry garages;
- Balconies or patios;
- Divided light windows;
- Decorative Shutters;
- Decorative molding, pilasters, or wainscoting.

2) Multifamily Architectural Character

Multifamily residential neighborhoods exceeding 12.0 dwelling units per acre will also promote overall design unity and visual interest. Common to all multifamily products, carports or garages shall be constructed of similar materials, colors, and architecture matching the primary building. Multifamily site entries shall be treated with special landscaping, paving treatments, and visual features such as fountains, sculptures, or public art. Also, builders of multifamily products will include a minimum of three (3) of these architectural design elements:

- Bays or alcoves at pedestrian level;
- Bay windows or deep recessed windows;
- Projected or recessed patios or balconies;
- Awnings, corbels, or dormers;
- Decorative molding, pilasters, or wainscoting;
- Brick or stone veneers;
- Architecturally designed building lighting;
- Pop-out door and window treatments or decorative shutters;
- Divided light windows.

3) Lighting

Lighting standards shall be utilized to increase pedestrian safety, limit light trespass and pollution and to create visual interest and beauty. Lighting fixtures should compliment and be an integral part of the ultimate design and feel of the development. All lighting utilized in the development shall be fully shielded and downward facing.

4) Landscaping

The goal of the landscape palette and proposed design is to blend the agricultural heritage into the native desert through the use of two distinct, yet complimentary plant palettes. The use of drought-resistant plant materials for passive recreation areas, trails/pathway corridors and visual focal points shall be required as discussed in the North Avondale Specific Plan. Activity areas will receive an enhanced landscape palette, which allows additional shade opportunities, creating an ambiance more conducive to social gathering areas. Accordingly, the residential landscaping palette is designed to integrate with and enhance the architectural character of the built environment (**Figure 9, Conceptual Open Space Plan**). Combined with the streetscape theme (**Figures 28-30 Street Cross Sections and Conceptual Streetscapes**), the palo verde and acacia trees will be used throughout the residential areas.

5) Management and Maintenance

Various property owners' associations are planned for Entorno to care for and maintain all community open space, amenities, landscape tracts and right-of-way landscaping within the development. It will be required of all homebuilders to establish individual homeowners' associations (HOA) for their respective projects.

Single Family, Townhomes and Duplex (Attached)



Private Accessway



Private Accessway
Conceptual Z-Lot



Private Accessway



Private Drive

Conceptual Five-Plex

Conceptual Green Court (Detached & Attached)



Private Accessway

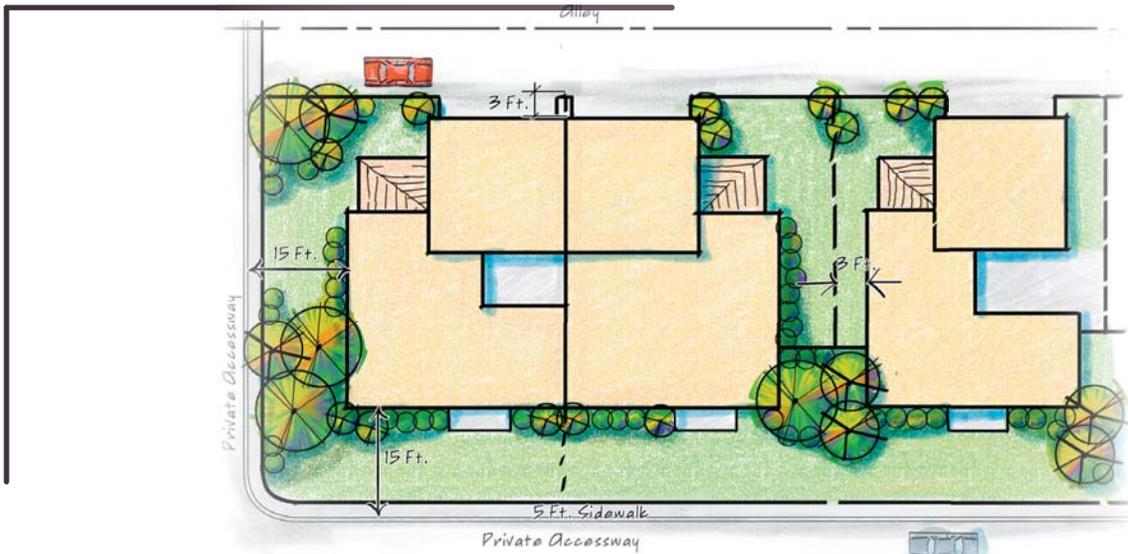
Conceptual Auto Court (Detached)



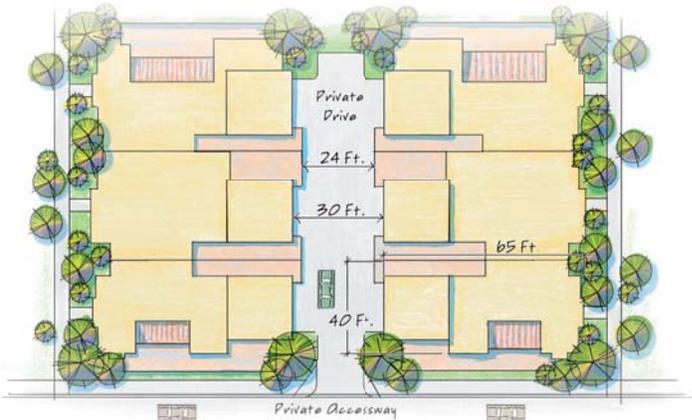
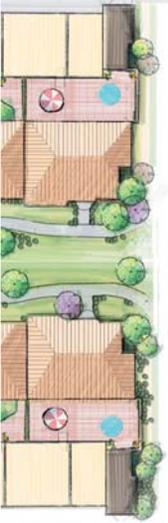
Private Accessway

Conceptual Single Family & Townhomes (Detached)

Proposed Project



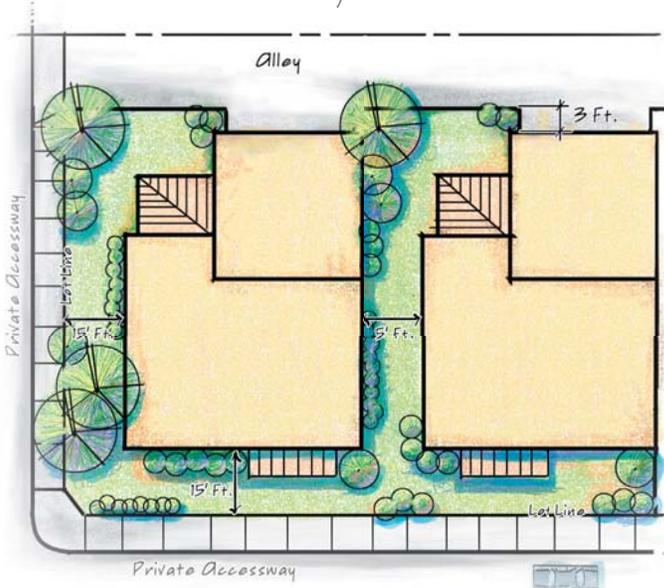
Conceptual Alley Loaded (Detached and Attached)



Conceptual Auto Court (Attached)



Conceptual Four-Plex



Conceptual Zero Lot Line (Detached)



Conceptual Tri-Plex

B. Regional and Neighborhood Commercial/Office and Office/Commerce Park Design Guidelines

Architectural and design continuity will remain consistent from parcel to parcel and will complement other architecture proposed in this development. The guidelines listed below are to ensure that the development will be designed and constructed with high quality and timelessness in mind.

These design guidelines ensure that not only quality materials and architectural character are an integral part of the regional and neighborhood commercial/office and office/commerce park component of the development, but also that the development will incorporate functionality and usability during all seasons. Refer to **Figures 23-25** for potential commercial and office/commerce park styles.

1) Architectural Character

Building materials proposed for commercial and office/commerce park architecture will be selected to emulate the proposed "southwest desert contemporary" theme. A native color palette of earth tones will be used for exterior colors. Materials will be of durable materials that will endure the extreme summer temperatures. Primary and secondary materials may include, but are not limited to the following:

- Natural stone,
- Smooth or textured stucco,
- Concrete fiber exterior finishes,
- Tile or metal roofs,
- Metal decorative accents and overhangs.



Figure 23 - Conceptual Commercial Architecture



Figure 24 - Conceptual Hotel Architecture

Final building materials and design will be reviewed and approved by City Staff per the architectural character and design intent of this document.

Main building entrances should be emphasized using the following techniques:

- Clustering of trees and shrubbery;
- Utilizing unique building orientation and/or design;
- Human-scale architecture that utilizes building recessions, projections and pedestrian walkways;
- Enhancing pavement treatments;
- Varying building materials;
- or similar treatments.

Individual buildings shall incorporate rooflines and forms with varied sizes, shapes, materials, colors and slopes. Where parapets are utilized to conceal flat roofs, three-dimensional cornice treatments or similar details shall be used to enhance the building architecture. Wherever pitched roofs are utilized, multiple planes shall be used. Canopy structures and their respective columns for gasoline service stations will incorporate the architectural character of the center.

Elements of four-sided architecture shall be required for all wall planes and building surfaces visible from public streets and walkways. Uninterrupted wall planes in excess of fifty (50) feet in length will employ a vertical element, such as a projection or recession into the wall plane. Building materials found in the main building elevations should be carried throughout the entire design of the building.

Garden and retaining walls and other site features shall complement the architectural character of the development and building and where possible should integrate into the overall design of the building.

If drive-through uses are included as part of this development, the drive-through business shall have drive under canopies and the drive-through shall not face the street.

2) Exterior Spaces

Exterior spaces are vital elements to a development. Such spaces are utilized for relaxation, socialization and business purposes. Here at Entorno, exterior spaces shall include the following:

- Seating,
- Trash receptacles,
- Enhanced lighting, and
- Sunny and shaded areas for year-round use.



Figure 25 - Conceptual Office / Commerce Park Architecture

Attention should be paid to solar orientation for ultimate usability. Shade areas must either provide a durable and permanent shade structure and/or trees capable of creating an adequate amount of shade. The design of the commercial shops is encouraged to include shade along the pedestrian walkways with landscaping in front of stores, the addition of courtyards where viable and amenities such as outdoor seating within plazas.

Pedestrian walkways are also a vital aspect of quality development and will be provided to create safe, non-vehicular connections between buildings and uses on adjacent parcels. Ease and comfort of pedestrian travel throughout the development and onto adjacent public sidewalks will be provided. Exterior spaces and building entrances will be interconnected throughout the development. The importance of designing and constructing shaded walkways will be encouraged during the design process.

Specific examples within Entorno for positive exterior spaces include the "village center," adjacent to Parcels 8 and 9, where either a water feature or amphitheater will be provided where residents, employees and visitors will be able to use as a unique destination spot for social gatherings. Major focal points such as building entries and pedestrian gathering areas will be enhanced with creative landscaping, decorative paving and distinct monumentation as discussed further in Section 3.5.B.

3) Lighting

The intent is to increase pedestrian safety, limit light trespass and pollution and to create visual interest and beauty. Lighting fixtures should complement and be an integral part of the ultimate design and feel of the development.

- All lighting utilized in the development must be fully-shielded and downward facing;
- Parking lot lighting abutting adjacent residential properties must utilize house side shields;
- Parking lot lighting must be no taller than 15 feet as measured from the bottom of fixture;
- Fixtures hung within trees are not permitted;
- Up-lighting and spotlights are not permitted, except for low voltage landscape lighting.

4) Landscaping

The landscape palette proposed for this development includes plant materials from the Arizona Department of Water Resources (ADWR) low water use plant list. High water use plants, such as colorful annuals and other smaller accent plants may be utilized in small quantities at entries to buildings and entry to the development. The proximity identifies which landscaping theme will be used throughout the entire development to create continuity. Combined with the streetscape theme, the palo verde and acacia trees will be used throughout the commercial/office and office/commerce park

areas.

Entorno's landscaping standards for the regional and neighborhood commercial and office/commerce park parcels will exceed the City's established minimum standards set forth in Section 503: Landscaping, of the City of Avondale Zoning Ordinance by including:

- Common landscaping themes throughout Entorno while promoting the individual identity of each parcel;
- A minimum 35% of the building frontage with a minimum width planter of three (3) feet, not including the vehicle overhang;
- Foundation plantings adjoining, but not directly adjacent to buildings that front on public streets;
- Major focal points (i.e. building entries, pedestrian gathering areas, etc.) with trees 36-inch box or greater.

Additionally, all private retention basins shall be landscaped. Such retention basins may not occupy more than fifty (50) percent of any landscaped area fronting a public street; except as approved by the Planning Department. All private retention basins shall be contoured and designed as an integral part of any frontage landscaping and shall not take on the appearance of a ditch. Maximum side slopes of basins shall be a four to one (4:1) ratio.

As the commercial elements of Entorno are developed, individual projects may be required to provide at least one (1) pedestrian refuge area consisting of a minimum fifty (50) square feet, two (2) trees, six (6) shrubs and one (1) seating area.

All landscaping will be designed, selected and planted for ease of maintenance and irrigation. A ground cover such as decomposed granite or similar will be utilized for weed control, to help limit evaporation of irrigation and to ensure a quality appearance of the landscaping. Entries to buildings should provide enhanced landscaping and higher quality landscape materials. There should not be more than five (5) feet between plants and trees should be planted a maximum of twenty (20) feet between canopies. Special care should be taken to provide enhanced landscaping in exterior pedestrian spaces and along pedestrian walkways throughout the development.

5) Management and Maintenance

A master property owners' association will be established to ensure manicured, litter-free sites on their respective parcels. Property maintenance will include any adjacent, contiguous landscape areas outside of the City's right-of-way, plus any landscape areas within the right-of-way between the public sidewalk and street edge. All public streets and sidewalks will be maintained by the City of Avondale.

6) Signage

All signage shall be designed to be consistent with the overall architectural character of the development. Signage shall be consistent with the City of Avondale sign regulations and shall be designed so that it is not a nuisance to other parcels or developments. Signage for both pedestrian and vehicular purposes will be provided in the development.

7) Vehicle and Bicycle Parking

A minimum of five (5) percent of the parking lot area shall be landscaped, exclusive of front yard or perimeter landscaping and street trees. Such landscaping shall consist of parking islands located within the perimeter of the parking lot.

Parking islands shall be utilized at the end of each row and include landscape planters. The planters shall be protected by a six (6) inch vertical curb on all sides. Planters shall be a minimum of eight feet by twenty (8x20) feet as measured from back-of-curb to back-of-curb. There shall be landscape planters between every twelve (12) consecutive parking spaces.

All parking lots shall be screened from public and private roadways by walls or earth berms or combination thereof, constructed at least three (3) feet above the grade of the parking lot or adjacent streets, whichever is higher in elevation. Screen wall materials will match the design theme of the rest of the development.

A minimum of one (1) tree shall be provided for every eight (8) parking spaces, exclusive of perimeter landscaping and street trees. Trees must be planted within the parking lot. Where covered parking is provided, it shall be designed as an integral part of the project with materials, color, and details similar to the buildings of the development. Fabric or prefabricated metal carports are prohibited.

Bicycle parking is encouraged throughout the entire development. If provided it should be within 50 feet of a commercial or office building entrance. Providing bicycle parking, especially in commercial and office establishments, encourages utilization of alternative modes of transportation and commuting.

8) Screening

a. Refuse Areas:

- i. All shared refuse containers, including all uses on site, shall be screened with a masonry wall not less than six (6) feet in height. Refuse area materials, including wall and gates etc., will match the design theme of the rest of the development. Gates when closed must completely screen the refuse area.

b. Loading and Delivery:

- i. All loading and delivery areas shall be separated from adjacent residential uses, screened from public-view with at least a 6 foot wall and constructed using materials and finishes that match the rest of the development theme.
- ii. Loading, delivery and service bays will be screened from public view with landscaping or walls. These walls will be a minimum height of six (6) feet and up to ten (10) feet.

c. Utility Equipment:

- i. All utility equipment must be located and screened in accordance with the City of Avondale requirements. Screening shall either be integrated into the architectural design or constructed using materials consistent with those used in the rest of the development. Where required, screening will be provided through a combination of solid walls, earth

- berms and landscaping. Screen walls will be fully integrated into the site using design patterns, materials and color schemes complimentary to adjacent buildings.
- ii. Mechanical equipment, whether ground level or roof mounted, will be screened from public view and so located as to be perceived as an integral part of the building. Equipment such as, but not limited to, telephones, vending machines, etc. will be screened from street view and placed in an area designed for their use, which is an integral part of the structure.
- d. Parking Areas:
 - i. All parking areas will be screened from public streets by a minimum three (3) foot wall, earth berm or a combination thereof. Screen walls will be designed to match the standard set forth for the entire project.

C. Urban Mixed Use Design Guidelines

The residential component and commercial component of this district are interrelated and the ultimate design of this district will be unique. Development within the Urban Mixed Use Parcels will abide by the Commercial and Office/Commerce Park Design Guidelines as detailed in the previous section of this document. In addition, with a proposed maximum height of 120 feet or eight stories, special development standards with regard to building bulk and structure within the Urban Mixed Use Parcels will also abide by the following guidelines where applicable. A two-story height increase, as authorized in the North Avondale Specific Plan, Section V. Implementation Strategy, Section A. Development Guidance, is not permitted. Refer to **Figure 26** for potential urban mixed use architecture styles

1) Architectural Character

Proposed urban mixed use buildings will respect the scale and orientation of adjacent properties. Buildings proposed here will transition from adjacent uses to reduce and mitigate the differences in building scale, bulk, and intensities. Building design will respect the climatic conditions by minimizing heat gain and will consider the impact of shade on adjacent land uses and areas. The rationale for this is to design buildings in relation to surrounding elements, providing an orderly transition of building heights, and signifying that urban mixed uses are an integral part of the Entorno project site.

Building massing will take into account the solar consequences of building height, bulk and area to maximize public comfort by providing shaded public outdoor areas, minimizing glare and facilitating breezes. Building facades exposed to solar intensity will minimize the use of glass and provide landscaping, shade structures, wall plane articulation, moldings, pilasters, balconies, porches or other comparable architectural elements to reduce surface heat gain. Varying heights of the buildings are encouraged.

Architecture and applied treatments that express corporate identity will be minimized to provide structures that complement the overall Project theme. While corporate architecture may be used to identify a particular commercial retail or office use, it will not be the predominant feature of the building façade. The facades will be designed to provide a sense of human-scale at ground level by providing clear architectural distinction between ground floor levels and all additional levels. Four-sided architecture is encouraged to exhibit design continuity.



Proposed Project

Figure 26 - Conceptual Apartments, Condos, and Urban Lofts

2) Exterior Spaces

Direct access to the commercial retail/office storefronts will be provided to encourage pedestrian movement and will have pedestrian paths and walkways that have a minimum of eight (8) feet of unobstructed width. Shaded walkways integrated with the building design or that use landscaping will be encouraged to provide pedestrian interaction and for pleasant walking environments. Outdoor plazas, courtyards and seating are encouraged to enhance exterior spaces and make for a welcoming pedestrian experience.

At least one pedestrian path or sidewalk will connect with the primary public entrance for the residential portion of the residential uses and residential and commercial uses will have separate entrances. Although not required for all units in the Urban Mixed Use District, the inclusion of exterior balconies on the upper levels facing major pedestrian areas should be included wherever possible. This will further the pedestrian nature of the Urban Mixed Use District.

3) Landscaping

Landscaping in the Urban Mixed Use District has special design criteria to provide trees to shade streets, pedestrian paths and small exterior spaces, where feasible. The pedestrian nature of this district will require enhanced landscaping along streetscapes to maximize year-round usability. Landscaping and trees, much like other areas of Entorno, will be selected and placed, that when at maturity, trees such as the palo verde and acacia will provide at least 50% shading capability for pedestrian walkways and gathering areas. Streetscape enhancements will be prevalent, unifying the project through common landscaping design found in the commercial/office and office/commerce park districts (**See Figure 29 Major Collector Cross-Section and Conceptual Streetscape for Clarendon Avenue**).

4) Management and Maintenance

Various property owners' associations are planned for Entorno to care for and maintain all community open space, amenities, landscape tracts and right-of-way landscaping within the development. A master property owners' association will likewise govern all commercial and urban mixed use developments.

5) Signage

Signage will be designed to be consistent with the overall Project theme by using similar materials and textures, architectural treatments, and fonts used throughout. Corporate signage, like corporate architecture, will be minimized to not detract from the overall building façade. Location of signs will be oriented to promote their functional purpose of communication and readability for pedestrian and vehicular traffic. Signage should not dominate the building, site design or streetscape.

6) Screening

Similar to commercial areas, the following screening guidelines will apply:

- a. Refuse Areas:
 - i. All shared refuse containers, including all uses on site, shall be screened with a masonry wall not less than six (6) feet in height. Refuse area materials, including wall and gates etc., will match the design theme of the rest of the development. Gates when closed must completely

- screen the refuse area.
- b. Loading and Delivery:
 - i. All loading and delivery areas shall be separated from adjacent residential uses, screened from public-view with at least a six (6)-foot wall and constructed using materials and finishes that match the rest of the development theme.
 - ii. Loading, delivery and service bays will be screened from public view with landscaping or walls. These walls will be a minimum height of six (6) feet and up to ten (10) feet.
 - c. Utility Equipment:
 - i. All utility equipment must be located and screened in accordance with the City of Avondale requirements. Screening shall either be integrated into the architectural design or constructed using materials consistent with those used in the rest of the development. Where required, screening will be provided through a combination of solid walls, earth berms and landscaping. Screen walls will be fully integrated into the site using design patterns, materials and color schemes complimentary to adjacent buildings.
 - ii. Mechanical equipment, whether ground level or roof mounted, will be screened from public view and so located as to be perceived as an integral part of the building. Equipment such as, but not limited to, telephones, vending machines, etc. will be screened from street view and placed in an area designed for their use, which is an integral part of the structure.

3.6 *Development Master Plans*

Development Master Plans shall follow the process established in the City of Avondale Zoning Ordinance for Planned Area Development (PAD) Documents, Sections 106, 109, 603 and 604.

This PAD document consists of the General Development Plan (**Figure 1 Architectural Vision and Figure 2 Conceptual Project Layout**) and the PAD document. Upon approval of the General Development Plan and Program, Final Development Plans for all or part of the PAD District shall be filed. Prior to the approval of the Final Development Plan for the first development unit, the following additional information will be submitted for approval:

1. Conceptual Master Drainage Plan;
2. Master Street Plan for all major and collector street abutting or within the site;
3. Master Water Plans;
4. Master Wastewater Plans;
5. Covenants, Conditions and Restrictions for the projects.

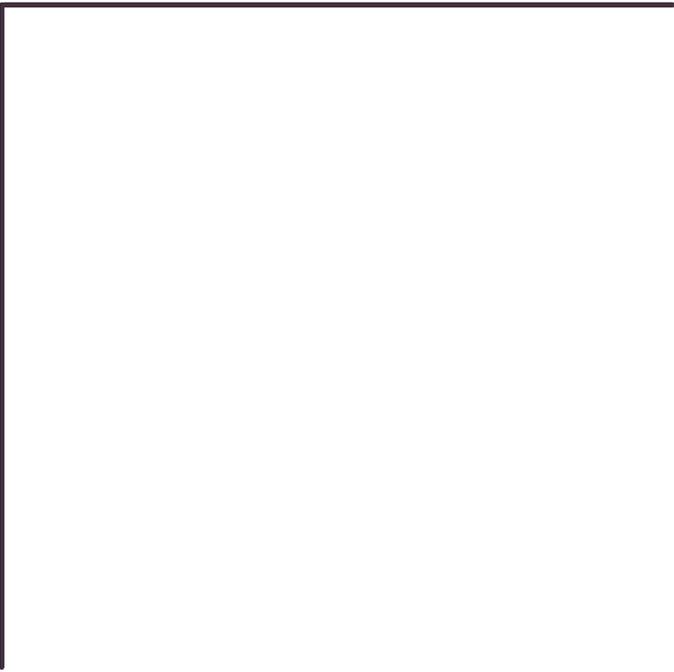
Final Plats will be processed and approved in accordance with Article II of Section 22, Subdivision Regulations, of the Avondale Municipal Code.

3.7 *School Facilities*

The Owners intend to enter into agreements with both the Pendergast Elementary School District and the Tolleson Union High School District to make per dwelling unit contributions to ensure that the districts have adequate facilities to accommodate any new students generated by the development of the residential areas of the Entorno project.

3.8 *Phasing*

Entorno's project phasing shall consist of two phases. Phase I shall be the construction of the "backbone" infrastructure including off-site improvements, internal collector, local streets, and drives, sidewalks, water, sewer and drainage systems, street lighting, and utilities such as electricity, communications, gas, and cable. Phase II shall be the development of the individual parcels and pads within the Project site and is market-driven. A revised phasing schedule will be provided to the City of Avondale once vertical development opportunities are known.



Section 4.0 - Infrastructure

Section 4.0 - Infrastructure

4.1 Traffic Circulation and Street Design Criteria

Primary access to the site is currently provided via 99th Avenue along the east boundary and Indian School Road along the north boundary (**Figure 27, Master Circulation Plan**). Within Entorno, a central boulevard will serve as the main thoroughfare through the project, while minor collector streets will serve to connect the residential areas with the commercial portions of the Project. The residential neighborhoods will be served by private accessways and private drives while the commercial areas will utilize driveways and other access roads. The overall design of the street circulation plan is to maximize commercial accessibility and minimize cut-through traffic through Entorno's neighborhoods and the adjacent Westwind neighborhood.

The Project Developer retained Task Engineering to conduct a traffic impact study for the Project (submitted under separate cover). The study lists points of access to and from Entorno, average daily trip generation for each of the proposed land uses, and recommended traffic signal locations and roadway improvements. A revised traffic study and comprehensive traffic modeling will be completed once a final site plan has been determined.

Currently, 99th Avenue and Indian School Road are four lane arterials with two-way center turn lanes. According to the City of Avondale's Transportation Plan of October 2006, both of these streets are classified as arterial streets. The ultimate build-out planned is six-lanes with center landscaped medians. According to the transportation plan, the cross section width is 130-feet with 65-foot half-street rights-of-way. Both streets have Maricopa County roadway easements and are maintained by the county, however only Indian School Road is listed as a County Road of Regional Significance. The county's cross section width for Indian School Road is 140-feet with a 70-foot wide half-street right-of-way. It is presumed the City of Avondale will annex Indian School Road in the future; therefore the ultimate right-of-way will be 130-feet. If annexation does not occur, the ultimate right-of-way will be 140-feet. The Project team will coordinate with the county and the City of Avondale regarding the proposed rights-of-way.

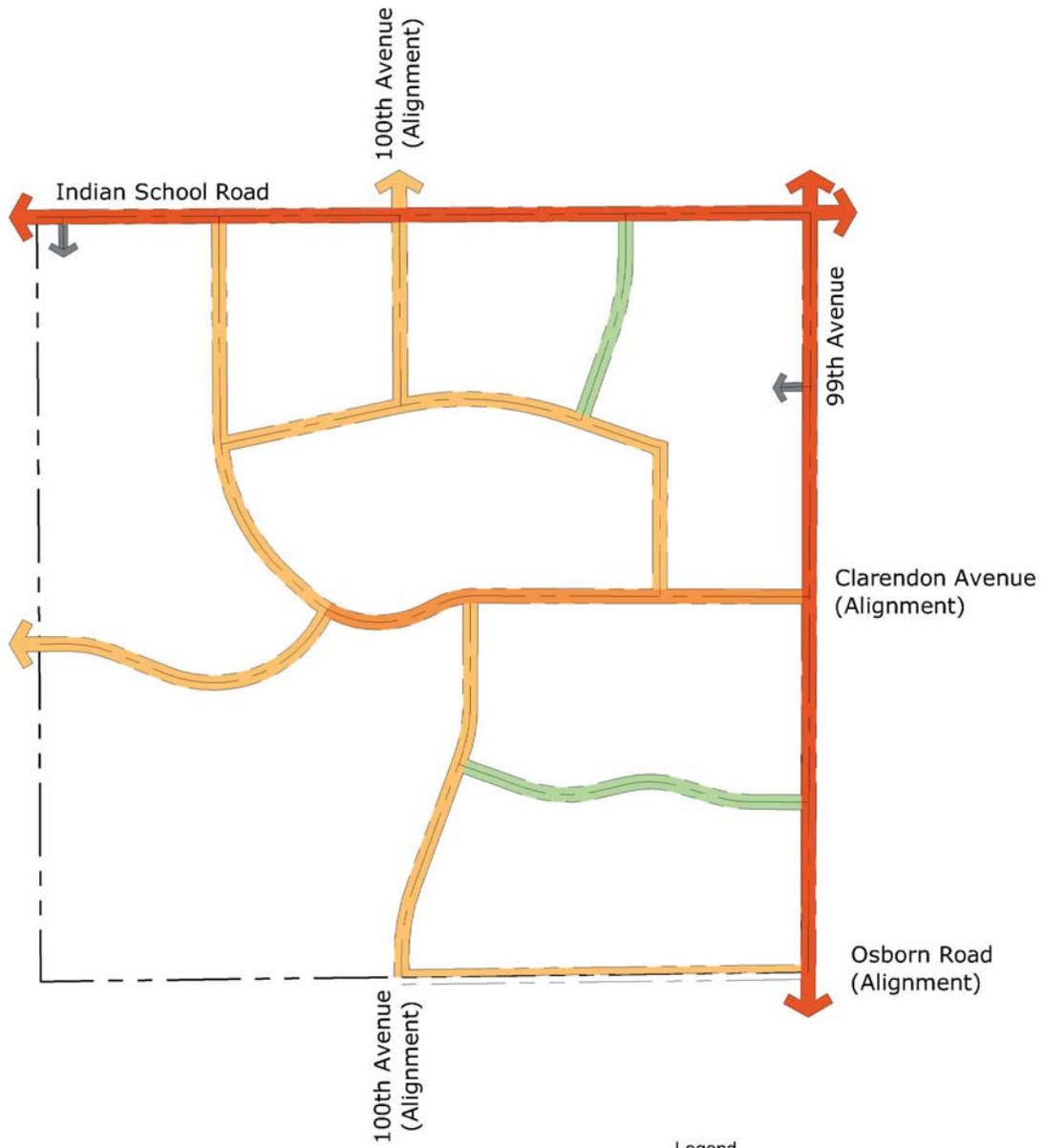


Figure 27 - Master Circulation Plan

Another design parameter for the arterial streets is that the intersection of 99th Avenue and Indian School Road will need to taper to a 160-foot wide right-of-way, (80-foot half right-of-way) to accommodate additional turn lanes for the efficient flow of traffic through this intersection. With the construction and development of Entorno, only half street improvements to the centerlines of 99th Avenue and Indian School Road will be completed.

Entorno will be served by one major collector and seven minor collector streets. The major collector street is located on the alignment of Clarendon Avenue from the center of the Project to 99th Avenue. The minor collector streets include a north-south alignment approximately 660-feet west of 100th Avenue connecting to the major collector, the continuation of Clarendon Avenue through the residential parcels to the Westwind subdivision, 100th Avenue south of Clarendon Avenue to Osborn Road, half-street improvements for Osborn Road from 99th Avenue to 100th Avenue, and three other collector streets located internally within the commercial parcels.

Private accessways and private drives are proposed to have 30-foot and 24-foot rights-of-way measured from the back-of-curb to back-of-curb, respectively. The private accessways are used for the most part much like a local street, collecting traffic from the residential areas to the collector street. The private drives are designed for use within the auto-court type residential areas. Gated entranceways may be provided on the private accessways.

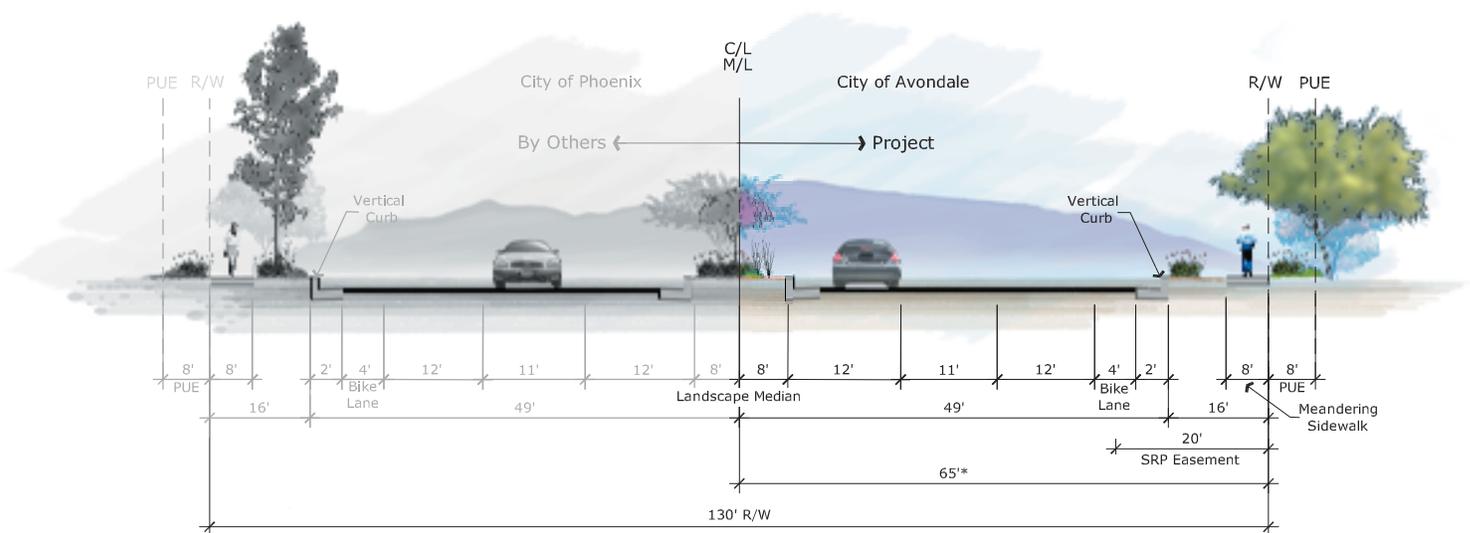
Currently, the only signalized intersections near Entorno are located at 99th and 103rd Avenues on Indian School Road. Based on the Traffic Impact Study, intersections warranting additional traffic signals are proposed at 100th Avenue and Indian School Road, and 99th Avenue at Clarendon Avenue.

A. Street Design Criteria and Conceptual Streetscape Theming

The design of the streets is to maximize traffic flow, while also providing maximum safety for vehicles and pedestrians. The seven cross-sections (**Figures 28-31**) include the 6-Lane Arterial Street, Major and Minor Collector Streets, Private Accessways and Private Drive. These cross-sections also depict the Conceptual Streetscape as described in other sections of this document. Minimum development standards for each classification of roadway are based on the City of Avondale Engineering Design Standards-Section II, Streets-Part A and/or D. Paving Requirements with minor modifications outlined as follows:

1. Arterial Streets: Arterial streets have a 130-foot right-of-way and are primarily developed to connect to the internal collector streets (**Figure 28 Arterial Street Cross-section and Conceptual Streetscape**). Indian School Road is identified as a 6-Lane Urban Principal Arterial Street and is a road of Regional Significance as classified by the Maricopa County Department of Transportation. This right-of-way has a 140-foot wide section. However, the City of Avondale may in the future annex Indian School Road into the city; therefore a 130-foot road right-of-way is proposed in anticipation of the future condition. Contiguous to the eastern boundary of Entorno, 99th Avenue is identified as a 6-Lane Arterial Street. The intersection of 99th and Indian School Road will be designed with a 160-foot wide right-of-way to accommodate additional turning lanes. The design criteria are outlined in **Table 4** as follows:

Table 4. Arterial Streets	
Per City of Avondale Transportation Plan, October, 2006	
Maximum Street Length	Not applicable.
Maximum Centerline Deflections	As determined by the City or other responsible agency.
Maximum Angle at Intersections, Arterial to Arterial	As determined by the City or other responsible agency.
Minimum Tangent at Intersection	As determined by the City or other responsible agency.
Minimum Tangent Between Reverse Curves	As determined by the City or other responsible agency.
Minimum Radius	As determined by the City or other responsible agency.
Intersection Offsets (jog), Collector to Collector	250 feet
Minimum Street Grade	For concrete or asphalt streets with concrete gutters shall be -0.25 percent.



6-Lane Arterial Cross-section and Conceptual Streetscape

99th Avenue - Half Street (Looking South)
 Indian School - Half Street (Looking East)

* 65' Presuming the City of Avondale annexes R/W
 70' if the City of Avondale annexation does not occur.

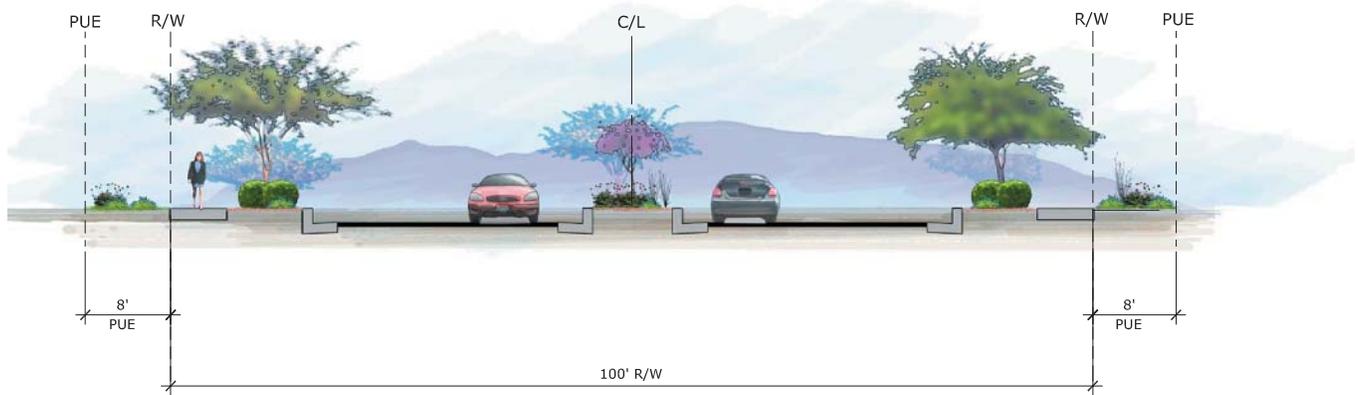
Figure 28 - Arterial Street Cross-section and Conceptual Streetscape

- 2. Major Collector Streets:** The major collector street has 100 feet of right-of-way and is primarily developed to connect the minor collector streets and the private accessways to the arterial streets (**Figure 29 Major/Minor Collector Street Cross-section and Conceptual Streetscape**). Clarendon Avenue, east of 100th Avenue alignment is identified as a major collector street. **Table 5** explains the design criteria as follows:

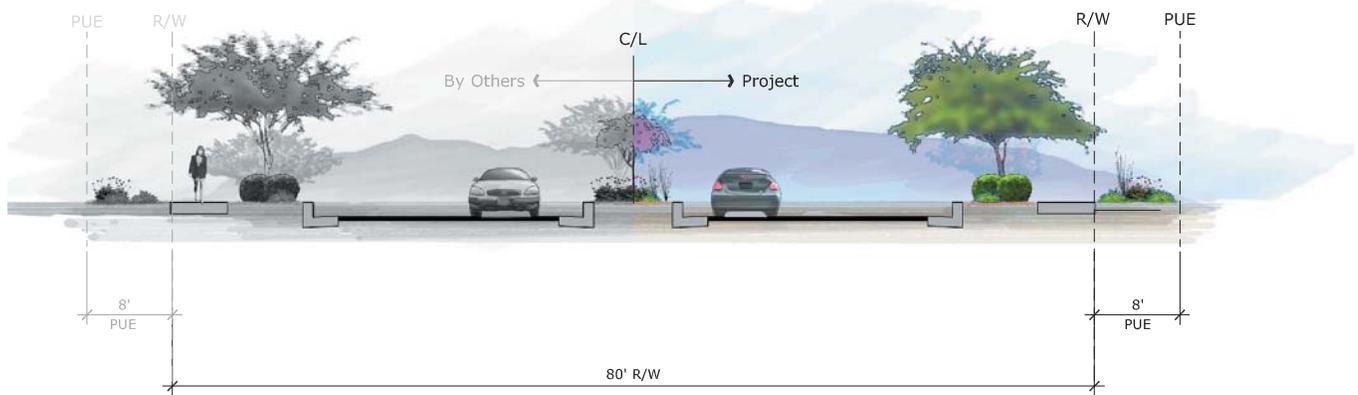
Table 5. Major Collector Streets	
Per City of Avondale Transportation Plan, October, 2006	
Maximum Street Length	Not applicable.
Maximum Centerline Deflections	10 degrees
Maximum Angle at Intersections, Collector to Collector or Arterial	90 degree angle or radial to curve intersecting arterial or ± 15 degrees for other street intersections.
Minimum Tangent at Intersection	150 feet, measured from the right-of-way of the intersection, unless the curve entering the intersection exceeds 500 feet.
Minimum Tangent Between Reverse Curves	100 feet
Minimum Radius	250 feet
Intersection Offsets (jog), Collector to Collector	225 feet
Half Streets	Minimum pavement width of 24 feet to accommodate two-way traffic shall be allowed as an interim condition for Osborn Road or under special circumstances as approved by the City Engineer.
Minimum Street Grade	For concrete or asphalt streets with concrete gutters shall be -0.25 percent.

- 3. Minor Collector Streets:** Minor collector streets have 80 feet of right-of-way and are developed to connect the parking drives to the major collector streets and arterial streets. Osborn Road will be constructed as an interim condition per the City of Avondale requirements as outlined in **Table 6**. Additional public minor collector streets shall be constructed (**Figures 29-30, Minor Collector Street Cross-sections**) within the commercial component of the development along with one minor collector street connection to the Westwind subdivision located on the Clarendon Avenue alignment.

Table 6. Minor Collector Streets	
Per City of Avondale Transportation Plan, October, 2006	
Maximum Street Length	Not applicable.
Maximum Centerline Deflections	10 degrees
Maximum Angle at Intersections, Collector to Collector or Arterial	90 degree angle or radial to curve intersecting arterial or ±15 degrees for other street intersections.
Minimum Tangent at Intersection	150 feet, measured from the right-of-way of the intersection, unless the curve entering the intersection exceeds 500 feet.
Minimum Tangent Between Reverse Curves	100 feet
Minimum Radius	250 feet
Intersection Offsets (jog), Collector to Collector	225 feet
Minimum Street Grade	For concrete or asphalt streets with concrete gutters shall be -0.25 percent.

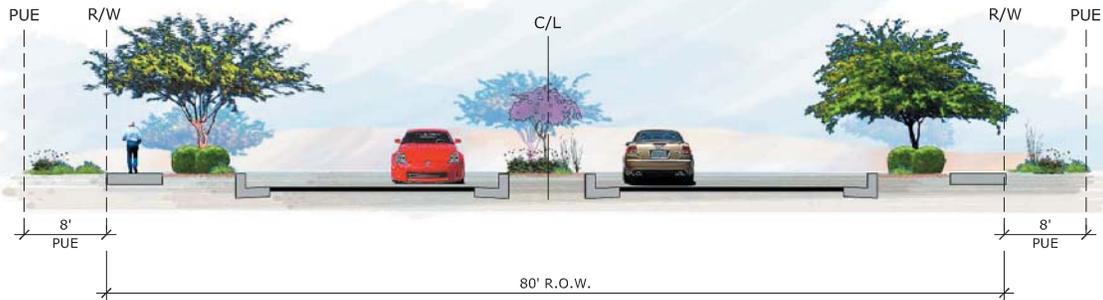


Major Collector Cross-section and Conceptual Streetscape
Clarendon Avenue Alignment

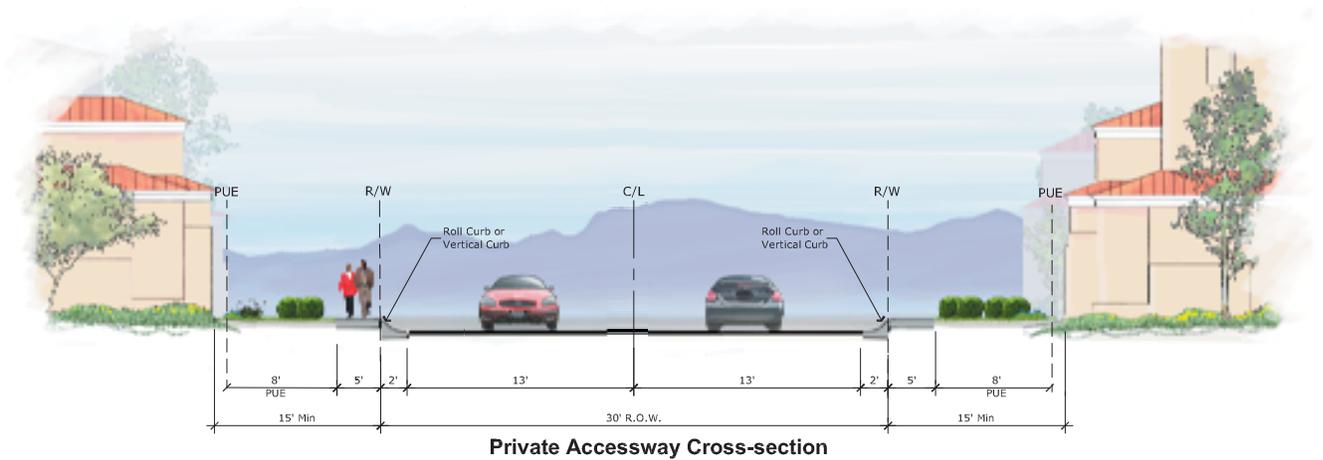


Minor Collector Cross-section and Conceptual Streetscape
Osborn Road - Half Street

Figure 29 - Major/Minor Collector Cross-section and Conceptual Streetscape



Minor Collector Cross-section and Conceptual Streetscape



Private Accessway Cross-section

Figure 30 - Minor Collector Cross-section and Private Accessway Cross-section

- 4. Private Accessways and Private Drives:** Private accessways and drives have 30 feet and 24 feet, respectively, of right-of-way back-of-curb to back-of-curb for residential areas (**Figures 30 and 31, Private Accessway and Private Drive Cross-sections**). Private drives with 24-feet of right-of-way are designed for the auto-court type residential areas. **Table 7** describes the design criteria as follows:

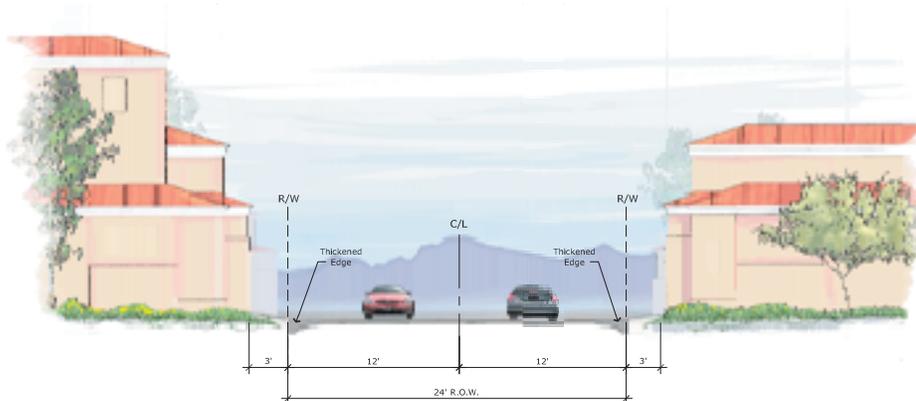
Table 7. Private Accessways and Private Drives	
Per City of Avondale Transportation Plan, October, 2006	
Maximum Street Length	1,500 feet
Maximum Centerline Deflections	10 degrees
Maximum Angle at Intersections	15 degrees
Minimum Tangent Between Reverse Curves	100 feet
Minimum Radius	100 feet
Intersection Offsets (jog), Local to Local	No minimum.
Maximum Cul-De-Sac Length	400 feet measured from the intersection of right-of way lines of the last intersection to the extreme depth cul-de-sac.
Maximum Dead-end Street Without Turn-around	150 feet measured from the intersection of right-of way line to the extreme depth of the dead-end.
Maximum Block Length	1,500 feet
Minimum Street Grade	For concrete or asphalt streets with concrete gutters shall be -0.25 percent.



Private Accessway Cross-section
(For Green-court Type Development)

Notes

1. Travel lane, bike lane, and sidewalk widths to be determined at time of site plan review.



Private Drive Cross-section
(For Auto-court Type Development)

Figure 31 - Private Accessway and Private Drive Cross-section

4.2 Drainage

The result of the Flood Delineation Study for the Salt-Gila Rivers is shown on the Maricopa County Flood Insurance Rate Map (FIRM) No. 04013C2085G, revised September 30, 2005. The property is in Zone "X". Zone "X" is defined as follows:

- Areas of 500-year flood; areas of 100-year flood with average depths of less than one foot or with drainage areas less than one square mile; and areas protected by levees from the 100-year flood.

The project will be designed to provide on-site storage for runoff from a 100-year, 2-hour storm event. The site will also be responsible for collecting adjacent, half-street runoff from 99th Avenue and Indian School Road. Retention will be provided through a combination of surface basins and underground storage (**Refer to the Drainage Findings to Date Memo and the Typical Retention Basin Cross-Section found in the Appendix**). Preliminary studies show the required retention volume for this development is 30.29 ac-ft. This value was calculated using runoff coefficients taken from the Flood Control District of Maricopa County's Hydrology Design Manual.

4.3 Public Utilities and Services

Private utility companies will provide telephone, cable, refuse collection and electrical service. The City will provide water, sewer, police, fire protection and refuse collection for the single-family products. Power lines smaller than 69kV and all other utilities will be placed below ground. The following table summarizes the utility providers, which are discussed further on the following page:

Natural Gas Service

Natural gas service will be provided by Southwest Gas. Utility maps acquired from Southwest Gas show a four-inch line along the south side of Indian School Road. The line is within the future right-of-way; therefore, relocation will not be required.

Alternate Communications Service

Alternate sources for video, high-speed internet, security monitoring and/or other telecommunication services to users within the development may be implemented through an alternative communications provider, in conjunction with, or as an alternate to, Cox Communications and/or Qwest.

In the event such alternate provider is chosen, a permitted head-end compound located within Entorno will be required to support such communications services. The head-end compound is typically forty by fifty (40x50) feet, with a thirteen by eighteen (13x18) foot building and exterior satellite antennae with a perimeter visual buffer.

Electrical Service

Electrical service will be provided by Salt River Project (SRP). Underground lines and street light conduits have been stubbed by the Westwind development on the south side of Indian School Road at 103rd Avenue. These would be extended to the east in Indian School Road and tie into the existing three-phase line along 99th Avenue.

Based on maps obtained from SRP, an overhead 12 kV line and associated power poles exist along the west side of 99th Avenue running the length of the site. The City of Avondale's utility ordinance will require these lines to be converted from overhead to underground. All SRP lines along Indian School Road are located along the north side of the road and should not be in conflict with Entorno's half-road improvements.

There are currently no streetlights located along the Project frontage. Streetlights will be required along Indian School Road and 99th Avenue road frontages.

4.4 Irrigation

There are several irrigation ditches that traverse the Entorno project site. These ditches are either owned and maintained by Salt River Project or are private structures. The ditches convey irrigation water within the existing agricultural fields of the Entorno project site or serve to irrigate fields surrounding Entorno. The irrigation ditches are described below:

- 99th Avenue and Indian School Road: Contiguous to both arterial streets, SRP maintains two open, concrete-lined irrigation ditches. With the development of the Entorno project these ditches are likely to be piped and buried. SRP typically requires the pipes to be constructed a minimum of four (4) feet behind the back of curb with a rededication of a 20-foot wide easement and updated legal descriptions, terms and conditions. Refer to **Figure 28, Arterial Street Cross-section** which depicts the location of the proposed 20-foot easement in relation to ultimate build-out of 99th Avenue and Indian School Road.
- 99th Avenue: Parallel to the 99th Avenue frontage and west of the large, open SRP ditch is a smaller concrete-lined irrigation ditch. This private ditch currently provides water for agricultural needs within the Entorno project site only. As development of Entorno begins, this ditch will be removed.
- 100th Avenue Alignment: A concrete-lined irrigation ditch is centrally located within the Project site along the 100th Avenue alignment. This north-south ditch is also for private use for agricultural needs within the Project site only and will likely be removed once development of Entorno begins.
- 103rd Avenue Alignment: Contiguous to the western boundary line of the Entorno project and located approximately six feet to the west, there is a 10-foot wide SRP-maintained open ditch. This ditch does not need to be piped and buried. East of the ditch, a 16-foot wide unpaved maintenance road is utilized by SRP for direct access to the open ditch and will need to be maintained. The maintenance road encroaches approximately ten feet into the Entorno project site. This maintenance road will remain accessible to the canal and will be incorporated into the Entorno site plan as a pedestrian trail amenity along its entire length from Indian School Road south to the Roosevelt Irrigation District canal (**Figure 9, Conceptual Open Space Plan and Figure 10, Conceptual Pedestrian Path Cross-section**). The Entorno project team will coordinate with SRP and the City of Avondale during the site design review process to meet SRP's maintenance and operation standards right-of-way guidelines and process a multiple-use license agreement for the irrigation ditch.

- **Osborn Road Alignment:** Along the south boundary of Entorno there are two separate open, earth-lined ditches. The first ditch is south of the Entorno property line extending from 99th Avenue to approximately the 100th Avenue alignment. This ditch does straddle the southeastern portion of Entorno near 99th Avenue, near the location where the proposed half-street improvements to Osborn Road will connect with 99th Avenue. This private ditch with a recorded easement document currently provides irrigation to the agricultural uses on the John F. Long parcel south of Entorno. It will need to remain in service as long as required by the adjacent uses and any impacts to it minimized with the anticipated construction of the Osborn Road half-street improvements.

The second ditch along Entorno's southern boundary resides within an easement inside the Entorno project area from approximately 100th Avenue west to the 103rd Avenue alignment. This private ditch is used to irrigate the agricultural uses within the Entorno project site and will likely be removed once development of Entorno occurs.

4.5 Wastewater System

Wastewater service for Entorno will be provided by a combination 15-inch and 18-inch gravity sewer trunk line commencing at the southwest corner of the Project running south in an easement to the existing 18-inch sewer trunk line located at Thomas Road and the 103rd Avenue alignment (Figure 32, Conceptual Water and Wastewater System). The existing 18-inch sewerline is approximately 17-foot deep and the stub-out is located on the west side of the Roosevelt Irrigation District Canal; therefore, the proposed sewer trunk line will need to be installed under the canal. An easement will be required and obtained for the proposed sewer line through the property to the south of the Entorno site, owned by John F. Long Properties.

The site slopes to the southwest, therefore a sewerline easement along the western edge of the property is the preferred alignment for both the Entorno and Long Properties.

The Entorno development team has been coordinating closely with Jim Miller, a representative of John F. Long Properties. Based on conversations with Mr. Miller, the proposed alignment along the John F. Long western property is preferred because a site plan for the John F. Long property has not been completed, therefore it is difficult to know exactly where the future improvements will be. In addition, the property is currently in cultivation and will remain so for the foreseeable future and there is no desire to bisect the fields with sewerline construction and a later easement.

4.6 Potable Water System

Water service to Entorno will be provided from an offsite source at 103rd Avenue and Thomas Road. At this time, it is not anticipated that a waterline will be extended along Indian School Road, therefore the water will need to be sourced from the south. A 16-inch waterline is proposed to convey water from 103rd Avenue and Thomas Road with a 12-inch loop through the Entorno project connecting at Clarendon Avenue and 103rd Avenue Alignment.

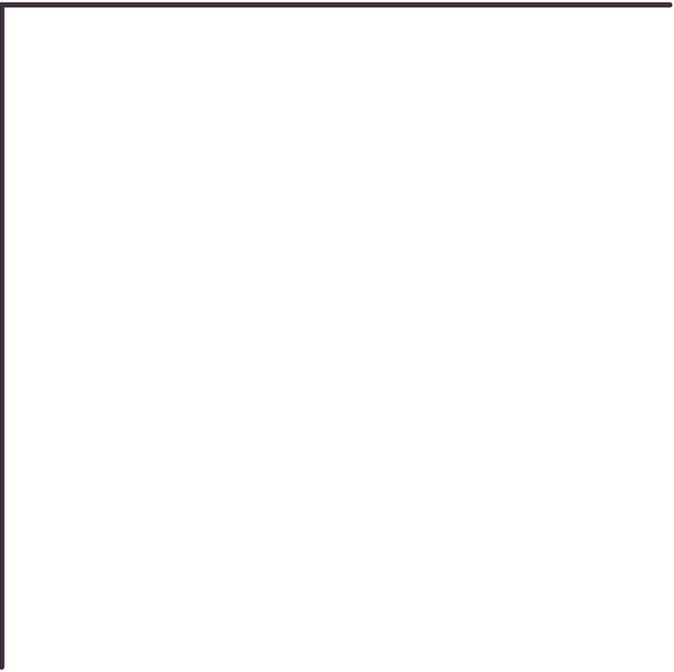
The Conceptual Water System (**Figure 32, Conceptual Water and Wastewater System**) enters Entorno from the southeast corner of project site and extends north and west through the site to connect with the Westwood subdivision at the 103rd Avenue alignment and Clarendon Avenue. A connection to the Westwind subdivision waterline will strengthen Entorno’s water supply. However, the water line connection will need to be installed under the irrigation canal to maintain clearance.

An additional 12-inch waterline may be constructed along the 100th Avenue alignment from Clarendon Avenue south to Osborn Road and north to Indian School Road. This additional water line at the midsection point could serve as a potential connection for any developments proposed to locate on the John F. Long property to the south. This is consistent with the City of Avondale Water Master Plan which calls for the location of 12-inch water lines located along midsection lines.

The final design of the waterline is dependant on the Entorno final site plan, planned road rights-of-way for eventual location of the waterlines, and the water service model being conducted by the Project development team. Modeling the water system will allow the water pipes to be sized accordingly to the water demands of the Project site and will take into account the existing City of Avondale water system demands and pressures. The Project team will also conduct fire flow tests to determine the City’s water flow and pressure capacities.



Figure 32 - Conceptual Water and Wastewater System



Figures







Legend

-  Conceptual Pocket Park
-  Conceptual Neighborhood Park
-  Pedestrian Path
-  RID Canal - Pedestrian Trail
-  Potential Water Feature

Figure 2 - Conceptual Project Layout

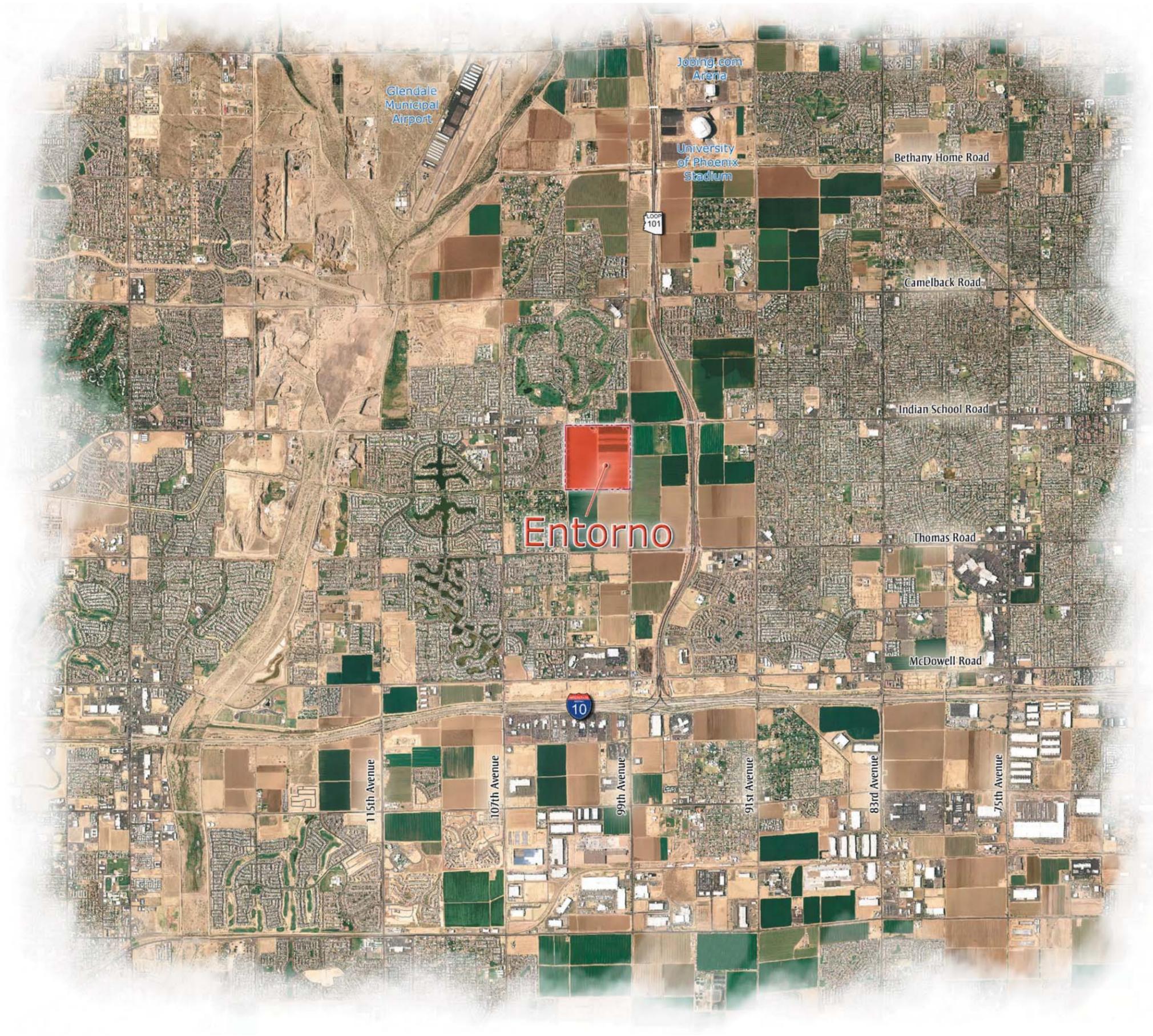


Figure 3 - Regional Vicinity Map

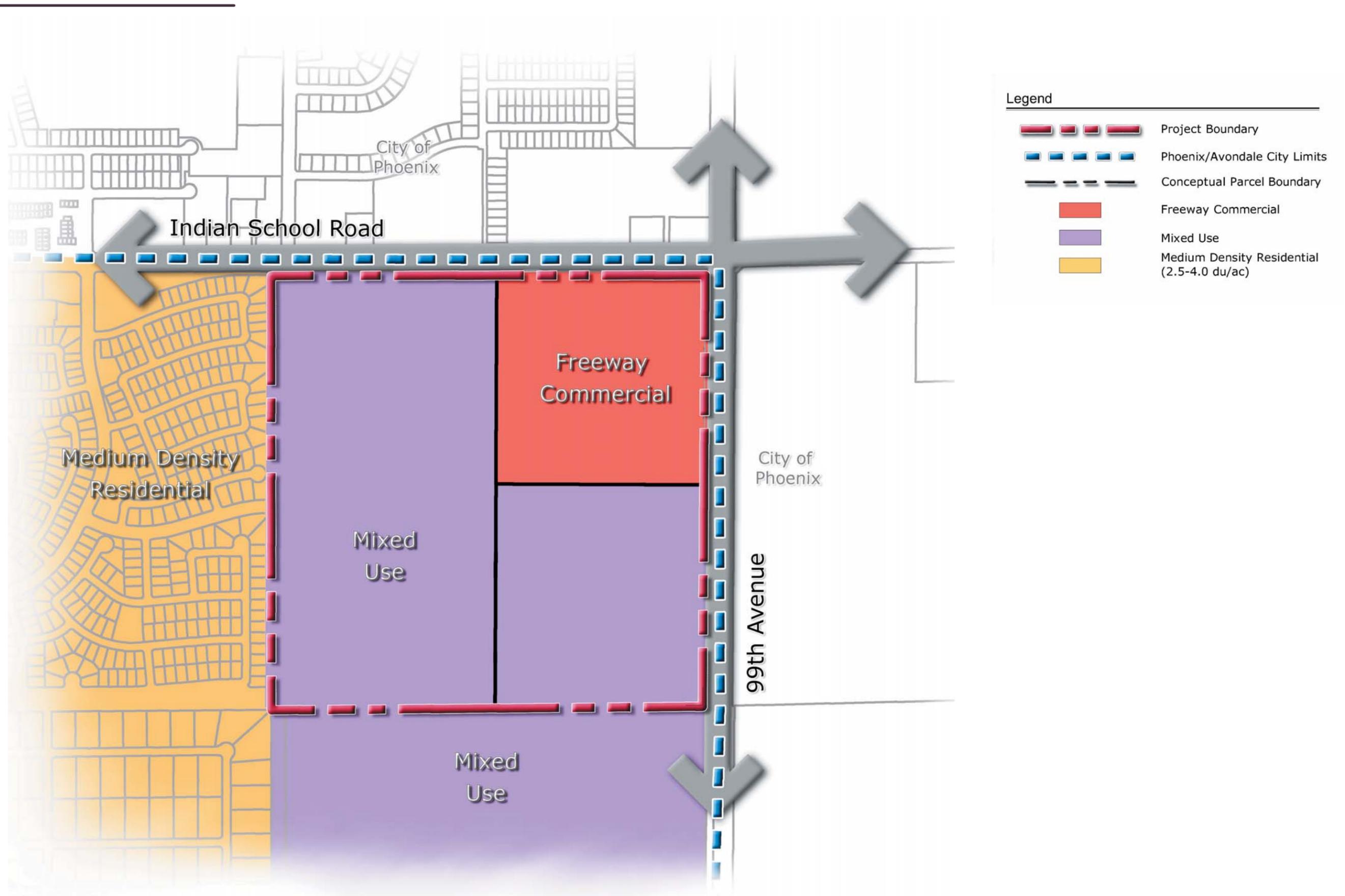


Figure 4 - General Plan Map (Showing Existing Parcels)

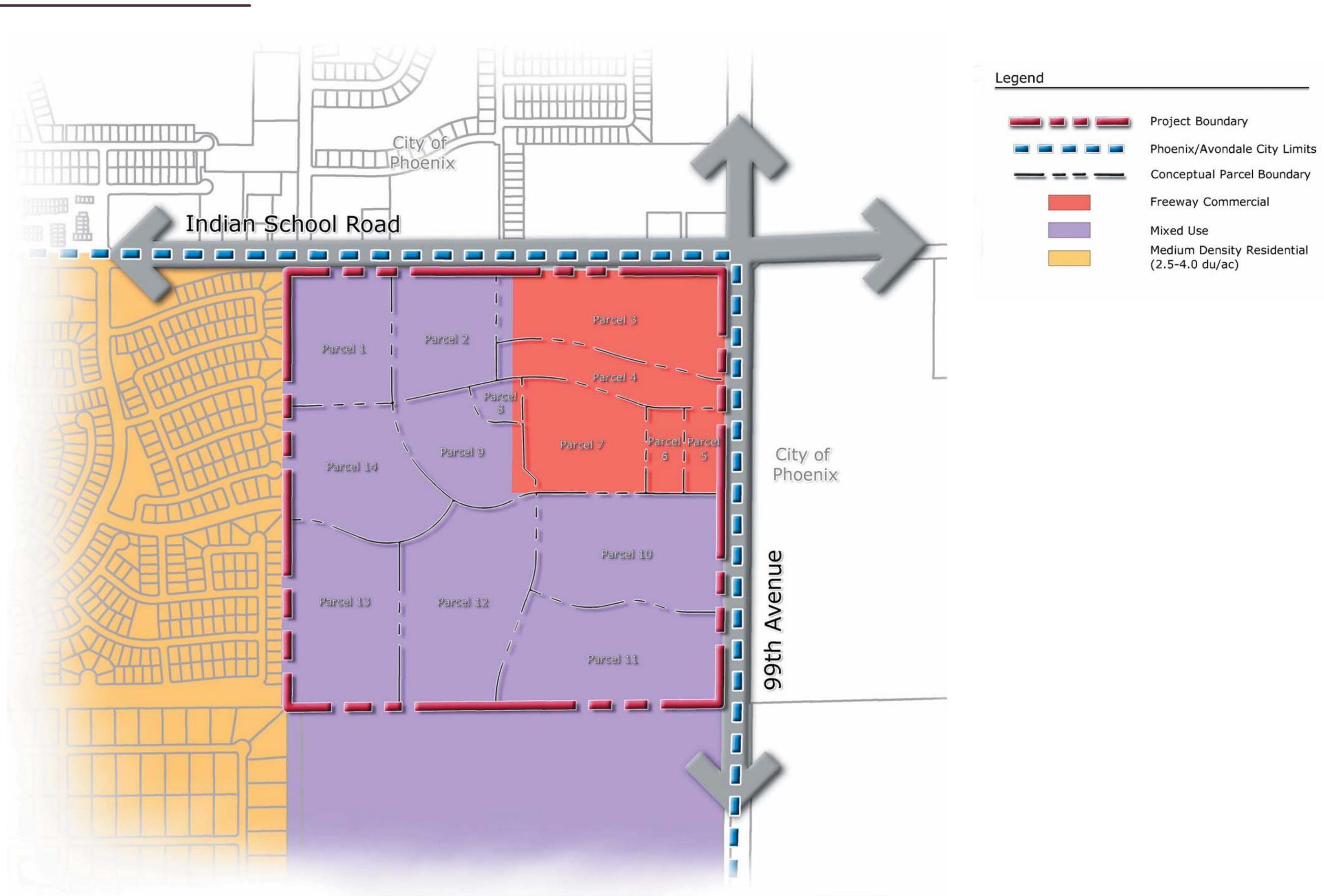


Figure 5 - General Plan Map (Showing Proposed Parcels)

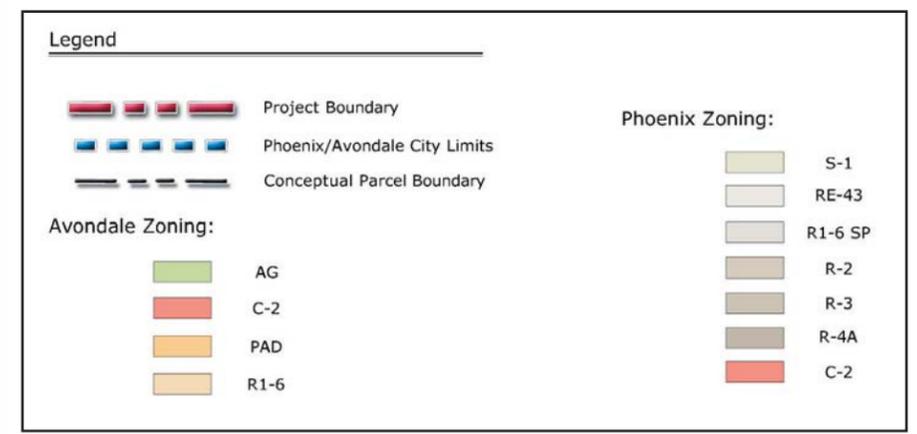
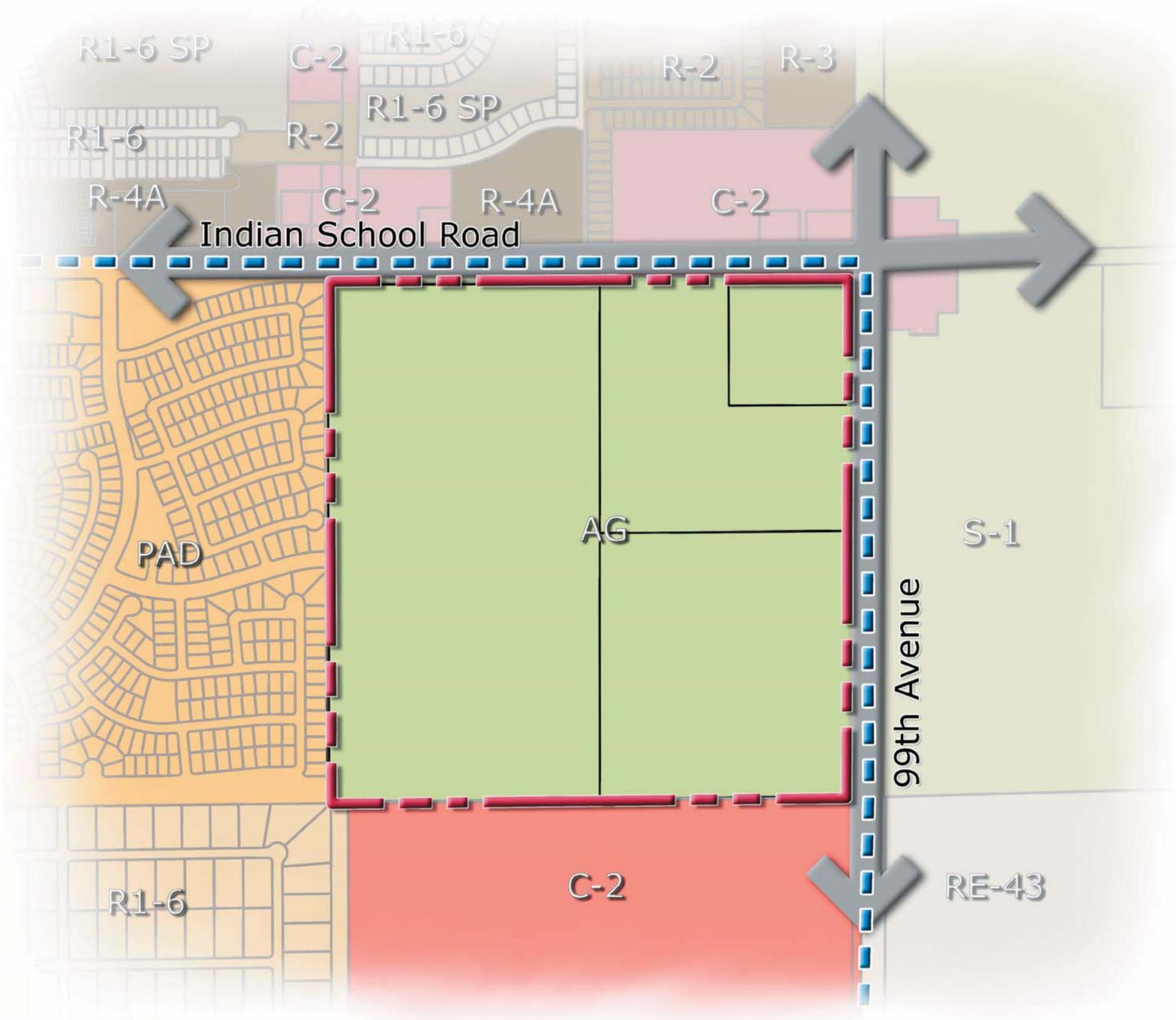


Figure 6 - Existing Zoning

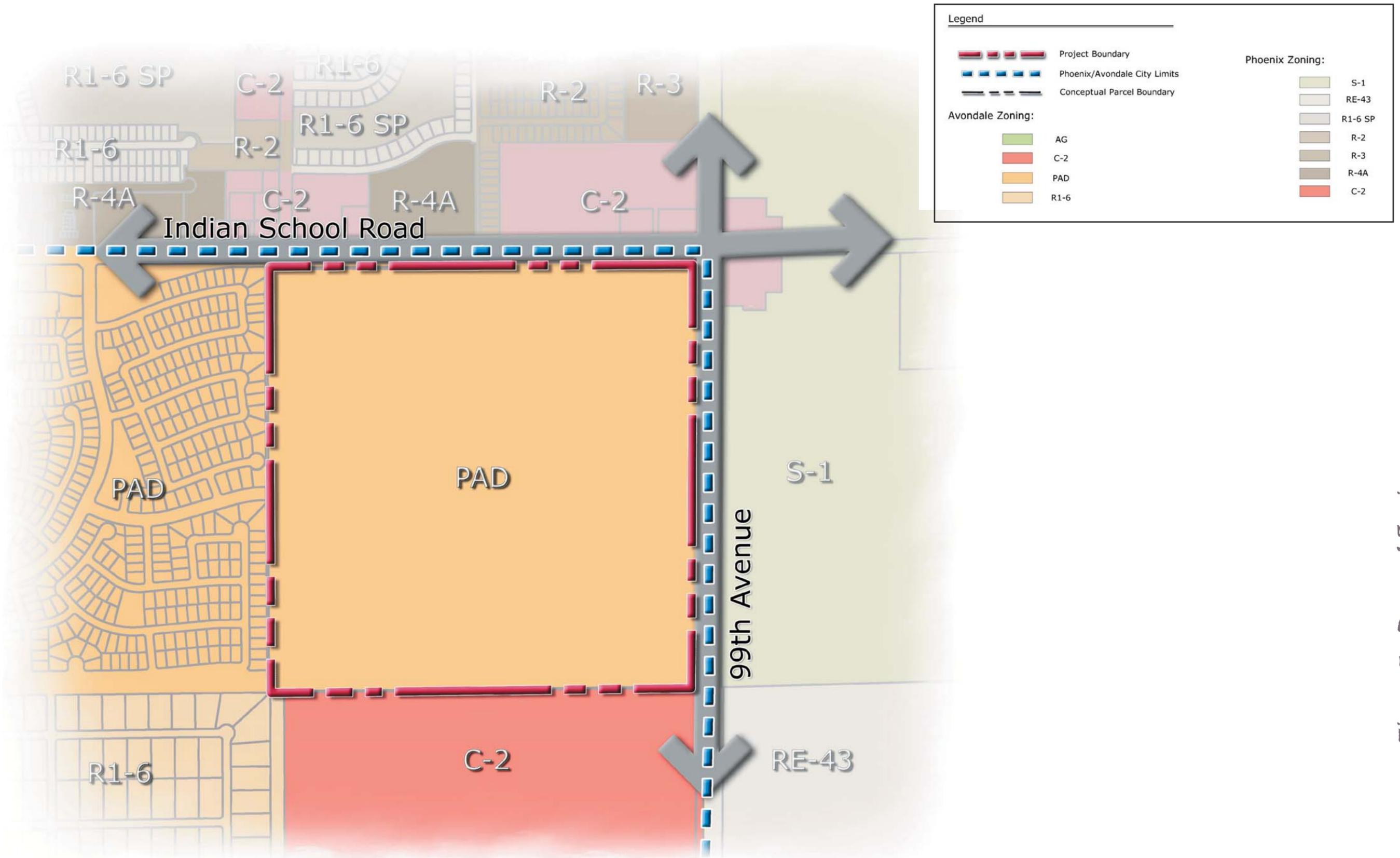


Figure 7 - Proposed Zoning

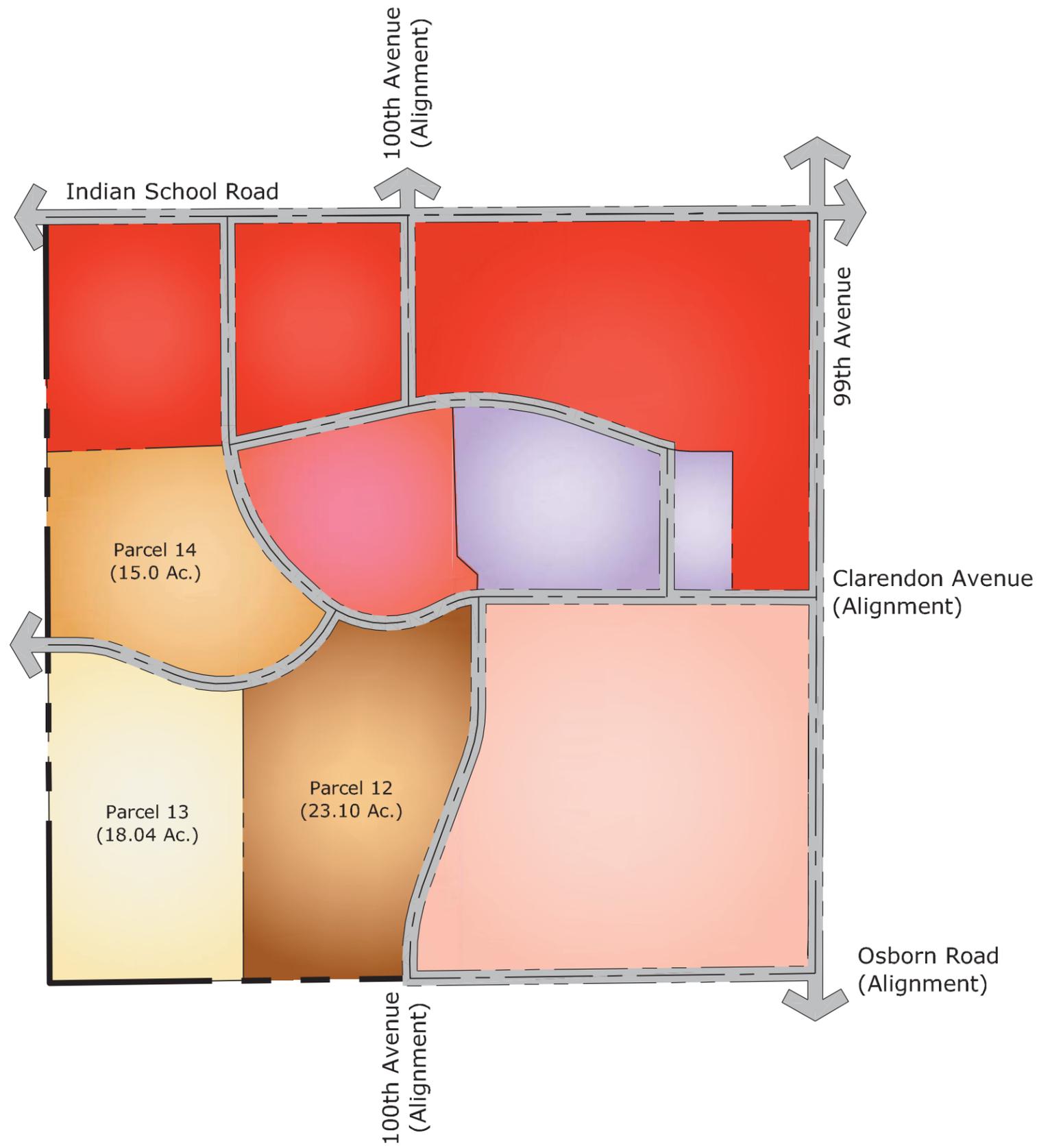


Table 1. Land Use Summary

Land Use Category	Gross Acreage	Net Acreage	Proposed Density ⁽¹⁾ (du/ac)	Maximum # of Units ⁽¹⁾ (Gross)	Maximum # of Units ⁽¹⁾ (Net)
Residential (Parcels 12, 13 and 14)					
Residential I (Parcel 13)	18.04	14.55	4.0 - 7.0	126	-
Residential II (Parcel 14)	15.00	11.08	8.0 - 14.0	210	-
Residential III (Parcel 12)	23.10	15.90	15.0 - 24.0	-	381
Residential Sub-Total	56.14	41.53	-	336	381
Regional Commercial/Office (Parcels 1 - 5)	59.29	45.03	-	-	-
Neighborhood Commercial/Office (Parcels 8 - 9)					
Office/Commerce Park (Parcels 10 - 11)	31.49	30.87	-	-	-
Urban Mixed Use (Parcels 6 - 7)	16.15	10.02	20.0 - 60.0	-	601
Total	163.07	127.45		336	982

Note:

1. The ratio of dwelling units per acre. In Residential I and II, the density and maximum number of units shall be based on gross site area of land to be developed, including land dedications at no cost for proposed streets, alleys, or other right-of-ways, but excluding lands dedicated prior to development. In Residential III, density and maximum number of units shall be based on net site area. Net site area is the remaining ground area of the gross site area after deleting all portions for proposed perimeter right-of-ways and alleys.

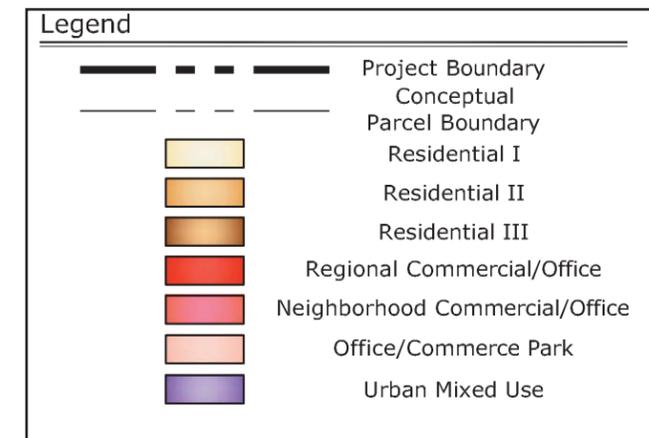


Figure 8 - Land Use Plan



Typical Neighborhood Park

Potential Amenities Include:

- Pedestrian Connections
- Shaded Tot Lot
- Active and passive turf areas
- Ramada/Barbeque Areas
- Sport Court



Typical Pocket Park

Potential Amenities Include:

- Pedestrian Connections
- Shaded Tot Lot
- Active and passive turf areas
- Ramada/Barbeque Areas



Village Center

Potential Amenities Include:

- Pedestrian Connections
- Potential Water Feature or Amphitheater
- Outdoor Seating
- Plazas
- Courtyards

Promenade

Shops on ground floor such as cafes and boutiques

Pedestrian walkways will provide connections between buildings on adjacent parcels.

Legend	
	Conceptual Pocket Park
	Conceptual Neighborhood Park
	Pedestrian Path
	RID Canal - Pedestrian Trail
	Potential Water Feature

Pedestrian Connection to RID canal network

99th Avenue

Indian School Road

Parcel 1

Parcel 2

Parcel 3

Parcel 4

Parcel 9

Parcel 14

Parcel 13

Parcel 12

Parcel 7

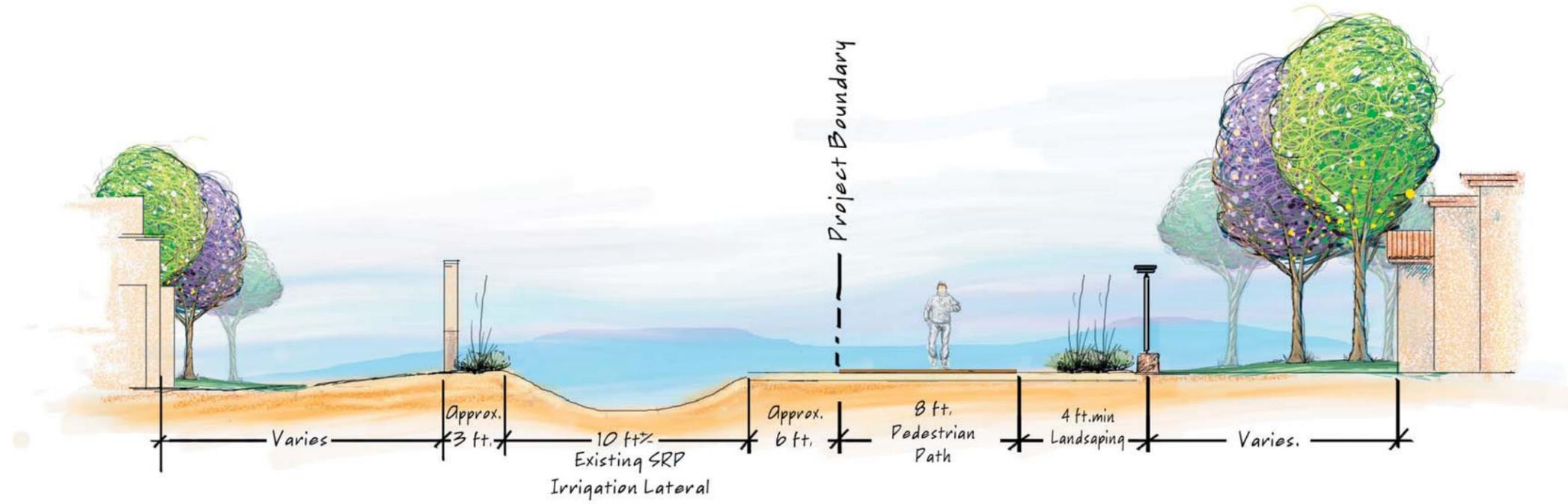
Parcel 8

Parcel 5

Parcel 10

Parcel 11

Figure 9 - Conceptual Open Space Plan

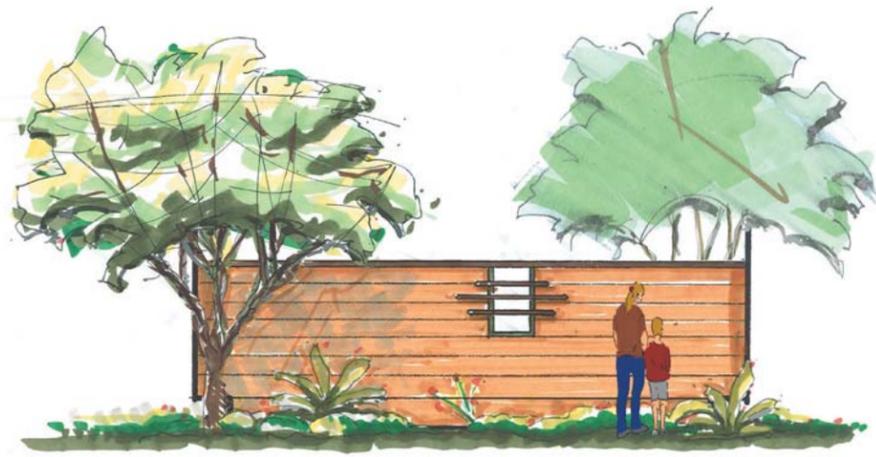


*Conceptual Pedestrian Path Cross-Section
(Along Western Boundary)*

Note:
 -Conceptual rendering is not to scale
 -Perspective is viewing North



*Conceptual Park Cross-Section
(with Potential Water Feature shown)*



Conceptual Wall - Option 1



Conceptual Wall - Option 2



Conceptual Wall - Option 3



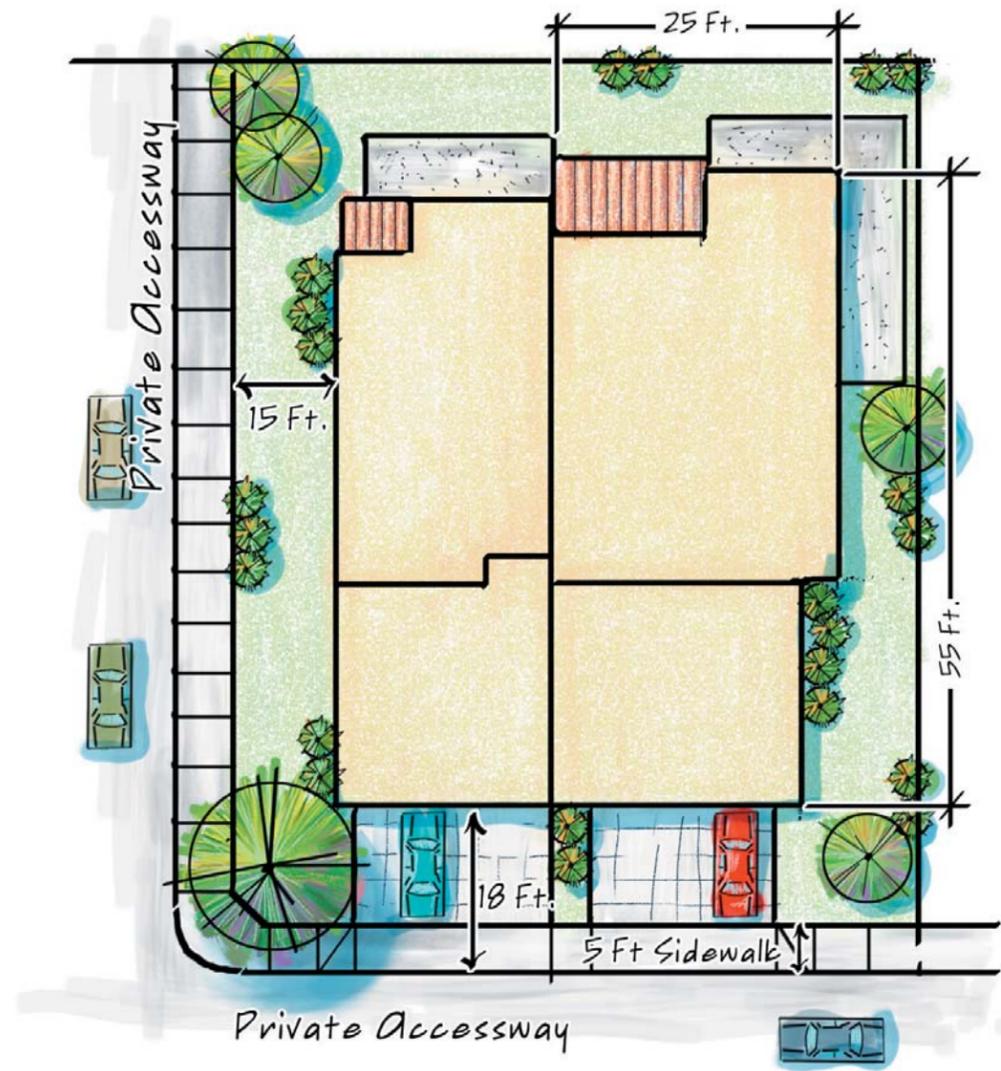
Commercial Entry Monumentation



Residential Entry Monumentation

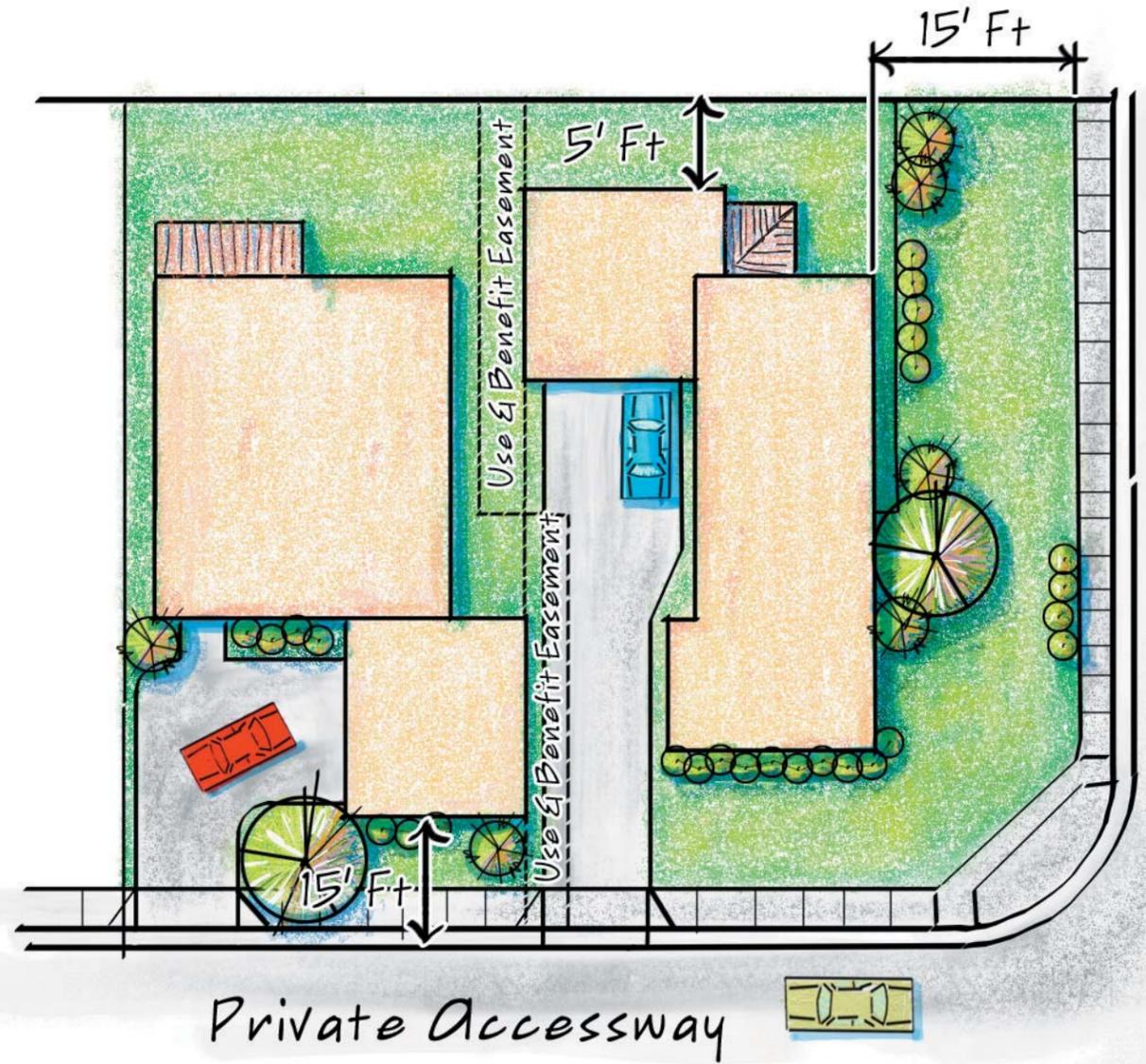


Product Type	Land Use Category			
	Residential I	Residential II	Residential III	Urban Mixed Use
Proposed Density Range	4.0 - 7.0 du/ac	8.0 - 14.0 du/ac	15.0 - 24.0 du/ac	20.0 - 60.0 du/ac
Single Family - detached	X	X	-	-
Front, Structure to Private Accessway	15'	15'	-	-
Front Facing Garage to Private Accessway	18'	18'	-	-
Rear Yard	5'	3'	-	-
Side Yard, interior	5'	3'	-	-
Side Yard to Private Accessway	15'	15'	-	-
Townhomes - single family detached	X	X	-	-
Front, Structure to Private Accessway	15'	15'	-	-
Front Facing Garage to Private Accessway	18'	18'	-	-
Rear Yard	5'	3'	-	-
Side Yard, interior	5'	3'	-	-
Side Yard to Private Accessway	15'	15'	-	-



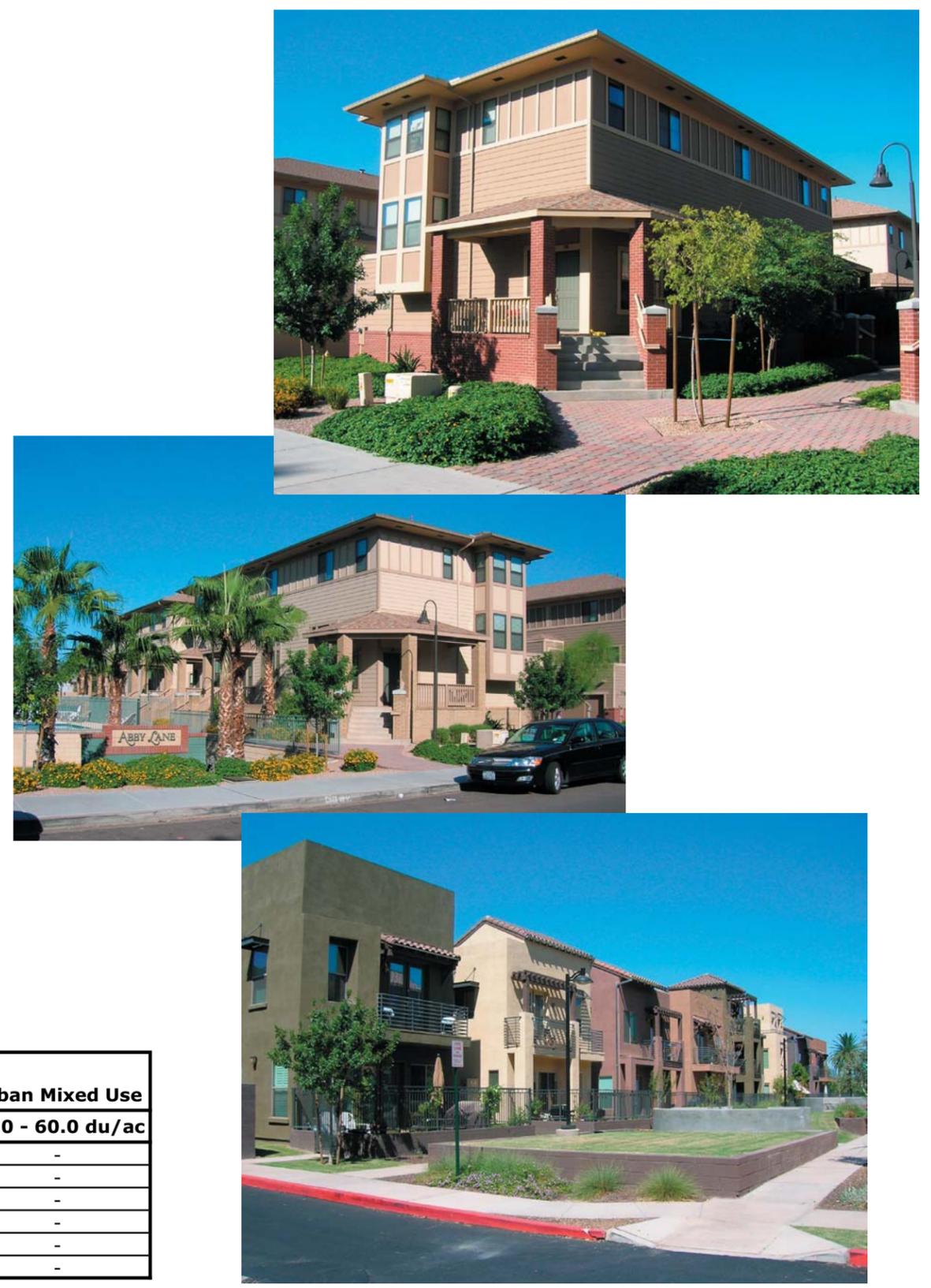
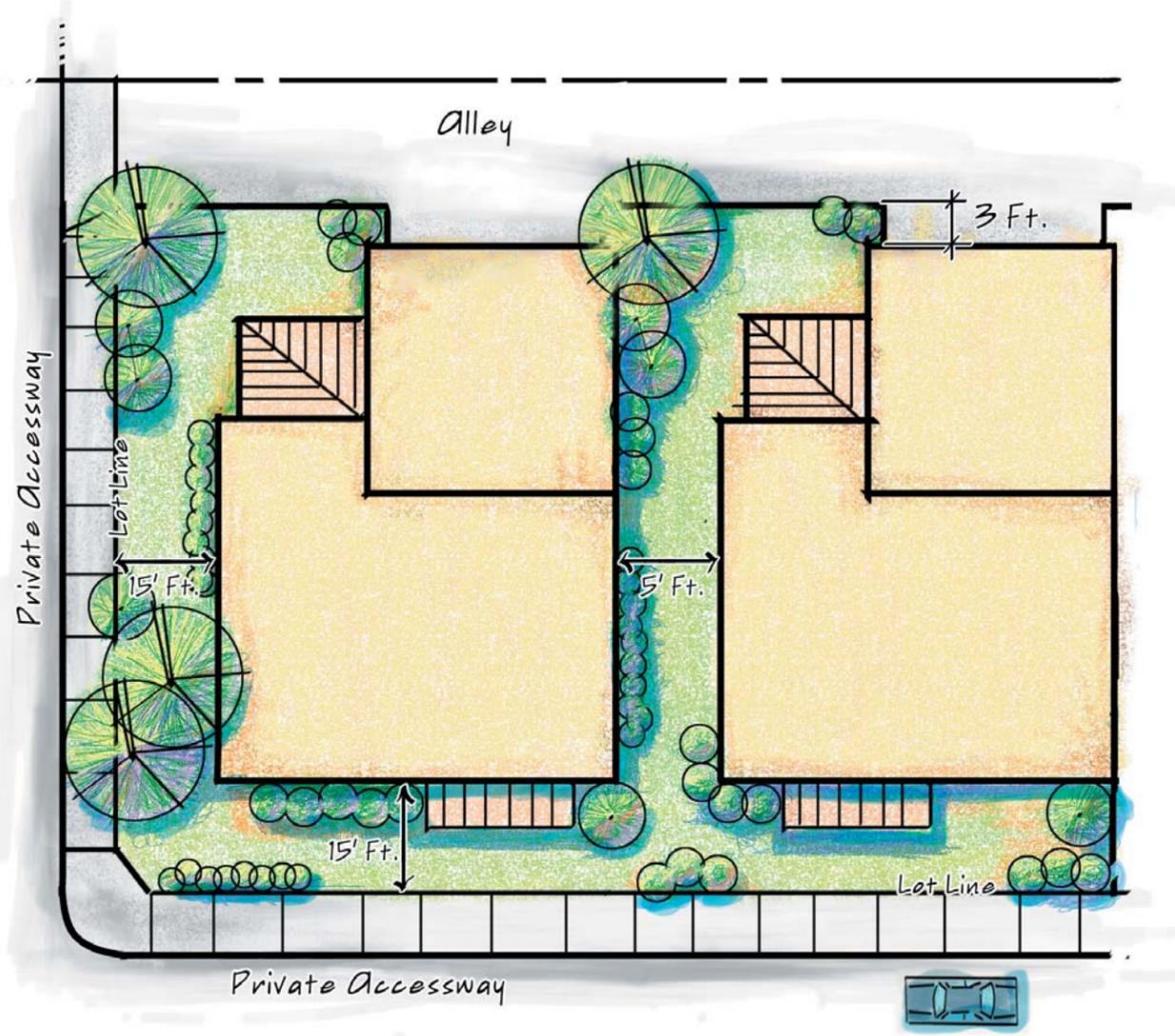
Product Type	Land Use Category			
	Residential I	Residential II	Residential III	Urban Mixed Use
Proposed Density Range	4.0 - 7.0 du/ac	8.0 - 14.0 du/ac	15.0 - 24.0 du/ac	20.0 - 60.0 du/ac
Single Family – attached	X	X	-	-
Front, Structure to Private Accessway	15'	15'	-	-
Front Facing Garage to Private Accessway	18'	18'	-	-
Rear Yard	5'	3'	-	-
Side Yard, interior	N/A	N/A	-	-
Side Yard to Private Accessway	15'	15'	-	-
Townhomes – single family attached	X	X	-	-
Front, Structure to Private Accessway	15'	15'	-	-
Front Facing Garage to Private Accessway	18'	18'	-	-
Rear Yard	5'	3'	-	-
Side Yard, interior	N/A	N/A	-	-
Side Yard to Private Accessway	15'	15'	-	-
Duplex - multifamily attached	-	-	X	-
Front, Structure to Private Accessway	-	-	15'	-
Front Facing Garage to Private Accessway	-	-	18'	-
Rear Yard	-	-	3'	-
Side Yard, interior	-	-	N/A	-
Side Yard to Private Accessway	-	-	15'	-

Figure 13 - Conceptual Single Family, Townhomes and Duplex (Attached)



Private Accessway

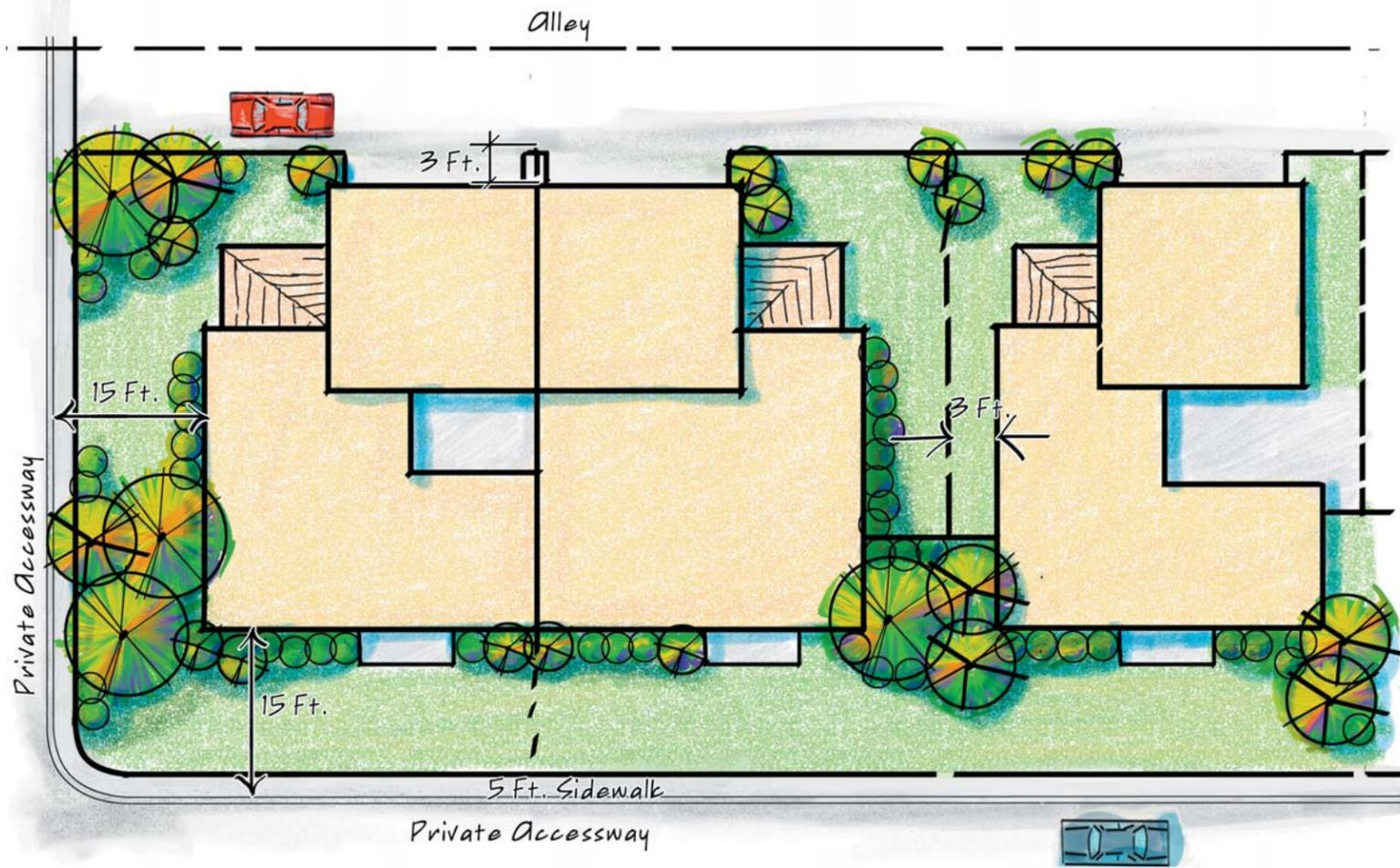
Product Type	Land Use Category			
	Residential I	Residential II	Residential III	Urban Mixed Use
Proposed Density Range	4.0 - 7.0 du/ac	8.0 - 14.0 du/ac	15.0 - 24.0 du/ac	20.0 - 60.0 du/ac
Z-Lots - single family detached	X	X	-	-
Front or Side Garage of Structure	15'	15'	-	-
Front Facing Garage to Private Accessway	18'	18'	-	-
Rear Yard	5'	3'	-	-
Side Yard, Interior Use & Benefit Easement	3'	3'	-	-
Side Yard to Private Accessway	15'	15'	-	-



Product Type	Land Use Category			
	Residential I	Residential II	Residential III	Urban Mixed Use
Proposed Density Range	4.0 - 7.0 du/ac	8.0 - 14.0 du/ac	15.0 - 24.0 du/ac	20.0 - 60.0 du/ac
Zero Lot Line - single family detached	X	X	-	-
Front, Structure to Private Accessway	15'	15'	-	-
Front Facing Garage to Private Accessway	18'	18'	-	-
Rear Yard	5'	3'	-	-
Side Yard, interior	5', one side	5', one side	-	-
Side Yard to Private Accessway	15'	15'	-	-

Figures

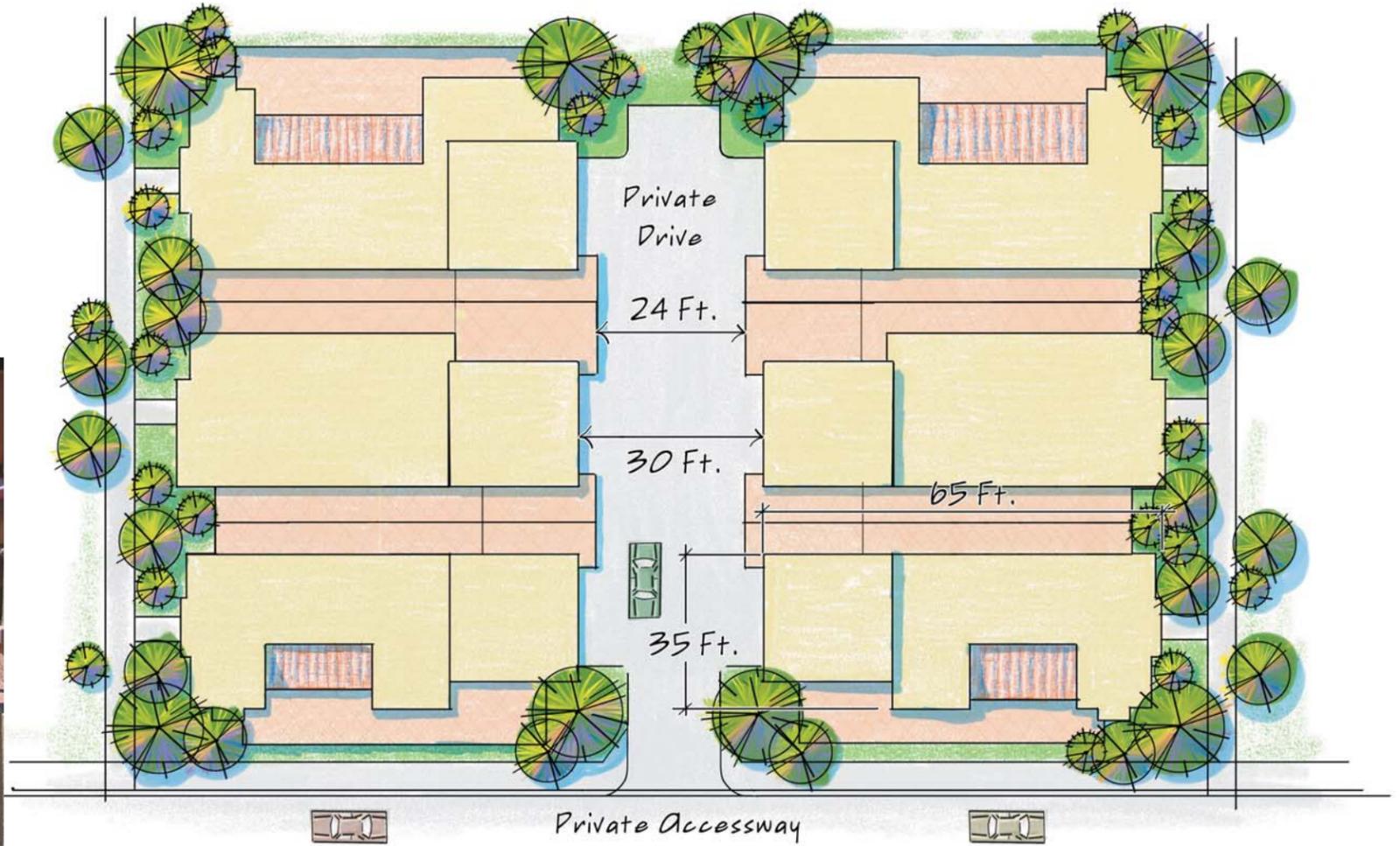
Figure 15 - Conceptual Zero Lot Line (Detached)



Product Type	Land Use Category			
	Residential I	Residential II	Residential III	Urban Mixed Use
Proposed Density Range	4.0 - 7.0 du/ac	8.0 - 14.0 du/ac	15.0 - 24.0 du/ac	20.0 - 60.0 du/ac
Alley-loaded - single family detached	-	X	-	-
Front, Structure to Private Accessway	-	15'	-	-
Rear Facing Garage on Alley	-	3'	-	-
Face of Garage to opposing Face of Garage	-	30'	-	-
Side Yard, interior	-	N/A	-	-
Side Yard to Private Accessway	-	15'	-	-
Alley-loaded - single family attached	X	X	-	-
Front, Structure to Private Accessway	15'	15'	-	-
Rear Facing Garage on Alley	3'	3'	-	-
Face of Garage to opposing Face of Garage	30'	30'	-	-
Side Yard, interior	5'	3'	-	-
Side Yard to Private Accessway	15'	15'	-	-

Figures

Figure 16 - Conceptual Alley Loaded (Detached and Attached)



Product Type	Land Use Category			
	Residential I	Residential II	Residential III	Urban Mixed Use
Proposed Density Range	4.0 - 7.0 du/ac	8.0 - 14.0 du/ac	15.0 - 24.0 du/ac	20.0 - 60.0 du/ac
Auto Court - single family detached	X	X	-	-
Front, facing Garage in Court	3'	3'	-	-
Face of Garage to opposing Face of Garage	30'	30'	-	-
Rear	5'	3'	-	-
Side Yard, interior	5'	3'	-	-
Side Yard to Private Accessway	15'	15'	-	-

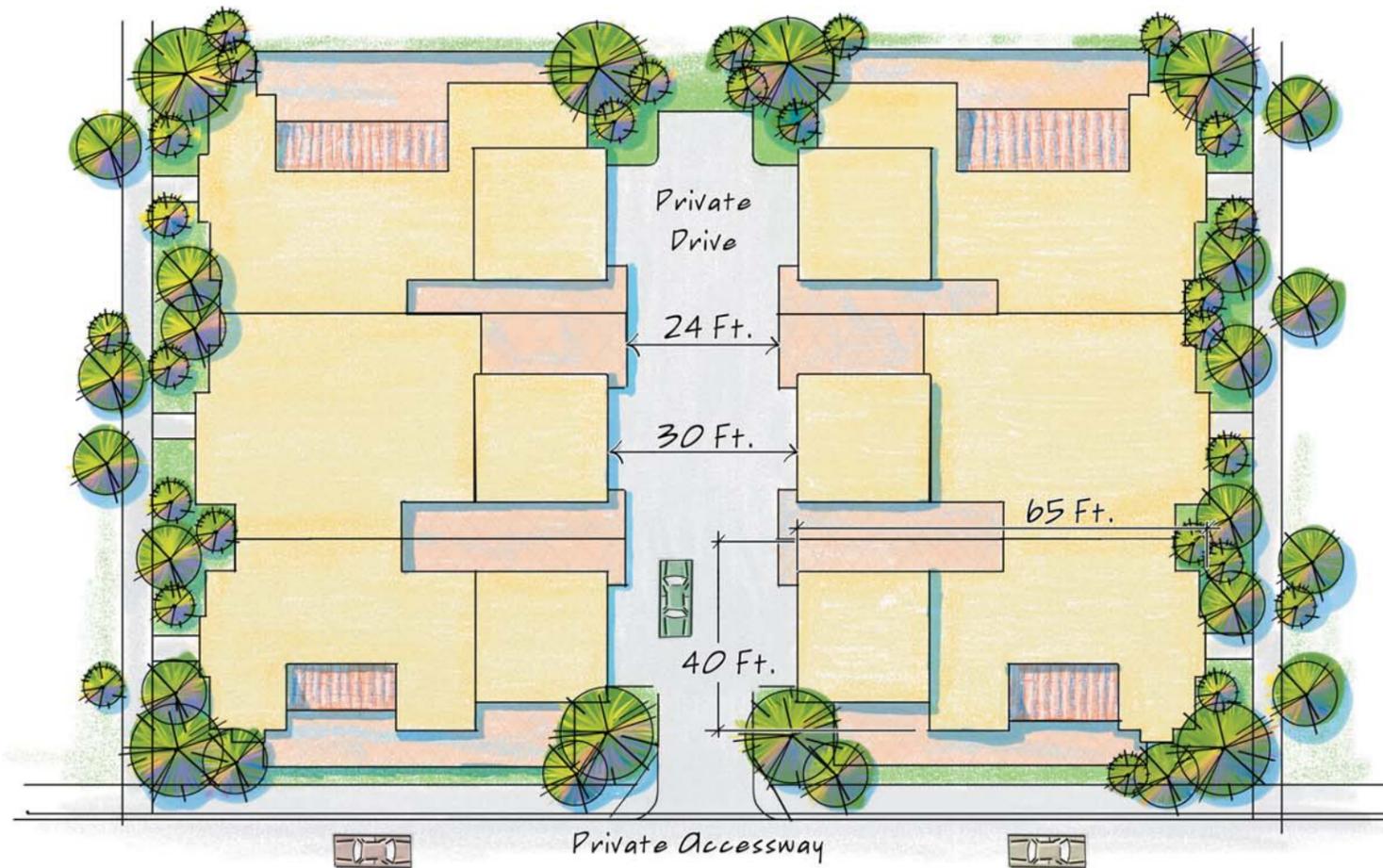


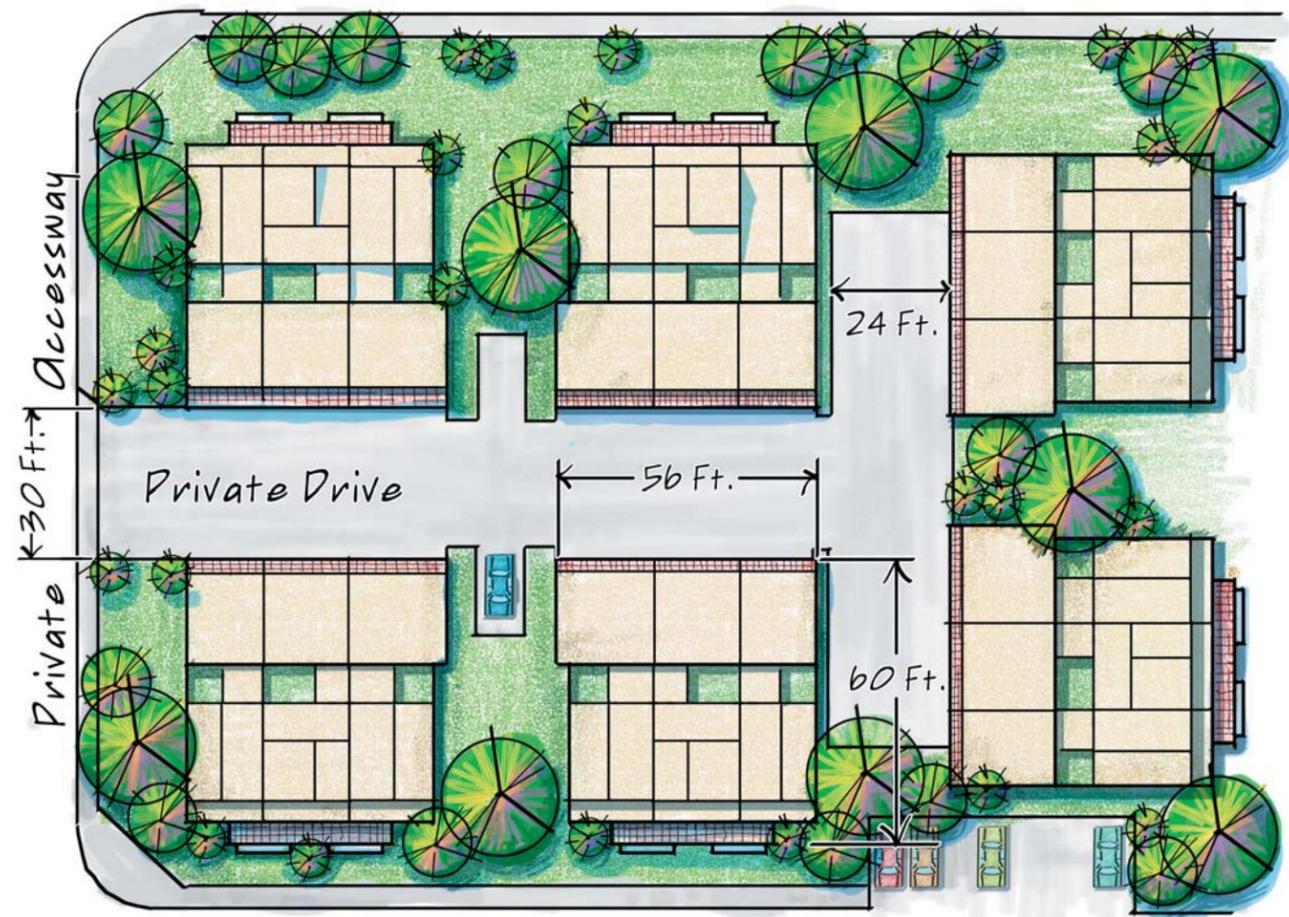
Figure 18 - Conceptual Auto Court (Attached)

Product Type	Land Use Category			
	Residential I	Residential II	Residential III	Urban Mixed Use
Proposed Density Range	4.0 - 7.0 du/ac	8.0 - 14.0 du/ac	15.0 - 24.0 du/ac	20.0 - 60.0 du/ac
Auto Court – single family attached	X	X	-	-
Front, facing Garage in Court	3'	3'	-	-
Face of Garage to opposing Face of Garage	30'	30'	-	-
Rear	5'	3'	-	-
Side Yard, interior	N/A	N/A	-	-
Side Yard to Private Accessway	15'	15'	-	-



Product Type	Land Use Category			
	Residential I	Residential II	Residential III	Urban Mixed Use
Proposed Density Range	4.0 - 7.0 du/ac	8.0 - 14.0 du/ac	15.0 - 24.0 du/ac	20.0 - 60.0 du/ac
Green Court - single family detached	X	X	-	-
Front, facing Green Court	5'	3'	-	-
Rear, with Garage	3'	3'	-	-
Face of Garage to opposing Face of Garage	30'	30'	-	-
Side Yard, interior	5'	3'	-	-
Side Yard to Private Accessway	15'	15'	-	-
Green Court - single family attached	X	X	-	-
Front, facing Green Court	5'	3'	-	-
Rear, with Garage	3'	3'	-	-
Face of Garage to opposing Face of Garage	30'	30'	-	-
Side Yard, interior	N/A	N/A	-	-
Side Yard to Private Accessway	15'	15'	-	-





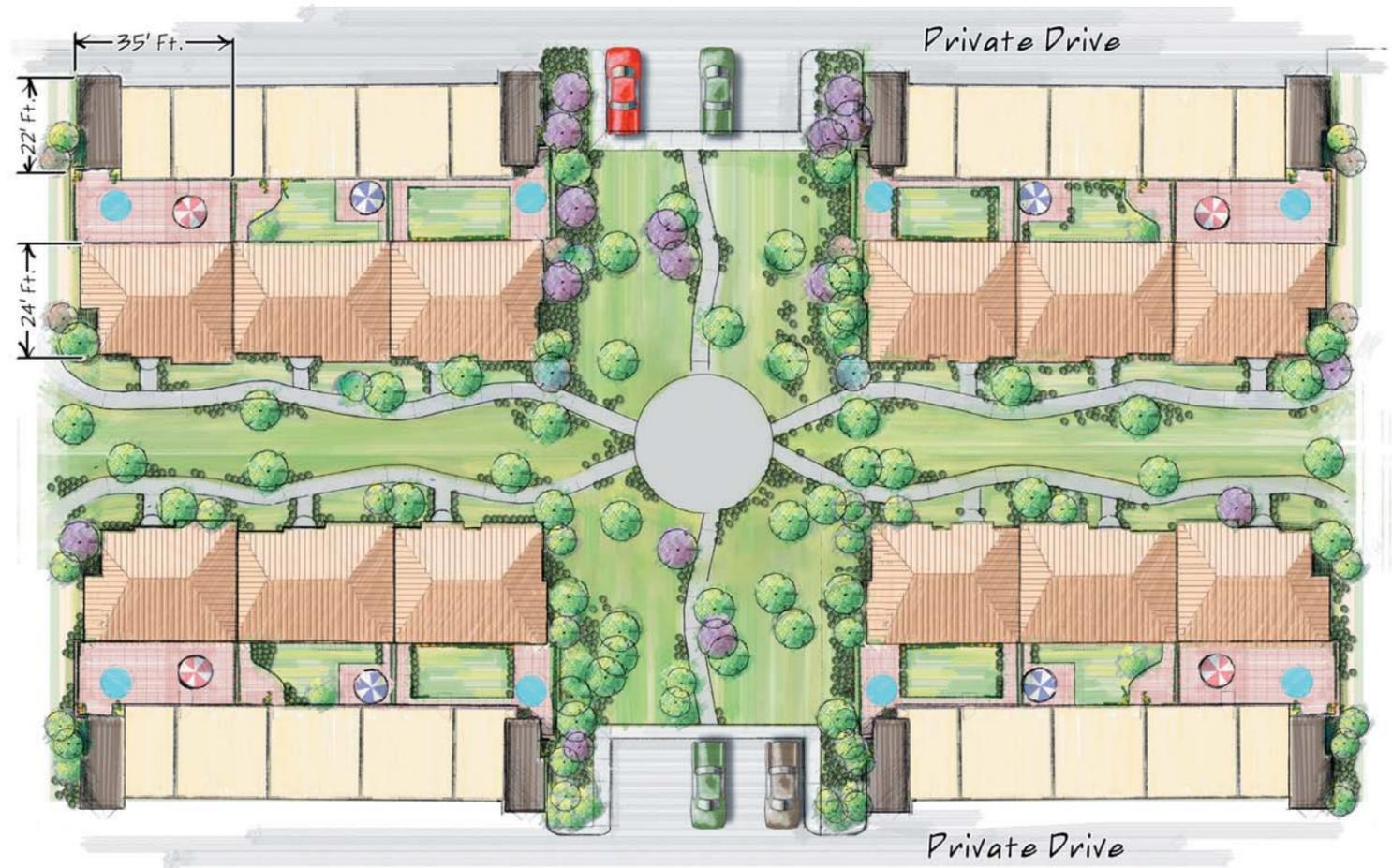
Product Type	Land Use Category			
	Residential I	Residential II	Residential III	Urban Mixed Use
Proposed Density Range	4.0 - 7.0 du/ac	8.0 - 14.0 du/ac	15.0 - 24.0 du/ac	20.0 - 60.0 du/ac
Tri-plex - multifamily attached	-	-	X	-
Front, Structure to Private Accessway	-	-	15'	-
Front Facing Garage to Private Accessway	-	-	18'	-
Front, facing Open Space	-	-	3'	-
Rear, facing Garage in Court	-	-	3'	-
Face of Garage to opposing Face of Garage	-	-	30'	-
Side Yard, interior	-	-	N/A	-
Side Yard to Private Accessway	-	-	15'	-

Figures

Figure 20 - Conceptual Tri-Plex



Product Type	Land Use Category			
	Residential I	Residential II	Residential III	Urban Mixed Use
Proposed Density Range	4.0 - 7.0 du/ac	8.0 - 14.0 du/ac	15.0 - 24.0 du/ac	20.0 - 60.0 du/ac
Four-plex - multifamily attached	-	-	X	-
Front, Structure to Private Accessway	-	-	15'	-
Front Facing Garage to Private Accessway	-	-	18'	-
Front, facing Open Space	-	-	3'	-
Rear, facing Garage in Court, if applicable	-	-	3'	-
Face of Garage to opposing Face of Garage	-	-	30'	-
Side Yard, interior	-	-	N/A	-
Side Yard to Private Accessway	-	-	15'	-



Product Type	Land Use Category			
	Residential I	Residential II	Residential III	Urban Mixed Use
Proposed Density Range	4.0 - 7.0 du/ac	8.0 - 14.0 du/ac	15.0 - 24.0 du/ac	20.0 - 60.0 du/ac
Five-plex – multifamily attached	-	-	X	-
Front, Structure to Private Accessway	-	-	15'	-
Front Facing Garage to Private Accessway	-	-	18'	-
Front, facing Open Space	-	-	3'	-
Rear, facing Garage in Court, if applicable	-	-	3'	-
Face of Garage to opposing Face of Garage	-	-	30'	-
Side Yard, interior	-	-	N/A	-
Side Yard to Private Accessway	-	-	15'	-

Figures

Figure 22 - Conceptual Five-Plex

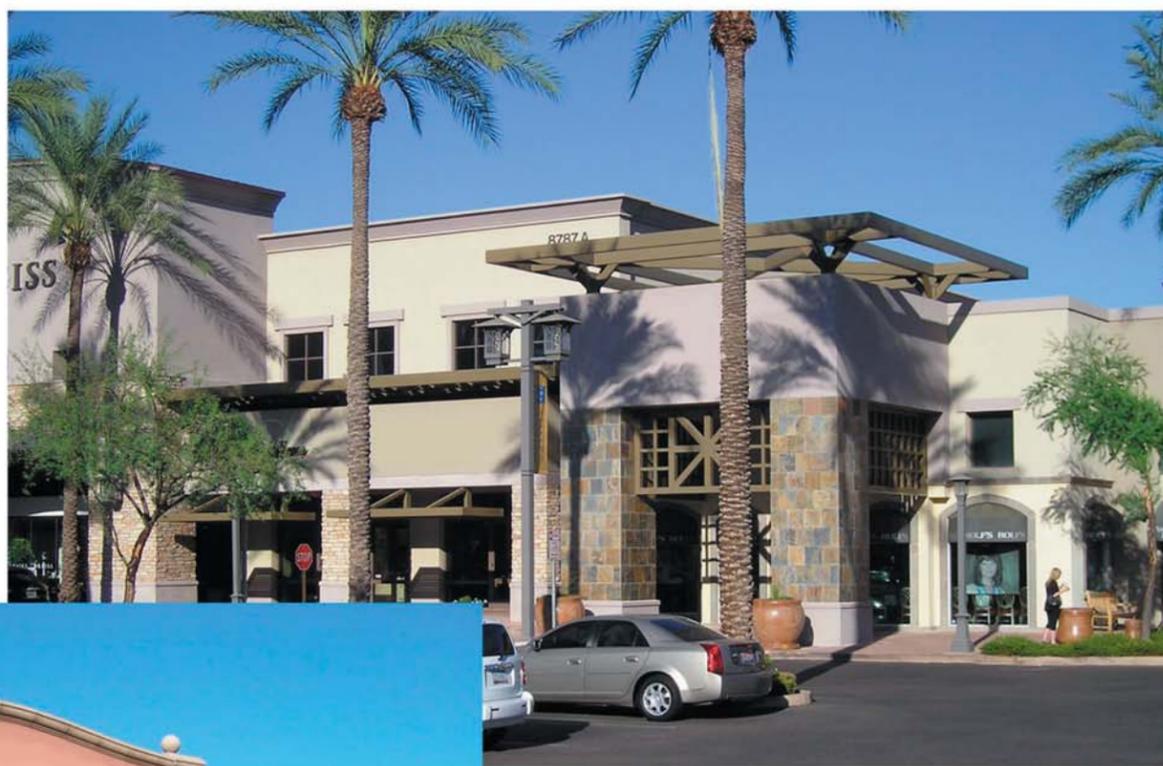
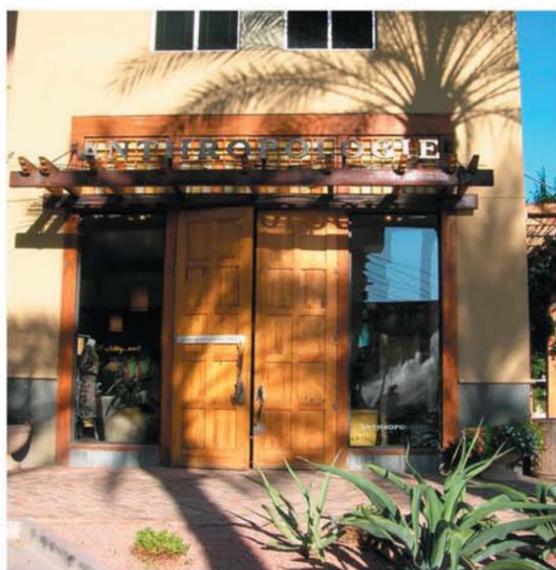


Figure 23 - Conceptual Commercial Architecture



Figure 2.4 - Conceptual Hotel Architecture



Figure 2.5 - Conceptual Office / Commerce Park Architecture

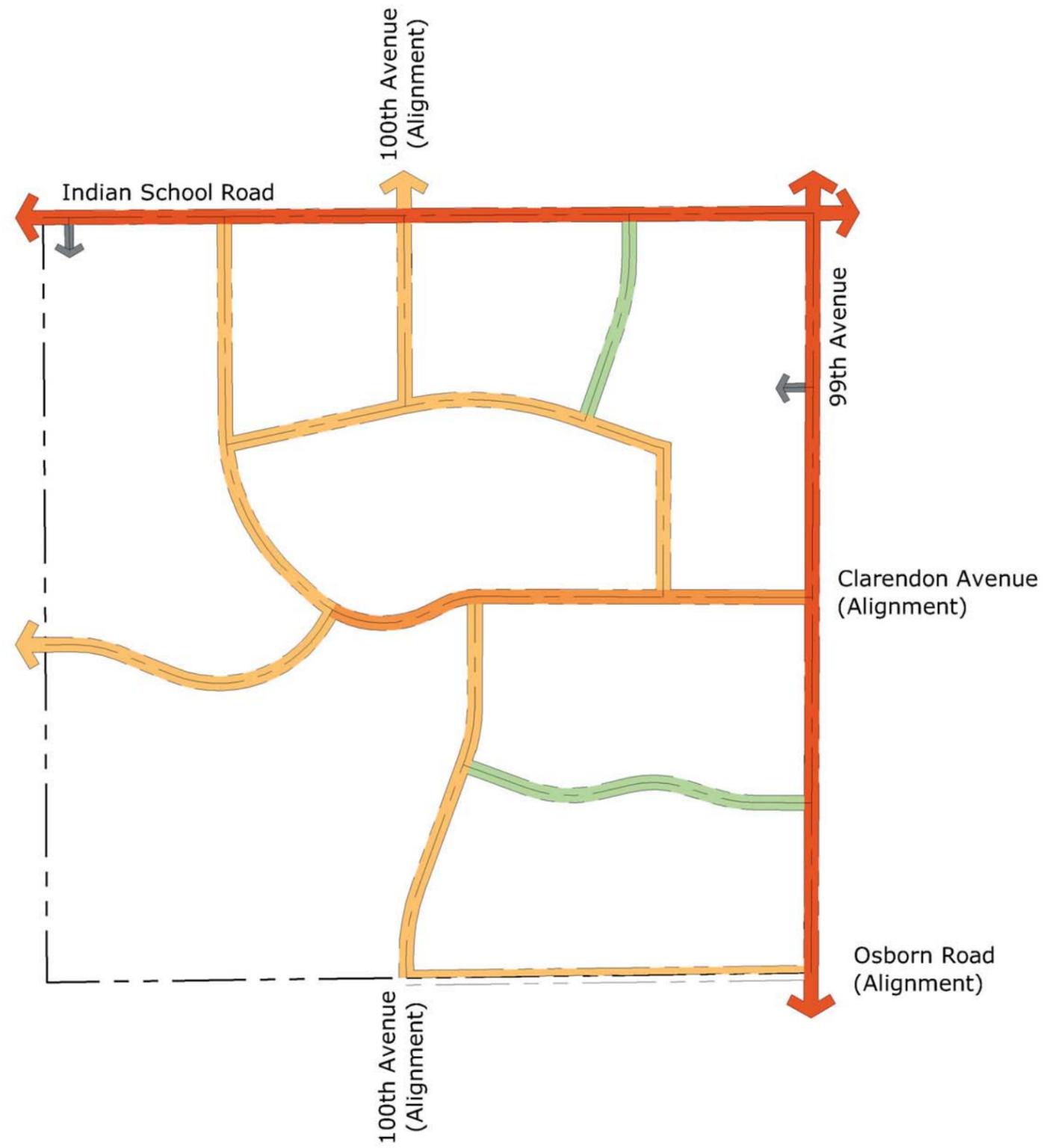
Product Type	Land Use Category			
	Residential I	Residential II	Residential III	Urban Mixed Use
Proposed Density Range	4.0 - 7.0 du/ac	8.0 - 14.0 du/ac	15.0 - 24.0 du/ac	20.0 - 60.0 du/ac
Condominium - multifamily	-	-	X	X
Front, Structure to Private Accessway	-	-	15'	N/A
Front to Parcel Boundary	-	-	N/A	20'
Front Facing Garage to Private Accessway	-	-	18'	N/A
Front, facing Open Space	-	-	3'	N/A
Rear, facing Garage in Court, if applicable	-	-	3'	N/A
Face of Garage to opposing Face of Garage	-	-	30'	N/A
Side Yard, interior	-	-	N/A	None
Side Yard to Private Accessway	-	-	15'	N/A
Side Yard to Street	-	-	N/A	20'
Min. Setback from Residential Use/District	-	-	N/A	10' per story*
Apartments - multifamily	-	-	X	X
Front, Structure to Private Accessway	-	-	15'	N/A
Front to Parcel Boundary	-	-	N/A	20'
Front Facing Garage to Private Accessway	-	-	18'	N/A
Front, facing Open Space	-	-	3'	N/A
Rear, facing Garage in Court, if applicable	-	-	3'	N/A
Face of Garage to opposing Face of Garage	-	-	30'	N/A
Side Yard, interior	-	-	N/A	None
Side Yard to Private Accessway	-	-	15'	N/A
Side Yard to Street	-	-	N/A	20'
Min. Setback from Residential Use/District	-	-	N/A	10' per story*
Urban Lofts - multifamily	-	-	-	X
Front to Parcel Boundary	-	-	-	20'
Side Yard, interior	-	-	-	None
Side Yard to Street	-	-	-	20'
Min. Setback from Residential Use/District	-	-	-	10' per story*

* - Setback Does Not Apply to Adjacent Mixed Use District



Figures

Figure 26 - Conceptual Apartments, Condos, and Urban Lofts



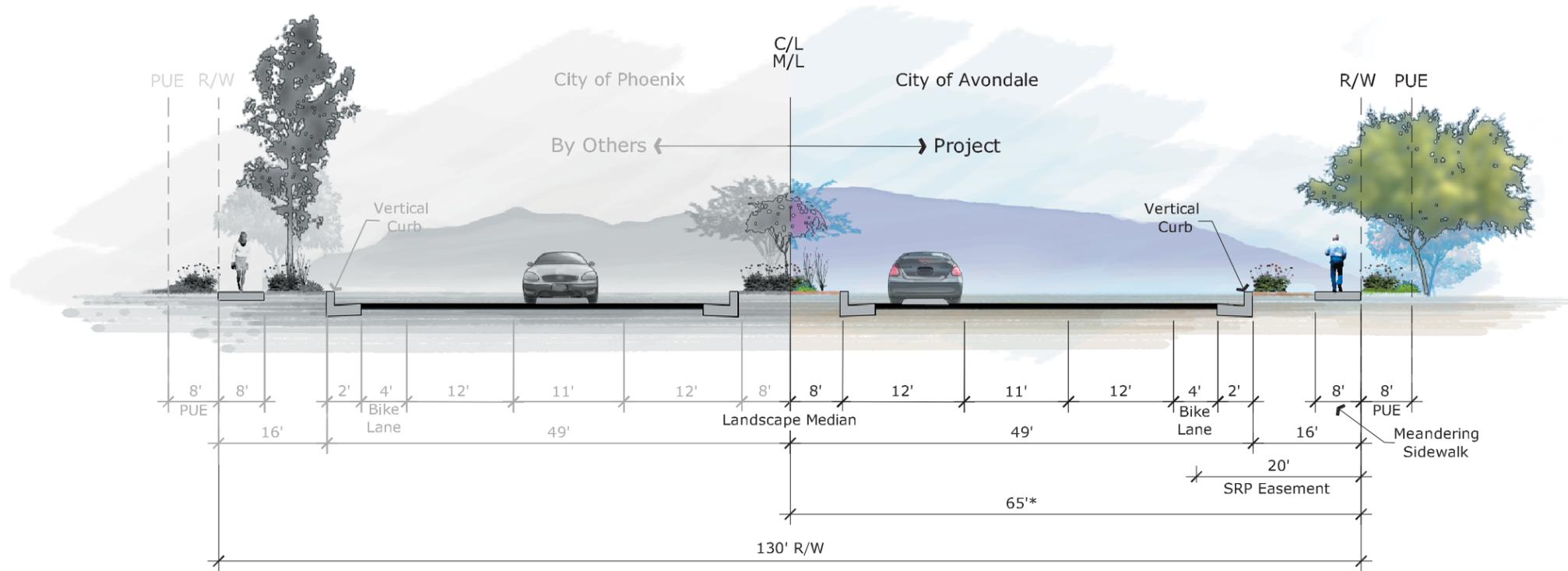
Legend

- Project Boundary
- Road Centerline
- Arterial
- Major Collector
- Minor Collector
- Local
- Driveway Access

Notes

1. Indian School Road and 99th Avenue are classified and shown herein as arterial streets per the City of Avondale's Transportation Plan dated October 2006. Annexation into the City is presumed; however 99th Avenue and Indian School Road are within Maricopa County. Refer to section 4.1 of the Entorno PAD dated July 2007 for more information.
2. This Exhibit is conceptual and subject to change through the design and development process.

Figure 27 - Master Circulation Plan



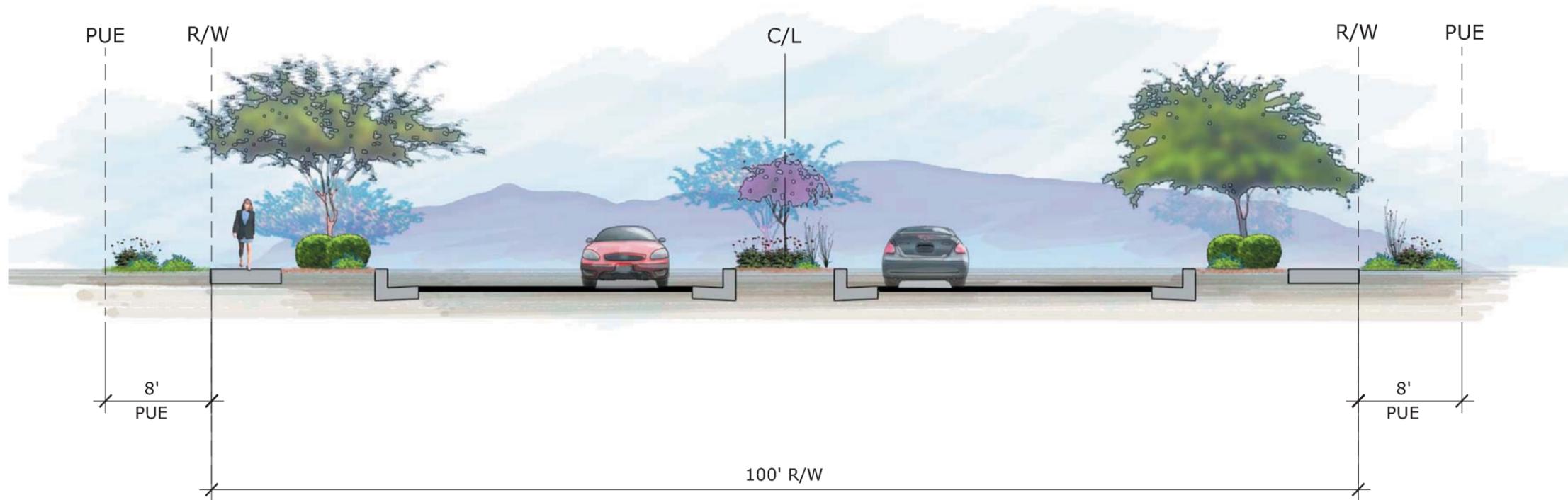
6-Lane Arterial Cross-section and Conceptual Streetscape

99th Avenue - Half Street (Looking South)
 Indian School - Half Street (Looking East)

* 65' Presuming the City of Avondale annexes R/W
 70' if the City of Avondale annexation does not occur.

Notes

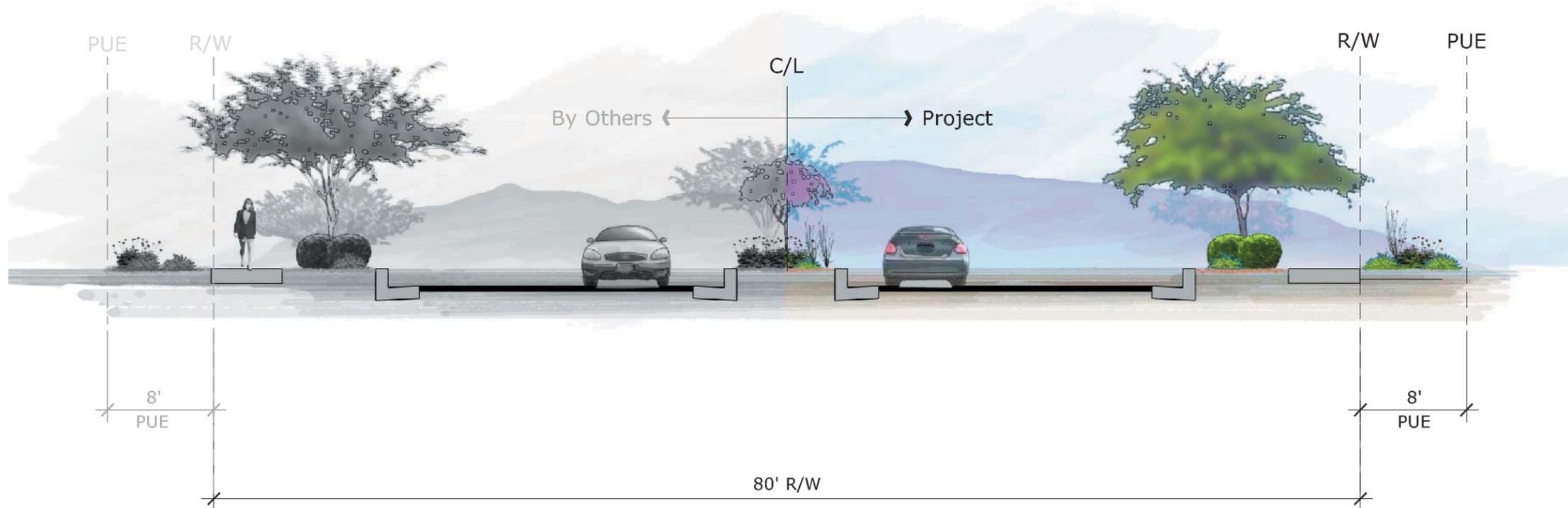
1. Street Cross-Sections are per the City of Avondale Transportation Plan, October 2006, Table 4-20 street sections.
2. Indian School Road will taper from a 65' Half R/W to 80' Half R/W at the intersection with 99th Avenue using a 50:1 transition design speed.
3. 99th Avenue will taper from a 65' Half R/W to 80' Half R/W at the intersection with Indian School Road using a 50:1 transition design speed.
4. At 99th Avenue and Indian School Road a 20' SRP Easement will be utilized for undergrounding of Irrigation Laterals.
5. Proposed pavement for Indian School Road will taper to match existing pavement at the Northwest corner of Entorno.
6. SRP Easements shall transition along with the R/W and/or pavement transition.



Major Collector Cross-section and Conceptual Streetscape
Clarendon Avenue Alignment

Notes

1. Travel lane, bike lane, median and sidewalk widths to be determined at time of site plan review.



Minor Collector Cross-section and Conceptual Streetscape
Osborn Road - Half Street

ENTORNO (nka PARADISE VILLAGE)**PAD ZONING TIME EXTENSION NARRATIVE**

10/30/12

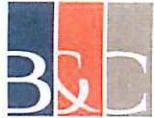
- I. Location. The Entorno Planned Area Development is located at the southwest corner of 99th Avenue and Indian School Road. The 160+/- gross acre parcel is at the northeastern edge of the City of Avondale with the other three corners at the intersection all being located within the City of Phoenix. (See Aerial at Exhibit 1.)
- II. History. On October 1, 2007, the Avondale City Council approved rezoning from AG (Agricultural) to PAD (Planned Area Development) for a mixed use development that includes retail, office, industrial and residential components. The City's approval was subject to sixteen stipulations. On September 20, 2010, the PAD was extended by the City Council for one year. On October 17, 2011, the PAD was extended by the City Council for another year to November 1, 2012.
- III. Request. For the reasons provided in this Narrative we are requesting a one year time extension until November 1, 2013.
- IV. Justification. When the Entorno PAD was approved, the real estate development and lending markets were vibrant and aggressive. As hindsight has revealed, real estate development then took a dramatic downturn. As land values declined and development slowed, the original PAD applicant/owner/developer did not secure construction financing and the lender foreclosed on the property in 2010. In June 2010, AG/RW - Entorno, LLC ("AG/RW") purchased the property. Since purchasing the Entorno property, AG/RW has assembled a project team, evaluated the current approvals, considered existing and projected market conditions, preliminarily analyzed numerous water, sewer, SRP irrigation, RID, circulation and other pre-development and planning issues, discussed various issues and solutions with Staff, etc. AG/RW and their project team has also worked closely with the City on updates to the General Plan and is working with City Staff on an updated PAD. AG/RW will need the additional year to continue working through various PAD, platting, pre-development, and other issues. Denial of this extension request and reversion of the existing PAD will not be of any benefit to the City or neighboring properties and will be detrimental to AG/RW. Approval will simply maintain the status quo while AG/RW continues to work with the City on the proposed PAD.

AG/RW recognizes the importance of the Entorno location as the northeastern-most boundary of Avondale and an "entry point" to the City. The AG/RW team has invested a tremendous amount of time, energy and resources on pre-development, General Plan and PAD issues. AG/RW is committed to moving forward with the processes that are required to initiate Phase I development.

For these reasons, AG/RW respectfully requests that the time condition for the first phase of the development be extended for one year to November 1, 2013. Doing so will merely maintain the status quo while AG/RW continues to work with the City on the updated PAD and other matters.

If you have questions or need additional information, please contact Ed Bull at Burch & Cracchiolo (602-234-9913), Ricki Horowitz at Burch & Cracchiolo (602-234-8728), Ron Hilgart at Hilgart Wilson (602-490-0535), or Brett Owings at AG/RW (973-593-0003).

Thank you.



BURCH & CRACCHIOLO

EDWIN C. BULL
DIRECT LINE: 602.234.9913
DIRECT FAX: 602.343.7913
E-MAIL: EBULL@BCATTORNEYS.COM

December 3, 2012

Eric Morgan, Planner II
City of Avondale
Development Services
11465 W. Civic Center Drive
Suite 110
Avondale, Arizona 85323

RE: Entorno PAD Extension; Application PL-12-0225
Request for Continuance of City Council Hearing

Dear Eric:

As a follow-up to our prior discussions, on behalf of AG/RW-Entorno, LLC, we request an approximately six-month Continuance of the City Council's Hearing of the above-referenced Extension Application (currently scheduled for Hearing on December 17, 2012).

As you know, AG/RW-Entorno has worked with the City on a variety of issues involving infrastructure, the City's update of the General Plan, the existing PAD, and a proposed PAD. The proposed PAD was reviewed through one pre-Application submittal and follow-up discussions; we will be making our second pre-Application submittal this week. We hope to proceed diligently through the PAD Application, review, and Hearing processes.

We filed the PAD Extension Application in order to maintain the status quo while the new PAD Application is being prepared, reviewed, and Heard. Rather than debating the merits of the Extension Application on December 17th, in order to maintain the status quo pending a decision on the proposed new PAD, we request an approximately six-month Continuance of the December 17th Hearing. Our goal is to have the "old" PAD replaced with the "new" PAD within the approximately six-months.

AG/RW has a huge investment in the City and continues to work within the City's processes to ready the property for development. We do not believe continuing to maintain the status quo for approximately six-months while we continue to work with the City through the PAD processes will be detrimental to the City or anyone else; conversely, denial of this Continuance request and the possible reversion to AG will be unnecessarily detrimental to AG/RW.



Burch & Cracchiolo, P.A.
702 E. Osborn Rd., Suite 200 • Phoenix, AZ 85014
Main: 602.274.7611 • Fax: 602.234.0341

BCATTORNEYS.COM

Mr. Eric Morgan
December 3, 2012
Page 2



On behalf of AG/RW, we respectfully request the Council's approval of the approximately six-month Continuance for the purpose of maintaining the status quo while AG/RW continues work with the City on the proposed PAD.

If you have questions or need additional information, please give me a call at (602) 234-9913.

Very truly yours,
BURCH & CRAECCHIOLO, P.A.

A handwritten signature in blue ink, appearing to read 'Edwin C. Bull', is written over the typed name.

Edwin C. Bull
For the Firm

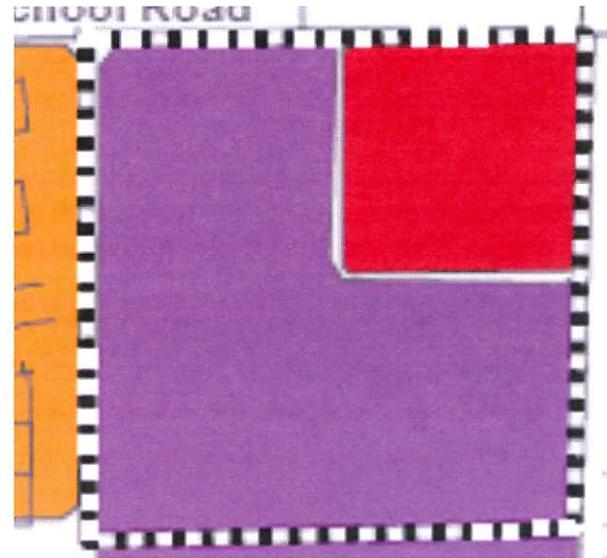
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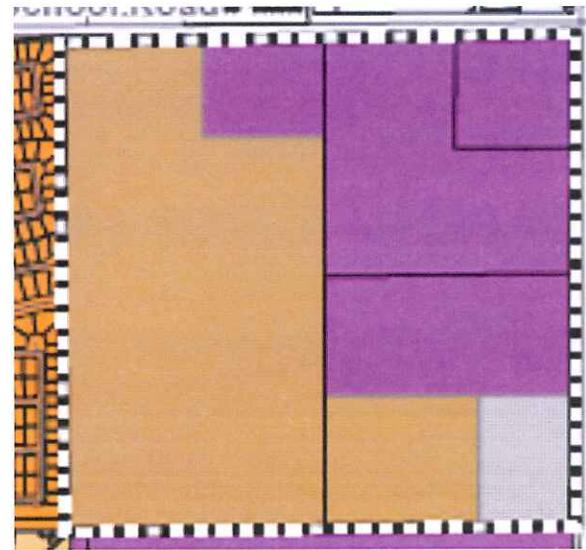
Entorno Development Plan



Entorno Development Plan



General Plan 2002



General Plan 2030



Entorno

ORDINANCE NO. 1505-1212

AN ORDINANCE OF THE COUNCIL OF THE CITY OF AVONDALE, ARIZONA, AMENDING THE OFFICIAL ZONING ATLAS OF THE CITY OF AVONDALE FOR APPROXIMATELY 160 ACRES GENERALLY LOCATED AT THE SOUTHWEST CORNER OF INDIAN SCHOOL ROAD AND 99TH AVENUE AS SHOWN IN FILENAME Z-06-13, REVERTING THE ZONING ON SUCH PROPERTY FROM PLANNED AREA DEVELOPMENT (PAD) TO AGRICULTURAL (AG).

WHEREAS, the Council of the City of Avondale (the “City Council”) approved Ordinance No. 1269-1007 on October 1, 2007, rezoning that certain \pm 160 acre parcel of land generally located at the southwest corner of Indian School Road and 99th Avenue, as more particularly described and depicted in Ordinance No. 1269-1007, as corrected by Ordinance No. 1284-1207 on December 17, 2007 (the “Subject Property”), from Agricultural (AG) to Planned Area Development (PAD) and imposing conditions upon such rezoning (the “Rezoning”); and

WHEREAS, the Rezoning was subject to a condition imposed pursuant to provisions of the City of Avondale Zoning Ordinance (the “Zoning Ordinance”), requiring that the development of the first phase of the project on the Subject Property must have commenced within three years of the effective date of the ordinance approving the PAD zoning on the property (the “Time Condition”); and

WHEREAS, the City Council approved two one-year extensions of the PAD zoning on September 20, 2010 and October 17, 2011; and

WHEREAS, the Time Condition upon the Rezoning has not been met and the City Council desires to revert the zoning on the Subject Property from Planned Area Development (PAD) to Agricultural (AG); and

WHEREAS, the City Council desires to amend the City of Avondale Zoning Atlas (the “Zoning Atlas”) pursuant to ARIZ. REV. STAT. § 9-462.04 to reflect the change in zoning on the Subject Property due to the Rezoning reversion; and

WHEREAS, all due and proper notice of the public hearing on the intended Rezoning reversion and Zoning Atlas amendment held before the City Council were given in the time, form, substance and manner provided by the Zoning Ordinance; and

WHEREAS, the City Council held a public hearing regarding the Rezoning reversion and amendment to the Zoning Atlas on December 17, 2012.

NOW, THEREFORE, BE IT ORDAINED BY THE COUNCIL OF THE CITY OF AVONDALE as follows:

SECTION 1. The recitals above are hereby incorporated as if fully set forth herein.

SECTION 2. The Planned Area Development (PAD) zoning for the ± 160 acre parcel of real property generally located at the southwest corner of Indian School Road and 99th Avenue, as shown in filename Z-06-13, as more particularly described and depicted in Exhibit A, attached hereto and incorporated herein by reference, is hereby reverted to Agricultural (AG) zoning and the Zoning Atlas is hereby amended to reflect the reversion from PAD to AG.

SECTION 3. If any provision of this Ordinance is for any reason held by any court of competent jurisdiction to be unenforceable, such provision or portion hereof shall be deemed separate, distinct and independent of all other provisions and such holding shall not affect the validity of the remaining portions of this Ordinance.

SECTION 4. The Mayor, the City Manager, the City Clerk and the City Attorney are hereby authorized and directed to take all steps necessary to carry out the purpose and intent of this Ordinance.

PASSED AND ADOPTED by the Council of the City of Avondale, December 17, 2012.

Marie Lopez Rogers, Mayor

ATTEST:

Carmen Martinez, City Clerk

APPROVED AS TO FORM:

Andrew J. McGuire, City Attorney

EXHIBIT A
TO
ORDINANCE NO. 1505-1212

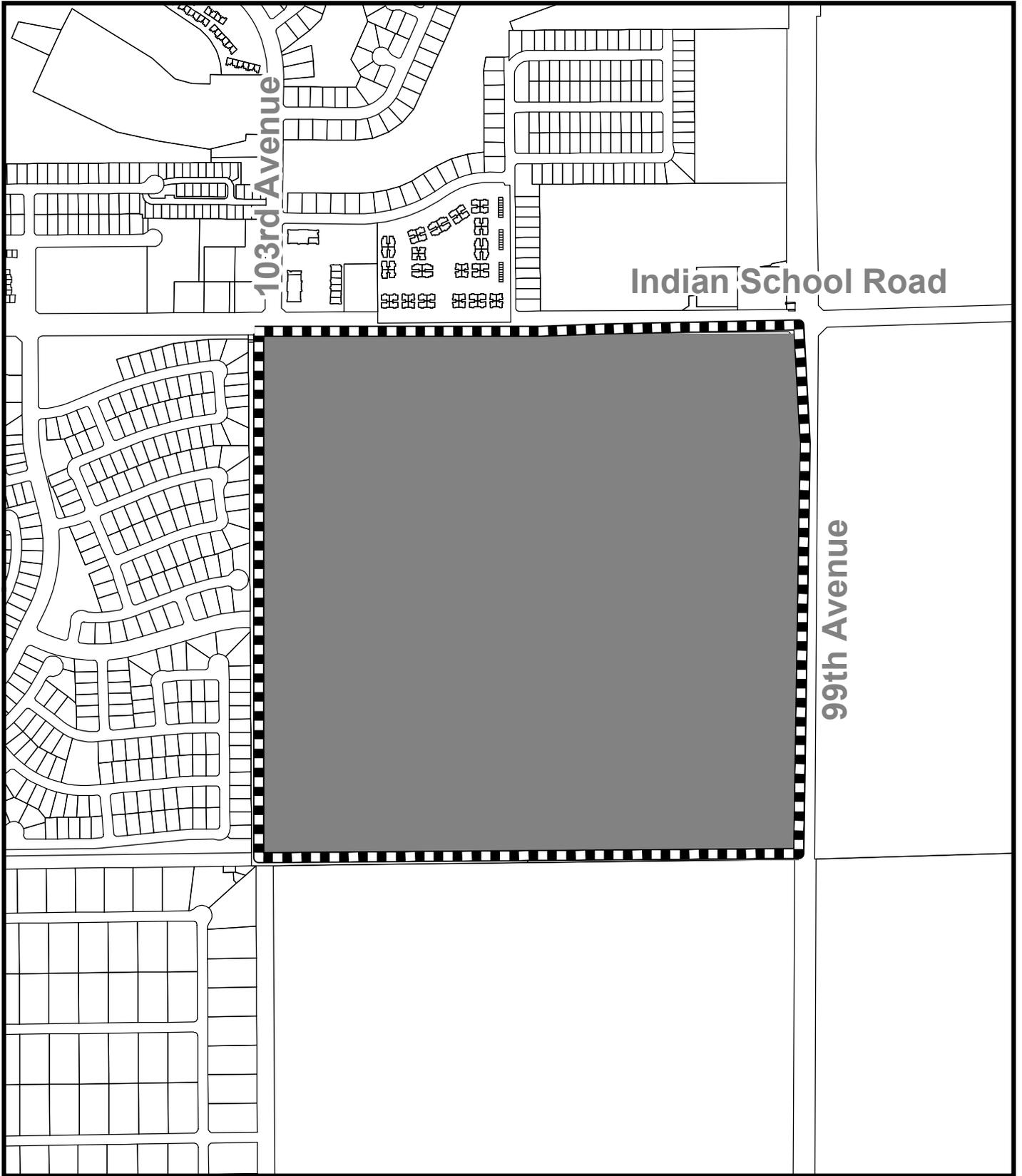
(Legal Description and Map)

See following pages.

Entorno (a.k.a. Parkside Village)

Legal Description
(as re-copied from Ordinance 1284-1207)

The Northeast Quarter of Section 29, Township Two North, Range One East, Gila and Salt River Base and Meridian, Maricopa County, Arizona.



Subject Property

